PLANNING DIVISION 555 LIBERTY ST. SE, RM 305 SALEM, OREGON 97301 PHONE: 503-588-6173 FAX: 503-588-6005



Si necesita ayuda para comprender esta información, por favor llame 503-588-6173

DECISION OF THE PLANNING ADMINISTRATOR

CLASS 2 SITE PLAN REVIEW

APPLICATION NO.: 25-107366-PLN

NOTICE OF DECISION DATE: May 2, 2025

REQUEST: A Class 2 Site Plan Review and Design Review for interior and exterior improvements for the Colonia Libertad apartment complex and grounds. The property is approximately 2.96 acres in size, zoned RM-II (Multiple Family Residential-II), and located at 2911 Saddle Club Street SE (Marion County Assessor's Map and Tax Lot Number: 082W06DA / 300).

APPLICANT: Martin Segura III, Carleton Hart Architecture, on behalf of

LOCATION: 2911 Saddle Club Street SE

FINDINGS: The findings are in the attached Decision dated May 2, 2025.

DECISION: The **Planning Administrator APPROVED** the application based upon the submitted materials and the findings as presented in the decision.

The rights granted by the attached decision, which are effective as of the date of this decision, must be exercised by May 2, 2029, or this approval shall be null and void.

Case Manager: Quincy Miller, Planner I, <u>qmiller@cityofsalem.net</u>, (503) 584-4676

This decision is final; there is no local appeal process. Any person with standing may appeal this decision by filing a "Notice of Intent to Appeal" with the Land Use Board of Appeals, 775 Summer St NE, Suite 330, Salem OR 97301, **not later than 21 days** after <u>May 2, 2025</u>. Anyone with questions regarding filing an appeal with the Oregon Land Use Board of Appeals should contact an attorney.

The following items are submitted to the record: 1) All materials and evidence submitted by the applicant, including any applicable professional studies; and 2) All materials, evidence, and comments from City Departments and public agencies. The application materials are available on the City's online Permit Application Center at https://permits.cityofsalem.net. To view the materials without registering, you may use the search function and enter the permit number listed here: 25

http://www.cityofsalem.net/planning

BEFORE THE PLANNING ADMINISTRATOR OF THE CITY OF SALEM

DECISION

IN THE MATTER OF APPROVAL OF) FINDINGS & ORDER
CLASS 2 SITE PLAN REVIEW AND	
DESIGN REVIW)
25-107366-PLN)
2911 SADDLE CLUB STREET SE) MAY 2, 2025

In the matter of the application for a Class 2 Site Plan Review and Design Review, the Planning Administrator, having received and reviewed the evidence and application materials, makes the following findings and adopts the following order as set forth herein.

REQUEST

A Class 2 Site Plan Review and Design Review for interior and exterior improvements for the Colonia Libertad apartment complex and grounds. The property is approximately 2.96 acres in size, zoned RM-II (Multiple Family Residential-II), and located at 2911 Saddle Club Street SE (Marion County Assessor's Map and Tax Lot Number: 082W06DA / 300).

PROCEDURAL FINDINGS

- 1. On April 2, 2025, an application for a Class 2 Site Plan Review and Design Review was submitted for property located at 2911 Saddle Club Street SE.
- 2. On April 18, 2025, the application was deemed complete.

SUBSTANTIVE FINDINGS

1. Proposal

The proposed Class 2 Site Plan Review and Design Review affects property located at 2911 Saddle Club Street SE (**Attachment A**). The Class 2 Site Plan Review and Design Review proposes interior and exterior improvements for all nine buildings as well as site improvements for the Colonia Libertad I apartment complex. The proposed development plans are included as **Attachment B**.

2. City Department Comments

<u>Development Services Division</u> – Reviewed the proposal and indicated no concerns.

Building and Safety Division - Reviewed the proposal and indicated no concerns.

Salem Fire Department – Reviewed the proposal and indicated no concerns

DECISION CRITERIA FINDINGS

3. Analysis of Class 2 Site Plan Review Approval Criteria

Pursuant to SRC 220.005(b)(2), Class 2 Site Plan Review is required for any development that requires a building permit, other than development subject to Class 1 Site Plan Review, and that does not involve a land use decision or limited land use decision, as those terms are defined in ORS 197.015. Salem Revised Code (SRC) 220.005(f)(3) provides that an application for a Class 2 Site Plan Review shall be granted if the following criteria are met.

SRC 220.005(f)(2)(A): Only clear and objective standards which do not require the exercise of discretion or legal judgment are applicable to the application.

Finding: Only clear and objective standards apply to the proposed development. Complete findings addressing the proposal's conformance with these standards are included within the findings addressing approval criterion SRC 220.005(f)(2)(B) below. This approval criterion is met.

SRC 220.005(f)(2)(B): The application meets all the applicable standards of the UDC.

Finding: The proposal is for interior and exterior rehabilitation of all buildings within the Colonia Libertad Apartments, including ancillary site improvements. The subject property is zoned RM-II (Multiple Family Residential-II); therefore, the proposed development is subject to the use and development standards of the RM-II zone, SRC Chapter 514. Analysis of the Multiple Family Design Review Standards of SRC Chapter 702 are discussed in Section 4 of this report. The following is a summary of the applicable use and development standards of the RM-II zone.

ZONING AND DEVELOPMENT STANDARDS

SRC Chapter 514 – RM-II (Multiple Family Residential-II) Zone

SRC 514.005 - Uses.

The permitted (P), special (S), conditional (C), and prohibited (N) uses in the RM-II zone are set forth in Table 514-1.

Finding: The proposal includes interior and exterior improvements to all buildings within the existing *multiple family* use, as well as associated site improvements. *Multiple family* residential is a permitted use.

SRC 514.010(a) – Development Standards.

- (a) Land division in the RM-II zone. Lots subdivided or partitioned in the RM-II zone shall be a minimum of 20,000 square feet in size, unless the lots are restricted to contain three or more attached dwelling units per lot, are used for townhouse development, or are used for allowed uses other than household living.
- (b) *Lot standards*. Lots within the RM-II zone shall conform to the standards set forth in Table 514-2.

Finding: The existing property complies with the minimum lot standards of the RM-II zone, and no changes to the lot size or dimensions are proposed. This standard is met.

SRC 514.010(c) – Dwelling Unit Density.

Dwelling unit density within the RM-II zone shall conform to the standards set forth in Table 514-3.

Finding: The 2.96-acre property requires a minimum of 44 units and allows a maximum of 92 units. The existing 48-unit complex meets the minimum dwelling unit density for the RM-II zone, and no changes to the number of units is proposed. This standard is met.

SRC 514.010(d) – Setbacks.

Setbacks within the RM-II zone shall be provided as set forth in Tables 514-4 and 514-5.

Abutting Street

Southwest/Southeast: The subject property is adjacent to Lancaster Drive SE to the southwest and Saddle Club Street SE to the southeast. For buildings and accessory structures, there is a minimum 12-foot setback, plus one foot for each one-foot of height over 12 feet but need not exceed 20 feet in depth. Vehicle use areas require a minimum 12-foot setback.

Finding: The proposed exterior improvements, including replacement of structural supports for balconies and porches, are within the existing footprint of the current development. Buildings 3 and 4 abut the property line for Lancaster Drive SE, and have a height of approximately 22 feet, which results in a setback of 20 feet for the applicable sections. Buildings 1, 2, and 8 abut the property line for Saddle Club Street SE, with Buildings 1 and 2 having a height of approximately 27 feet, and Building 8 approximately 22 feet, which would result in a setback of 20 feet for applicable sections. Per Table 800-2 in SRC 800.035(b), covered porches and decks are permitted to project into minimum street setbacks provided the floor area does not exceed four feet above grade, the structure covering the patio does not exceed 15 feet above grade, and the covered patio does not come closer than ten feet to the property line. The covered porches do not come closer than ten feet to the property line, and the footprint of the buildings is not changing and is within the allowable setbacks. This standard is met.

Interior Property Lines

Northwest/Northeast: The subject property abuts RM-II zoned properties to the northeast and northwest, which per the Zone-to-Zone Setback Table 514-5, requires a minimum ten-foot setback with Type C landscaping for buildings, accessory structures, and vehicle use areas.

Finding: The proposed development does not alter the setbacks for the existing buildings or vehicle use areas, which are located more than ten feet from the interior property lines and has an existing perimeter fence. This standard is met.

SRC 514.010(e) – Lot Coverage & Height.

Buildings and accessory structures within the RM-II zone shall conform to the lot coverage and height standards set forth in Table 514-6.

Finding: Buildings and accessory structures for all uses have a maximum lot coverage of 60%, with buildings for *multiple family* uses allowed a maximum height of 50 feet, and accessory structures for all uses allowed a maximum height of 15 feet. The proposed development does not alter the existing lot coverage limits, and the replacement roofs are below the maximum height. This standard is met.

SRC 514.010(f) – Maximum Square Footage for All Accessory Structures.

In addition to the maximum coverage requirements established in Table 514-6, accessory structures to single-family and two-family uses shall be limited to the maximum aggregate total square footage set forth in Table 514-7.

Finding: The proposed development is multifamily; therefore, this standard is not applicable.

SRC 514.010(g) – Landscaping.

- (1) Setbacks. Required setbacks shall be landscaped. Landscaping shall conform to the standards set forth in SRC Chapter 807.
- (2) Vehicle Use Areas. Vehicle use areas shall be landscaped as provided under SRC Chapters 806 and 807.

Finding: No modifications are proposed for the existing landscaping. Therefore, this standard is not applicable.

SRC 514.010(h) – Outdoor Storage.

Within the RM-II zone, outdoor storage shall be screened from streets and adjacent properties by a minimum six-foot-high sight-obscuring fence, wall, or hedge.

Finding: No modifications are proposed for any outdoor storage. Therefore, this standard is not applicable.

SRC 514.015 – Design Review.

- (a) Multiple family development shall be subject to Design Review according to the multiple family design review standards set forth in SRC Chapter 702.
- (b) Residential care with five or more self-contained dwelling units shall be subject to design review according to the multiple family design review standards set forth in SRC chapter 702.

Finding: Design Review for the proposed development is discussed below in Section 4.

SRC Chapter 800 – General Development Standards

Solid Waste Service Areas

SRC 800.055(a) – Applicability.

Solid waste service area design standards shall apply to all new solid waste, recycling, and compostable services areas, where use of a solid waste, recycling, and compostable receptacle of one cubic yard or larger is proposed.

Finding: The proposed development includes the replacement of roofing and enclosure gates for the existing trash enclosure areas; therefore, this section is applicable.

SRC 800.055(b) – Solid Waste Receptacle Placement Standards.

All solid waste receptacles shall be placed at grade on a concrete pad that is a minimum of 4 inches thick, or on an asphalt pad that is a minimum of 6 inches thick. The pad shall have a slope of no more than 3 percent and shall be designed to discharge stormwater runoff.

(1) Pad area. In determining the total concrete pad area for any solid waste service area:

- (a) The pad area shall extend a minimum of 1-foot beyond the sides and rear of the receptacle.
- (b) The pad area shall extend a minimum 3 feet beyond the front of the receptacle.
- (c) In situations where receptacles face each other, a minimum four feet of pad area shall be required between the fronts of the facing receptacles.

Finding: The location of the enclosures and pad areas are not proposed to be modified; therefore, this standard is not applicable.

- (2) Minimum Separation.
 - (a) A minimum separation of 1.5 feet shall be provided between the receptacle and the side wall of the enclosure.
 - (b) A minimum separation of 5 feet shall be provided between the receptacle and any combustible walls, combustible roof eave lines, or building or structure openings.

Finding: The dimensions of the enclosures are not proposed to be modified; therefore, this standard is not applicable.

- (3) Vertical Clearance.
 - (a) Receptacles 2 cubic yards or less in size shall be provided with a minimum of 8 feet of unobstructed overhead or vertical clearance for servicing.
 - (b) Receptacles greater than 2 cubic yards in size shall be provided with a minimum of 14 feet of unobstructed overhead or vertical clearance for serving.

Finding: No cover is proposed for the enclosures; therefore, this standard is not applicable.

SRC 800.055(d) – Solid Waste Service Area Screening Standards.

- (1) Solid waste, recycling, and compostable service areas shall be screened from all streets abutting the property and from all abutting residentially zoned property by a minimum sixfoot-tall sight-obscuring fence or wall; provided, however, where receptacles, drop boxes, and compactors are located within an enclosure, screening is not required. For the purpose of this standard, abutting property shall also include any residentially zoned property located across an alley from the property.
- (2) Existing screening at the property line shall satisfy screening requirements if it includes a six-foot-tall sight-obscuring fence or wall.

Finding: The enclosures are surrounded by an existing six-foot-tall solid wall and a proposed sight-obscuring chain-link fence, meeting the standard. Further compliance will be verified at the time of building permit review.

SRC 800.055(e) – Solid Waste Service Area Enclosure Standards.

When enclosures are used for required screening or aesthetics, such enclosure shall conform to the following standards:

(1) Front Opening of Enclosure. The front opening of the enclosure shall be unobstructed and shall be a minimum of 12 feet in width.

Finding: While no changes are proposed to the dimensions of the enclosures, both exceed the minimum width of 12 feet, meeting the standard.

(2) Measures to Prevent Damage to Enclosure. Enclosures constructed of concrete, brick, masonry block, or similar types of material shall contain a minimum four-inch nominal high bumper curb at ground level located 12 inches inside the perimeter of the outside walls of the enclosure, or a fixed bumper rail to prevent damage from receptacle impacts.

Finding: Wheel stops are shown on all three sides for one of the enclosures, with the other having wheel stops on opposite ends and a raised curb at the rear, meeting the standard.

(3) Enclosure Gates. Any gate across the front opening of an enclosure shall swing freely without obstructions. For any opening with an unobstructed width of 15 feet or greater, the gates shall open a minimum of 90 degrees. All gates shall have restrainers in the open and closed positions.

Finding: The plans note the proposed gates can swing to 120 degrees in compliance with this provision.

SRC 800.055(f) – Solid Waste Service Area Vehicle Access.

(1) Vehicle Operation Area. A vehicle operation area shall be provided for solid waste collection service vehicles that are free of obstructions and no less than 45 feet in length and 15 feet in width. Vehicle operation areas shall be made available in front of every receptacle.

Finding: The dimensions and orientation of the solid waste service areas are not proposed to change as part of the development; therefore, this standard is not applicable.

Pedestrian Access

SRC 800.065 – Pedestrian Access.

Except where pedestrian access standards are provided elsewhere under the UDC, and unless otherwise provided in this section, all developments, other than development of single-family, two-family, three-family, and four-family uses, and multiple family uses subject to SRC Chapter 702, shall include an on-site pedestrian circulation system developed in conformance with the standards in this section.

For purposes of this section development means the construction of, or addition to, a building or accessory structure or the construction of, or alteration or addition to, an off-street parking or vehicle use area. Development does not include construction of, or additions to, buildings or accessory structures that are less than 200 square feet in floor area. Development also does not include the installation of electric vehicle charging stations in existing approved parking lots or vehicle use areas.

When a development site is comprised of lots under separate ownership, the pedestrian access standards set forth in this section shall apply only to the lot, or lots, proposed for development, together with any additional contiguous lots within the development site that are under the same ownership as those proposed for development.

Finding: The proposed development is a multiple family use subject to the standards of SRC Chapter 702. Therefore, this section is not applicable.

SRC Chapter 806 – Off-Street Parking, Loading, and Driveways

Off-Street Parking

SRC 806.015 – Amount Off-Street Parking.

(a) Maximum Off-Street Parking. Except as otherwise provided in this section, and unless otherwise provided under the UDC, off-street parking shall not exceed the amounts set forth in Table 806-1. For the purposes of calculating the maximum amount of off-street parking allowed, driveways shall not be considered off-street parking spaces.

Finding: The proposal includes the restriping of the existing 78 off-street parking spaces, with no changes proposed to the number of spaces. Therefore, this standard is not applicable.

• Off-Street Parking and Vehicle Use Area Development Standards

SRC 806.035 – Off-Street Parking and Vehicle Use Area Development Standards.

- (a) General Applicability. The off-street parking and vehicle use area development standards set forth in this section apply to:
 - (1) The development of new off-street parking and vehicle use areas;
 - (2) The expansion of existing off-street parking and vehicle use areas, where additional paved surface is added;
 - (3) The alteration of existing off-street parking and vehicle use areas, where the existing paved surface is replaced with a new paved surface; and
 - (4) The paving of an unpaved area.

Finding: The proposal is limited to restriping only; therefore, this standard is not applicable.

Bicycle Parking

SRC 806.045 – General Applicability.

- (a) Bicycle parking shall be provided as required under this chapter for each proposed new use or activity; any change of use or activity; or any intensification, expansion, or enlargement of a use or activity.
- (b) Applicability to change of use of existing building in Central Business District (CB) zone. Notwithstanding any other provision of this chapter, the bicycle parking requirements for a change of use of an existing building within the CB zone shall be met if there are a minimum of eight bicycle parking spaces located within the public right-of-way of the block face adjacent to the primary entrance of the building. If the minimum number of required bicycle parking spaces are not present within the block face, the applicant shall be required to obtain a permit to have the required number of spaces installed. For purposes of this subsection, "block face" means the area within the public street right-of-way located along one side of a block, from intersecting street to intersecting street.
- (c) Applicability to nonconforming bicycle parking area. When bicycle parking is required to be added to an existing bicycle parking area that has a nonconforming number of spaces, the number of spaces required under this chapter for any new use or activity, any change of use or activity, or any intensification, expansion, or enlargement of a use or activity shall be provided, in addition to the number of spaces required to remedy the existing deficiency.

SRC 806.050 – Proximity of Bicycle Parking to use or Activity Served.

Bicycle parking shall be located on the same development site as the use or activity it serves.

SRC 806.055 – Amount of Bicycle Parking.

Unless otherwise provided under the UDC, bicycle parking shall be provided in amounts not less than those set forth in Table 806-9.

Finding: The proposed development does not result in a change of or enlargement of use or activity, as the refurbishments are limited to in-kind replacements within the existing footprint of the buildings. Therefore, this standard is not applicable.

• Off-Street Loading Areas

SRC 806.065 - General Applicability.

- (a) Off-street loading areas shall be provided and maintained for each proposed new use or activity; any change of use or activity, when such change of use or activity results in a greater number of required off-street loading spaces than the previous use or activity; or any intensification, expansion, or enlargement of a use or activity.
- (b) Applicability to nonconforming off-street loading area. When off-street loading is required to be added to an existing off-street loading area that has a nonconforming number of spaces, the number of spaces required under this chapter for any new use or activity, any change of use or activity, or any intensification, expansion, or enlargement of a use or activity shall be provided, in addition to the number of spaces required to remedy the existing deficiency.

SRC 806.070 – Proximity of Off-Street Loading Areas to use or Activity Served. Off-street loading shall be located on the same development site as the use or activity it serves.

SRC 806.075 – Amount of Off-Street Loading.

Unless otherwise provided under the UDC, off-street loading shall be provided in amounts not less than those set forth in Table 806-11.

Finding: The proposed development does not result in a change of or enlargement of use or activity, as the refurbishments are limited to in-kind replacements within the existing footprint of the buildings. Therefore, this standard is not applicable.

SRC Chapter 807 – Landscaping

All required setbacks shall be landscaped with a minimum of one Plant Unit per 20 square feet of landscaped area. A minimum of 40 percent of the required number of Plant Units shall be a combination of mature trees, shade trees, evergreen/conifer trees, or ornamental trees. Plant materials and minimum Plant Unit values are defined in SRC Chapter 807, Table 807-2. All building permit applications for development subject to landscaping requirements shall include landscape and irrigation plans meeting the requirements of SRC Chapter 807.

Finding: No landscaping is proposed to be removed as part of the development, with pea gravel proposed along the perimeter of most buildings.

4. Design Review Approval Criteria

The purpose of Design Review is to create a process to review development applications that are subject to Design Review guidelines and Design Review standards.

SRC 225.005(d) provides that Design Review shall be approved if all the applicable Design Review standards are met. Except as provided under SRC 702.005(b), and unless otherwise provided in the UDC, Design Review under SRC Chapter 225 is required for all multiple family development.

SRC 225.005(d): Design Review shall be approved if all the applicable Design Review standards are met.

Finding: The subject property is zoned RM-II (Multiple Family Residential-II). Pursuant to SRC 514.015(a), multiple family development within the RM-II zone shall be subject to Design Review according to the Multiple Family Design Review Standards set forth in SRC Chapter 702. The proposed development conforms to SRC Chapter 702 as follows:

SRC Chapter 702 – Multiple Family Design Review Standards

SRC 702.020 – Design Review Standards for Multiple Family Development with Thirteen or More Units.

SRC 702.020(a) – Open Space Standards

(1) To encourage the preservation of natural open qualities that may exist on a site and to provide opportunities for active and passive recreation, all newly constructed multiple family developments shall provide a minimum 30 percent of the gross site area in designated and permanently reserved open space. For the purposes of this subsection, the term "newly constructed multiple family developments" shall not include multiple family developments created through only construction or improvements to the interior of an existing building(s). Indoor or covered recreation space may count toward this open space requirement.

Finding: The proposed development includes the replacement of siding, roofing, interior improvements, and some ancillary site improvements. The amount of dedicated open space is not proposed to be changed, though the existing playground equipment is proposed to be replaced within the existing areas. Therefore, this standard is not applicable.

(*A*) To ensure usable open space that is of sufficient size, at least one common open space area shall be provided that meets the size and dimension standards set forth in Table 702-3.

Finding: No changes are proposed to the dimensions or location of the existing open space; therefore, this standard is not applicable.

(B) To ensure the provided open space is usable, a maximum of 15 percent of the common open space shall be located on land with slopes greater than 25 percent.

Finding: No changes are proposed to the dimensions or location of the existing open space; therefore, this standard is not applicable.

(C) To allow for a mix of different types of open space areas and flexibility in site design, private open space, meeting the size and dimension standards set forth in Table 702-4, may count toward the open space requirement. All private open space must meet the size and dimension standards set forth in Table 702-4.

Finding: No changes are proposed to the dimensions of the existing private open space; therefore, this standard is not applicable.

(D) To ensure a mix of private and common open space in larger developments, private open space, meeting the size and dimension standards set forth in Table 702-4, shall be provided for a minimum of 20 percent of the dwelling units in all newly constructed multiple family developments with 20 or more dwelling units. Private open space shall be located contiguous to the dwelling unit, with direct access to the private open space provided through a doorway.

Finding: No changes are proposed to the amount of existing private open space; therefore, this standard is not applicable.

- (E) To encourage active recreational opportunities for residents, the square footage of an improved open space area may be counted twice toward the total amount of required open space, provided each such area meets the standards set forth in this subsection. Example: a 750-square-foot improved open space area may count as 1,500 square feet toward the open space requirement.
 - *(i)* Be a minimum 750 square feet in size with a minimum dimension of 25 feet for all sides; and
 - (ii) Include at least one of the following types of features:
 - a. Covered pavilion.
 - b. Ornamental or food garden.
 - *c.* Developed and equipped children's play area, with a minimum 30-inch-tall fence to separate the children's play area from any parking lot, drive aisle, or street.
 - *d.* Sports area or court (e.g., tennis, handball, volleyball, basketball, soccer).
 - e. Swimming pool or wading pool.

Finding: No changes are proposed to the dimensions or locations of the existing open space, which includes a community garden, basketball court, plaza, and two children's play areas. Equipment upgrades are proposed for the children's play area, but the amount of space dedicated for the area is not changing. Therefore, this standard is not applicable.

(*F*) To encourage proximity to and use of public parks, the total amount of required open space may be reduced by 50 percent for developments that are located within one-quarter mile of a public urban, community, or neighborhood park as measured along a route utilizing public or private streets that are existing or will be constructed with the development.

Finding: No changes are proposed to the existing private open space; therefore, this standard is not applicable.

SRC 702.020(b) – Landscaping Standards.

(1) To encourage the preservation of trees and maintain or increase tree canopy, a minimum of one tree shall be planted or preserved for every 2,000 square feet of gross site area.

Finding: No changes are proposed to the existing landscaping; therefore, this standard is not applicable.

- (2) Where a development site abuts property that is zoned Residential Agricultural (RA) or Single Family Residential (RS), a combination of landscaping and screening shall be provided to buffer between the multiple family development and the abutting RA or RS zoned property. The landscaping and screening shall include the following:
 - (A) A minimum of one tree, not less than 1.5 inches in caliper, for every 30 linear feet of abutting property width; and
 - (B) A minimum six-foot tall, decorative, sight-obscuring fence or wall. The fence or wall shall be constructed of materials commonly used in the construction of fences and walls, such as wood, stone, rock, brick, or other durable materials. Chain link fencing with slats shall be not allowed to satisfy this standard.

Finding: No changes are proposed to the existing landscaping or screening; therefore, this standard is not applicable.

(3) To define and accentuate primary entryways, a minimum of two plant units, shall be provided adjacent to the primary entryway of each dwelling unit, or combination of dwelling units.

Finding: No changes are proposed to the existing landscaping; therefore, this standard is not applicable.

(4) To soften the visual impact of buildings and create residential character, new trees shall be planted, or existing trees shall be preserved, at a minimum density of ten plant units per 60 linear feet of exterior building wall. Such trees shall be located not more than 25 feet from the edge of the building footprint.

Finding: No changes are proposed to the existing landscaping; therefore, this standard is not applicable.

(5) Shrubs shall be distributed around the perimeter of buildings at a minimum density of one plant unit per 15 linear feet of exterior building wall.

Finding: No changes are proposed to the existing landscaping; therefore, this standard is not applicable.

(6) To ensure the privacy of dwelling units, ground level private open space shall be physically and visually separated from common open space with perimeter landscaping or perimeter fencing.

Finding: No changes are proposed to the existing landscaping or fencing; therefore, this standard is not applicable.

(7) To provide protection from winter wind and summer sun and to ensure trees are distributed throughout a site and along parking areas, a minimum of one canopy tree shall be planted along every 50 feet of the perimeter of parking areas. Trunks of the trees shall be located within ten feet of the edge of the parking area (see Figure 702-3).

Finding: No landscaping changes are proposed to the existing parking areas; therefore, this standard is not applicable.

(A) A minimum of one canopy tree shall be planted within each planter bay.

(B) A landscaped planter bay a minimum of nine feet in width shall be provided at a minimum spacing of one for every 12 spaces. (See Figure 702-3.)

Finding: No changes are proposed to the existing parking areas or landscaping; therefore, this standard is not applicable.

(8) Multiple family developments with 13 or more units are exempt from the landscaping requirements in SRC chapter 806.

SRC 702.020(c) – Site Safety and Security.

(1) Windows shall be provided in all habitable rooms, other than bathrooms, on each wall that faces common open space, parking areas, and pedestrian paths to encourage visual surveillance of such areas and minimize the appearance of building bulk.

Finding: Interior and exterior improvements are proposed in-kind in the existing locations, resulting in no changes to the location of windows. Therefore, this standard is not applicable.

(2) Lighting shall be provided that illuminates all exterior dwelling unit entrances, parking areas, and pedestrian paths within the development to enhance visibility and resident safety.

Finding: The existing lighting is proposed to be upgraded to LEDs for greater illumination and efficiency, though the location of the lights themselves is not changing. Therefore, this standard is not applicable.

(3) Fences, walls, and plant materials shall not be installed between street-facing dwelling units and public or private streets in locations that obstruct the visibility of dwelling unit entrances from the street. For purposes of this standard, the term "obstructed visibility" means the entry is not in view from the street along one-half or more of the dwelling unit's frontage.

Finding: No changes are proposed to the existing landscaping or fencing; therefore, this standard is not applicable.

(4) Landscaping and fencing adjacent to common open space, parking areas, and dwelling unit entryways shall be limited to a maximum height of three feet to encourage visual surveillance of such areas.

Finding: No changes are proposed to the existing landscaping or fencing; therefore, this standard is not applicable.

SRC 702.020(d) – Parking and Site Design.

(1) To minimize large expanses of continuous pavement, parking areas greater than 6,700 square feet in area shall be physically and visually separated with landscaped planter bays that are a minimum of nine feet in width. Individual parking areas may be connected by an aisle or driveway (see Figure 702-3).

Finding: No changes are proposed to the existing parking areas beyond restriping; therefore, this standard is not applicable.

(2) To minimize the visual impact of on-site parking and to enhance the pedestrian experience, off-street surface parking areas and vehicle maneuvering areas shall be located behind or beside buildings and structures. Off-street surface parking areas and vehicle maneuvering areas shall not be located between a building or structure and a street.

Finding: No changes are proposed to the existing parking areas beyond restriping; therefore, this standard is not applicable.

(3) Where a development site abuts, and is located uphill from, property zoned Residential Agriculture (RA) or Single Family Residential (RS), and the slope of the development site within 40 feet of the abutting RA or RS zoned property is 15 percent or greater, parking areas shall be set back not less than 20 feet from the property line of the abutting RA or RS zoned property to ensure parking areas are designed to consider site topography and minimize visual impacts on abutting residential properties.

Finding: No changes are proposed to the existing parking areas beyond restriping, and the property does not abut any RA or RS zoned properties. Therefore, this standard is not applicable.

(4) To ensure safe pedestrian access to and throughout a development site, pedestrian pathways shall be provided that connect to and between buildings, common open space, and parking areas, and that connect the development to the public sidewalks.

Finding: No changes are proposed to the existing pedestrian connections; therefore, this standard is not applicable.

SRC 702.020(e) – Façade and Building Design.

(1) To preclude long monotonous exterior walls, buildings shall have no dimension greater than 150 feet.

Finding: No changes are proposed to the existing building dimensions; therefore, this standard is not applicable.

(2) Where a development site abuts property zoned Residential Agricultural (RA) or Single Family Residential (RS), buildings shall be setback from the abutting RA or RS zoned property as set forth in Table 702-5 to provide appropriate transitions between new buildings and structures on site and existing buildings and structures on abutting sites.
(A) A 5-foot reduction is permitted to each required setback in Table 702-5 provided that the height of the required fence in Sec. 702.020(b)(2)(B) is increased to eight feet tall.

Finding: The property does not abut any RA or RS zoned properties, and no changes are proposed to the existing building setbacks. Therefore, this standard is not applicable.

(3) To enhance compatibility between new buildings on site and abutting residential sites, balconies located on building facades that face RA or RS zoned properties, unless separated by a street, shall have fully sight-obscuring railings.

Finding: The development site does not abut RA or RS zoned property; therefore, this standard does is not applicable.

(4) On sites with 75 feet or more of buildable width, a minimum of 40 percent of the buildable width shall be occupied by building placed at the setback line to enhance visual interest and activity along the street. Accessory structures shall not apply towards meeting the required percentage.

Finding: No changes are proposed to the existing building dimensions; therefore, this standard is not applicable.

(5) To orient buildings to the street, any ground-level unit, cluster of units, interior lobbies, or portions thereof, located within 25 feet of the property line abutting a street shall have a building entrance facing that street, with direct pedestrian access to adjacent sidewalks.

Finding: No changes are proposed to the existing building orientation or dimensions; therefore, this standard is not applicable.

(6) A porch or architecturally defined entry area shall be provided for each ground level dwelling unit. Shared porches or entry areas shall be provided to not more than four dwelling units. Individual and common entryways shall be articulated with a differentiated roof, awning, stoop, forecourt, arcade, or portico.

Finding: No changes are proposed to the existing building entries; therefore, this standard is not applicable.

(7) Roof-mounted mechanical equipment, other than vents or ventilators, shall be screened from ground level view. Screening shall be as high as the top of the mechanical equipment and shall be integrated with exterior building design.

Finding: No roof-mounted mechanical equipment is shown to be existing or proposed for the development; therefore, this standard is not applicable.

(8) To reinforce the residential character of the neighborhood, flat roofs, and the roof ridges of sloping roofs, shall not exceed a horizontal length of 100 feet without providing differences in elevation of at least four feet in height. In lieu of providing differences in elevation, a cross gable or dormer that is a minimum of four feet in length may be provided. (See Figure 702-4)

Finding: The existing roofs are proposed to be refurbished, though the underlying structure is not proposed to be modified. Therefore, this standard is not applicable.

- (9) To minimize the appearance of building bulk, each floor of each building's vertical face that is 80 feet in length or longer shall incorporate one or more of the design elements below (see examples in Figure 702-5). Design elements shall vary from other wall surfaces by a minimum of four feet and such changes in plane shall have a minimum width of six feet. (A) Offsets (recesses and extensions)
 - (B) Covered deck.
 - (C)Covered balcony.
 - (D)Cantilevered balcony, provided at least half of its depth is recessed.
 - (E) Covered entrance.

Finding: No changes are proposed to the existing building dimensions or locations of balconies and decks; therefore, this standard is not applicable.

- (10) To visually break up the building's vertical mass, the first floor of each building, except for single-story buildings, shall be distinguished from its upper floors by at least one of the following (see examples in Figure 702-6):
 - (A) Change in materials.
 - (B) Change in color.
 - (C) Molding or other horizontally-distinguishing transition piece.

Finding: As shown on the applicant's development plans (**Attachment B**), changes in color and materials are included to break up the vertical mass of the building and distinguish the first level from upper floors. This standard is met

5. Conclusion

Based on the conformance with the preceding requirements the Planning Administrator certifies that the proposed Class 2 Site Plan Review is in conformance with the UDC and the approval criteria provided in SRC 220.005(f)(2), provided compliance occurs with any applicable items noted above.

<u>Please Note:</u> Findings included in this decision by the direction of the Salem Fire Department are based on non-discretionary standards. Fire Code related findings are intended to inform the applicant of the clear and objective Fire Prevention Code standards of SRC Chapter 58 that will apply to this development proposal on application for building permit(s). Additional or different Fire Prevention Code standards may apply based on the actual building permit application submitted.

Building permits are required for the proposed development.

Next steps:

Please submit building permits or other development permits for this project with the Building and Safety Division. Please submit a copy of this decision or this application file number with your building permit application for the work proposed.

IT IS HEREBY ORDERED

The proposed Class 2 Site Plan Review and Design Review is consistent with the provisions of SRC Chapters 220, 225, and 702, and is hereby **APPROVED** subject to the applicable standards of the Salem Revised Code and the findings contained herein.

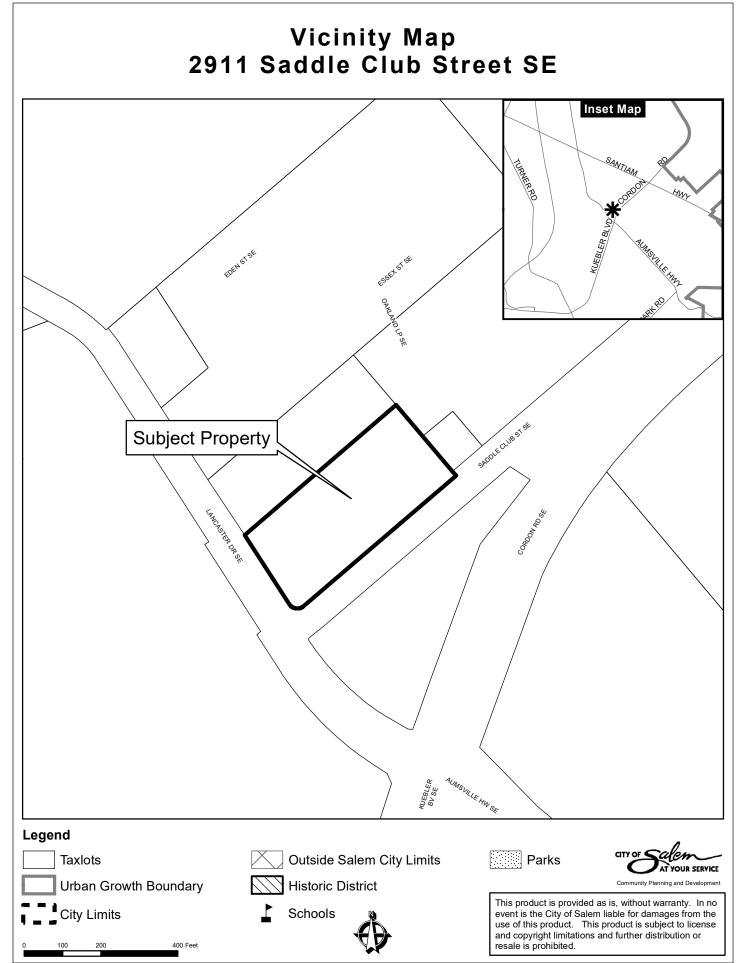
Quincy Miller, AICP, Planner I, on behalf of Lisa Anderson-Ogilvie, AICP Planning Administrator

Attachments: A. Vicinity Map

B. Proposed Development Plans

G:\CD\PLANNING\CASE APPLICATION Files 2011-On\SITE PLAN REVIEW Type 1 (Class 1 and Class 2)\2025\25-107366-PLN_Decision_QM.docx

Attachment A



C:\Users\qmiller\Desktop\GIS_Local\VicinityMap.mxd - 5/2/2025 @ 9:16:48 AM

CODES & REGULATIONS:

ASHRAE 2022-90.1 (RESIDENTIAL - CLIMATE ZONE: 4C)

ELEMENT	REQUIRED	PROPOSED
ROOF: INSULATION IN ATTIC	R-49	
WALLS ABOVE GRADE: WOOD-FRAMED	EXISTING TO REMAIN	
WALLS BELOW GRADE	EXISTING TO REMAIN	
FLOORS: WOOD-FRAMED	EXISTING TO REMAIN	
SLAB ON GRADE FLOORS: HEATED	EXISTING TO REMAIN	
OPAQUE DOORS: SWINGING	U-0.370	
OPAQUE DOORS: NON-SWINGING	U-0.310	
FENESTRATION: ASSEMBLY FIXED (VINYL WINDOW)	MAX U VALUE: 0.36/ MAX SHGC: 0.38/ MIN VT: 1.10	
FENESTRATION: ASSEMBLY OPERABLE	MAX U VALUE: 0.45/ MAX	
(VINYL WINDOW)	SHGC: 0.33/ MIN VT: 1.10	

BUILDING INFORMATION:

		ENISTIN	G BUILDING						
BUILDING #	CONSTRUCTION TYPE	FIRE SUPPRESSION	OCCUPANCY	STORIES	HEIGHT	AREA - LEVEL 1	AREA - LEVEL 2	AREA - LEVEL 3	AREA TOTAL
BUILDING 1 (2921)	V-1-HR (W/ 1-HR SEPARATION AT DWELLING UNITS)	NFPA 13	B, A-3, R-1	2	32 FT	4,310 SF	3,920 SF	-	8,230 SF
BUILDING 2 (2991)	V-1-HR (W/ 1-HR SEPARATION AT DWELLING UNITS)	NFPA 13-R	R-1	3	33 FT	3,280 SF	3,240 SF	1,940 SF	8,460 SF
BUILDING 3 (2981)	V-N (W/ 1-HR SEPARATION AT DWELLING UNITS)	-	R-1	2	25 FT	4,070 SF	3,850 SF	-	7,920 SI
BUILDING 4 (2951)	V-N (W/ 1-HR SEPARATION AT DWELLING UNITS)	-	R-1	2	25 FT	4,070 SF	3,850 SF	-	7,920 SI
BUILDING 5 (2971)	V-N (W/ 1-HR SEPARATION AT DWELLING UNITS)	-	R-1	2	28 FT	1,920 SF	1,890 SF	-	3,810 SI
BUILDING 6 (2931)	V-1-HR (W/ 1-HR SEPARATION AT DWELLING UNITS)	NFPA 13-R	R-1	3	33 FT	3,280 SF	3,240 SF	1,940 SF	8,460 SF
BUILDING 7 (2941)	V-N (W/ 1-HR SEPARATION AT DWELLING UNITS)	-	R-1	2	27 FT	2,060 SF	1,900 SF	-	3,960 SF
BUILDING 8 (2911)	V-N (W/ 1-HR SEPARATION AT DWELLING UNITS)	-	R-1	2	25 FT	4,070 SF	3,850 SF	-	7,920 SI
BUILDING 9 (2961)	V-N	-	В	1	12 FT	220 SF	-	-	220 SF

BUILDING INFORMATION BASED ON CITY OF SALEM APPROVED CONSTRUCTION DOCUMENTS DATED 04/15/2004

AS NOTED ABOVE, ONLY BUILDINGS 1, 2 & 6 ASSUMED TO HAVE 1-HR FIRE RATED EXTERIOR WALLS WITH EXTERIOR RATED GYPSUM BOARD PER CITY

OF SALEM APPROVED CONSTRUCTION DOCUMENTS DATED 04/15/2024. ALL UNIT DEMISING AND SEPARATING FLOOR/CEILING ASSEMBLIES ASSUMED TO BE 1-HOUR RATED PER CITY OF SALEM APPROVED CONSTRUCTION DOCUMENTS DATED 04/15/2024.

ALLOWANCE SCOPE: DRAWING INDEX: GENERAL BUILDING ENVELOPE/ STRUCTURAL ITEMS:1.EXTERIOR STRUCTURAL ROOF SHEATHING - ASSUME 25% REPLACEMENT G1.01 COVER PAGE/ GENERAL INFORMATION / SHEET INDEX ABBREVIATIONS / SYMBOLS & GENERAL NOTES G1.02 **EXTERIOR STRUCTURAL WALL SHEATHING - ASSUME 25% REPLACEMENT** G3.01 ASSEMBLIES EXTERIOR GYPSUM BOARD SHEATHING - ASSUME 25% REPLACEMENT DEMOLITION BALCONY SUPPORT POST REPLACEMENT - ASSUME 25% REPLACEMENT DEMOLITION, TYPICAL FLOOR PLAN & ROOF PLAN D2.01 D2.02 **DEMOLITION - TYPICAL EXTERIOR ELEVATIONS** BALCONY RAILING REPLACEMENT - ASSUME 20% REPLACEMENT **CRAWLSPACE REPAIRS** - SCOPE TBD ARCHITECTURAL A1.01 ARCHITECTURAL SITE PLAN RELOCATE OR BURY EXISTING SURFACE MOUNTED WIRING - SCOPE TBD BLDG 1 - FLOOR PLAN - LEVELS 1 & 2 A2.01 MURAL REPLACEMENT - FHDC TO COORDINATE NEW MURAL, GC TO HOLD ALLOWANCE FOR NEW MURAL IN BUDGET. BLDG 1 - ROOF PLAN A2.02 A2.03 BLDG 2 - FLOOR PLAN - LEVELS 1 & 2 **ROOF VENTING REPLACEMENT - CONTRACTOR TO FIELD VERIFY & REPLACE** A2.04 BLDG 2 - FLOOR PLAN - LEVEL 3 & ROOF PLAN VENTING IN KIND. BLDGS 3, 4 & 8 - FLOOR PLAN - LEVELS 1 & 2 A2.05 A2.06 BLDGS 3, 4 & 8 - ROOF PLAN STRUCTURAL REPAIRS - SCOPE TBD 10. A2.07 BLDG 5 - FLOOR PLAN - LEVELS 1 & 2 & ROOF PLAN COLUMNS & NEW METAL BRACKET CONNECTIONS A2.08 BLDG 6 - FLOOR PLAN - LEVELS 1 & 2 DRY ROT REPAIRS - SCOPE TBD 11. A2.09 BLDG 6 - LEVEL 3 & ROOF PLAN WALL FRAMING • BLDG 7 - FLOOR PLAN - LEVELS 1 & 2 & ROOF PLAN A2.10 TRUSSES • BLDG 7 ROOF PLAN & BLDG 9 - FLOOR PLAN & ROOF PLAN A2.11 CAVITY INSULATION **BUILDING INTERIOR ITEMS:** A4.01 **BLDG 1 - EXTERIOR ELEVATIONS** ATTIC FIRE WALL REPAIR - SCOPE TBD **BLDG 2 - EXTERIOR ELEVATIONS** A4.02 12. A4.03 BLDGS 3, 4 & 8 - EXTERIOR ELEVATIONS DRYWALL REPAIRS FOR MEPF SCOPE & ETO SCOPE - SCOPE TBD. (DRYWALL 13. A4.04 BLDG 5 - EXTERIOR ELEVATIONS FOR KNOWN SCOPE FOR WINDOW AND DOOR REPLACEMENT AND NEW A4.05 **BLDG 6 - EXTERIOR ELEVATIONS** OFFICE WALL TO BE SEPARATE LINE ITEM IN BUDGET) A4.06 BLDG 7 & 9 - EXTERIOR ELEVATIONS FLOORING - FULL FLOOR REPLACEMENT WHEN UNIT RESIDENTS ARE 14. REQUIRED TO RELOCATE FOR OTHER SCOPE OF WORK (ASSUME 31 UNITS -A8.01 SITE DETAILS - TRASH ENCLOSURES CROSS REFERENCE A3.00) FLOORING UNDERLAYMENT REPAIRS - SCOPE TBD 15. WATER HEATERS - REPLACE 50% OF UNITS 16. **APPLIANCES** - REPLACE 75% OF UNITS (REFERENCE SPECS) 17. REFRIGERATOR RANGE/ STOVE SITE ITEMS: PLAZA REPAIR - SCOPE TBD 18. MINOR GRADING & PEA GRAVEL AROUND BUILDINGS - SCOPE TBD 19. CATCH BASIN/ MISCELLANEOUS SITE DRAINAGE WORK - SCOPE TBD 20. CONCRETE FLATWORK REPAIRS (PER HHPR DOCUMENT) - SCOPE TBD 21. STRIPING REPAIRS - SCOPE TBD 22. **DEFERRED SUBMITTALS:** SITE INFORMATION:

CONTRACTOR SHALL PROVIDE COMPLETE DESIGN AND DOCUMENTATION AS REQUIRED FOR SUBMISSION TO, AND APPROVAL OF ARCHITECT, OWNER, AND GOVERNING BUILDING DEPARTMENT:

UPON COMPLETION OF REVIEW BY ARCHITECT AND ENGINEER OF RECORD THE CONTRACTOR SHALL BE RESPONSIBLE FOR ROUTING DOCUMENTS TO PERMIT AGENCY FOR PLAN REVIEW AND PAYING ANY PLANS CHECK AND PERMIT FEES.

ITEMS:

- PLUMBING EQUIPMENT GRAVITY SUPPORT, ANCHORAGE & SEISMIC BRACING.
- 2 ELECTRICAL EQUIPMENT GRAVITY SUPPORT, ANCHORAGE & SEISMIC BRACING.
- 3 MECHANICAL EQUIPMENT GRAVITY SUPPORT, ANCHORAGE & SEISMIC BRACING.

4 FENCES (ABOVE 7-FT) 5 CMU SCREENING WALLS

SEPARATE PERMITS:

1 HEATING, VENTILATING, AND AIR CONDITIONING SYSTEMS AS REQUIRED.

2 ELECTRICAL AND LOW-VOLTAGE SYSTEMS AS REQUIRED.

3 PLUMBING SYSTEMS AS REQUIRED.

4 RADON SYSTEMS AS REQUIRED.

GENERAL INFORMATION:

SITE AREA: 2.96 ACRES

TAX LOT #: MARION COUNTY - 082W06DA00300

ZONING: MULTIPLE FAMILY RESIDENTIAL 2 (RM2)

LANDSCAPE AREA: EXISTING TO REMAIN

VEHICLE PARKING: EXISTING TO REMAIN

BICYCLE PARKING: EXISTING TO REMAIN

UNIT INFORMATION:

UNIT ID	ACCESSIBILITY	UNIT TYPE	# BEDROOMS	# OF UNITS
1.1	*ADA	FLAT	1	1
1.2	-	FLAT	1	2
1.3	-	FLAT	1	1
2.1	*ADA	FLAT	2	2
2.2	-	FLAT	2	1
2.3	-	FLAT	2	1
2.4	-	TOWNHOME	2	12
2.5	-	TOWNHOME	2	6
2.6	-	TOWNHOME	2	2
3.1	*ADA	FLAT	3	1
3.2	-	TOWNHOME	3	14
3.3	-	TOWNHOME	3	1
4.1	-	TOWNHOME	4	4

*ADA UNIT NOTED ON CITY OF SALEM APPROVED CONSTRUCTION DOCUMENTS DATED 04/15/2004.

**NOTE: BUILDING INFORMATION BASED ON CITY OF SALEM APPROVED CONSTRUCTION DOCUMENTS DATED 04/15/2004.

PROJECT TEAM:

OWNER/ DEVELOPER

FARMWORKER HOUSING DEVELOPMENT CORPORATION 1274 5TH STREET, SUITE 1-A WOODBURN, OREGON 97071 CONTACT: CARMEN FERNANDEZ PHONE: (503) 981-1618

DEVELOPMENT CONSULTANT

NELSON CAPITOL CPM, LLC PO BOX 2352 BEND, OREGON 97709 CONTACT: DOUG NELSON PHONE: (503) 539-6712

GENERAL CONTRACTOR

LMC CONSTRUCTION 19200 SW TETON AVENUE TUALATIN, OREGON 97062 CONTACT: KYLE ANDERSON PHONE: (503) 646-0521

ARCHITECT

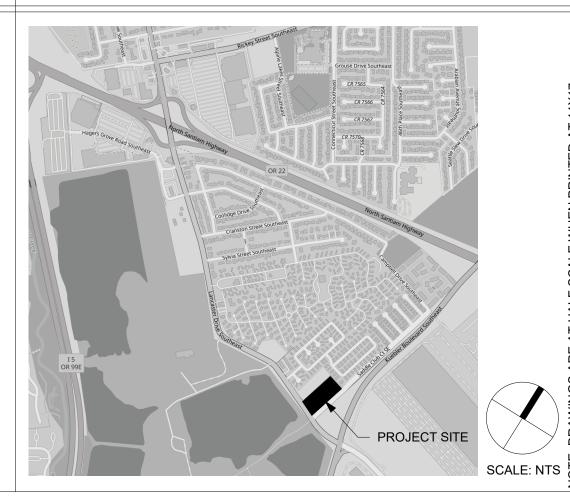
CARLETON HART ARCHITECTURE PC 630 SW 5TH AVENUE, SUITE #400 PORTLAND, OREGON 97204 CONTACT: KAYLA ZANDER PHONE: (503) 206-3038

PROJECT DESCRIPTION:

THE PROJECT CONSISTS OF (9) EXISTING BUILDINGS WITH 48 DWELLING UNITS (MIX OF 1, 2, 3 AND 4 BEDROOM UNITS), COMMUNITY SUPPORT SPACES, ASSOCIATED PARKING, OPEN SPACES AND SITE INFRASTRUCTURE. THE SCOPE OF THIS PROJECT IS TO REPLACE IN KIND ALL EXTERIOR ENVELOPE COMPONENTS AND SELECT INTERIOR UNIT FINISHES.

ANY AND ALL MECHANICAL, ELECTRICAL, PLUMBING, RADON, AND FIRE SUPPRESSION ARE SEPARATE AND NOT PART OF THE PERMITTING FOR THIS PROJECT.

VICINITY MAP:



PRELIMINARY NOT FOR CONSTRUCTION



COVER PAGE/ GENERAL **INFORMATION / SHEET** INDEX

PROJECT NO. 24007

03.31.25

REVISIONS: #

IGN REVIEW REIVEW **DLONIA LIBERTAD 1** I SADDLE CLUB ROAD LEM, OREGON 97317 SZ PLA PLA ШШ USE COI 2911 SALI AND

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ABB	ABBREVIATIONS:				
ACT	ACOUSTICAL CEILING TILE				
ADJ	ADJACENT				
AFF	ABOVE FINISHED FLOOR				
AHJ	AUTHORITY HAVING JURISDICTION				
ALT	ALTERNATE				
ALUM	ALUMINUM				
AVG	AVERAGE				
BLDG	BUILDING				
BM	BEAM				
BO	BOTTOM OF				
CG CJ CL CLG CLR CMU COL COMP CONC CONT CORR CTRL CU	CORNER GUARD CONTROL JOINT CENTER LINE CEILING CLEAR CONCRETE MASONRY UNIT COLUMN COMPOSITE CONCRETE CONCRETE CONTINUE CORRIDOR CONTROL CUBIC				
DEMO	DEMOLITION/DEMOLISH				
DEPT	DEPARTMENT				
DIA	DIAMETER				
DIM	DIMENSION				
DN	DOWN				
DS	DOWNSPOUT				
(E)	EXISTING				
EA	EACH				
EJ	EXPANSION JOINT				
EL	ELEVATION				
ELEC	ELECTRICAL				
ENV	ENVELOPE				
EQ	EQUAL				
EQUIP	EQUIPMENT				
EXT	EXTERIOR				
FEC	FIRE EXTINGUISHER CABINET				
FOS	FACE OF STUD				
FOW	FACE OF WALL				
FR	FIRE RESISTANT				
FT	FOOT OR FEET				
FT	FIELD VERIFY				
GA	GAUGE				
GALV	GALVANIZED				
GC	GENERAL CONTRACTOR				
GYP	GYPSUM				
HC	HOLLOW CORE				
HDG	HOT DIPPED GALVANIZED				
HDR	HEADER				
HDW	HARDWARE				
HGT	HEIGHT				
HM	HOLLOW METAL				
HORIZ	HORIZONTAL				
IAQ	INDOOR AIR QUALITY				
IBC	INTERNATIONAL BUILDING CODE				
IIC	IMPACT INSULATION CLASS				
IN	INCH OR INCHES				
INSUL	INSULATION				
INT	INTERIOR				
JAN	JANITOR				
JT	JOINT				

MATERIAL SYMBOLS:

		CONCRETE SOIL GRAVEL GRAVEL			B R F
ΓEΣ	XT	SYMB	OLS	S:	
&	AND		Χ'	FOOT, FEET	
@	AT		Χ"	INCH(ES)	
ዊ	CENT	ER LINE	х	MULTIPLY, BY	
X°	DEGR	EES	#	NUMBER/POU	NE
=	EQUA	LS	%	PERCENT	
_IN	IE S	SYMBO	DLS		
		BREAK LIN	E		
		— CENTER LI	NE		

——————— MATCH LINE

			GENERAL PROJECT NOTES:	BIDDER/ DE
ION	LAM L MANF M MAX M MECH M MIN M MIR M MISC M MTL M (N) M N/A M NIC M N/A M NIC M NTS M OC OPP O OPT O OPT O PL F PLAM F PREFAB F PREFIN F	KNOCKED DOWN AMINATE MANUFACTURER MAXIMUM MECHANICAL MINIMUM MIRROR MISCELLANEOUS METAL NEW NOT APPLICABLE NOT IN CONTRACT NOT TO SCALE DN CENTER DPPOSITE DPTIONAL PROPERTY LINE PLASTIC LAMINATE PRE-FABRICATE PRE-FINISHED PREPARATION	 A. THESE NOTES ARE A SUPPLEMENT TO THE PROJECT SPECIFICATIONS. ANY DISCREPANCY FOUND AMONG THE DRAWINGS, SPECIFICATIONS, AND NOTES SHALL BE PROMPTLY REPORTED TO THE ARCHITECT IN WRITING ON SUCH FORM AS REQUIRED BY THE CONTRACT DOCUMENTS. ANY WORK DONE BY THE CONTRACTOR AFTER DISCOVERY OF SUCH DISCREPANCY SHALL BE DONE AT THE CONTRACTOR'S RISK. B. THESE DOCUMENTS CONTAIN NOTES THAT MAY APPLY GENERALLY TO ALL DESIGN ELEMENTS, SPECIFICALLY TO ONE SHEET, OR SPECIFICALLY TO ONE OR MORE DESIGN ELEMENTS. ANY ALTERATION, MODIFICATION, DELETION, OR ADDITION TO THE NOTES BY WRITING, ACT OR FAILURE TO ACT, SHALL BE CARRIED OUT ONLY WITH THE PRIOR EXPRESS WRITTEN CONSENT AND APPROVAL OF THE ARCHITECT. C. ALL FEATURES OF CONSTRUCTION NOT FULLY SHOWN SHALL BE THE SAME TYPE AND CHARACTER AS SHOWN FOR SIMILAR CONDITIONS. D. IF ANY DISCREPANCIES ARE KNOWN OR DISCOVERED BETWEEN THE DRAWINGS AND SPECIFICATIONS AND OBSERVED OR VERIFIED CONDITIONS AT THE PROJECT, CONTRACTOR SHALL REPORT THESE ITEMS PROMPTLY TO THE ARCHITECT IN WRITING. E. ALL DIMENSIONS ARE TO FACE OF STRUCTURE OR GRIDLINE, UNLESS OTHERWISE NOTED. F. IN NO CASE SHALL WORKING DIMENSIONS BE SCALED FROM THE DRAWINGS. IN IST HE RESPONSIBILITY OF THE CONTRACTOR TO CROSS CHECK THE DRAWINGS AND DIMENSIONS SHOWN WITH RELATED REQUIREMENTS IDENTIFIED ON OTHER TRADE DRAWINGS (CIVIL, LANDSCAPE, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND OTHER DRAWINGS AS APPLICABLE NOTIF. 	A. APPLICABLE TO ALL UNI a. NEW COVE HEA b. NEW RANGE HO FIELD) - REFER T c. NEW BATHROOM RUNNING FAN IN (PANASONIC WH d. NEW DUCTING A SIZES IN FIELD). e. NEW FRESH AIR f. ACCESS PANELS g. NEW EXHAUST O B. BUILDING 1 SCOPE: a. NEW COMPLETE b. NEW VENTILATIO c. NEW FRESH AIR d. ACCESS PANELS e. NEW FRESH AIR d. ACCESS PANELS e. NEW FRESH AIR d. ACCESS PANELS e. NEW EXHAUST O C. BUILDING 3 SCOPE: a. REPLACEMENT O CONTROLS AND • D. REFER TO ETO SCOPE D
	QC Q QTY Q RCP F REQD F REV F RO F ROW F SALV S SALV S SALV S SAM S SC S SD S SF S SIM S SPECS S SQ S	QUALITY ASSURANCE QUALITY CONTROL QUANTITY REFLECTED CEILING PLAN REQUIRED REVISION ROUGH OPENING RIGHT OF WAY SALVAGE SELF-ADHERING MEMBRANE FLASHING SOLID CORE SMOKE DETECTOR SQUARE FOOT OR FEET SIMILAR SPECIFICATIONS SQUARE	 G. PROVIDE BLOCKING, BACKING, FRAMING FOR REQUIRED FASTENING AND SUPPORT WITHIN ALL WALLS HAVING WALL-MOUNTED COMPONENTS. H. ALL DETAIL CALLOUTS ARE TYPICAL AND ASSUMED TO BE IN MULTIPLE LOCATIONS THROUGHOUT THE PROJECT. PRIOR TO BID, ALL LOCATIONS AND QUANTITIES SHALL BE OBSERVED AND INCLUDED IN THE COST OF THE WORK. I. WHERE A GIVEN MATERIAL IS INDICATED IN DRAWINGS OR SPECIFICATIONS, IT SHALL BE PROVIDED THROUGHOUT THE LENGTH AND HEIGHT OF WALLS, PARTITIONS, PANELS, WINDOWS, AND OTHER CONTIGUOUS SECTIONS, OR IN THE ASSEMBLY DETAIL IN WHICH IT OCCURS, FOR OTHER SIMILAR LOCATIONS THROUGHOUT THE PROJECT, UNLESS ANOTHER MATERIAL IS INDICATED OR OTHERWISE NOTED. 	ELECTRICAL BIDDER-DESIGN S A. ELECTRICAL ITEMS ANI BUT NOT LIMITED TO M B. APPLICABLE TO ALL UN a. NEW DOOR BEL b. NEW EXTERIOR c. REPLACE RANG d. NEW LED LIGHT C. APPLICABLE TO ADA UN a. SAME ITEMS AS b. D. APPLICABLE TO ALL CO a. D. APPLICABLE TO ALL CO b. D. APPLICABLE TO ALL CO C D. APPLICABLE TO ALL CO C D. APPLICABLE TO ALL CO C D. APPLICABLE TO ALL CO C
E	SQ IN S SQ YD S STC S STD S STD S STL S STRUCT S TEMP T THK T THRU T TO T TYP T UON U VAR V VIF V W/D V V V V V V V V V V V V V V V V V V V	SQUARE IN SQUARE YARD SQUARE YARD SQUARE YARD SQUARE YARD SOUND TRANSMISSION CLASS STANDARD STEEL STORAGE STRUCTURAL TEMPORARY THICKNESS THROUGH TOP OF TYPICAL JNLESS OTHERWISE NOTED /ARIES /ERIFY IN FIELD //ARIES /ERIFY IN FIELD //ARIES //ARD	Image: state of the state	E. NEW OFFICE (OFFICE 8 a. NEW LIGHTING b. ADJUST LIGHTIN c. PROVIDE SWITC d. PROVIDE ACOU F. NEW LED AND ENERGY LIMITED TO THE FOLLO a. INTERIOR LIGHT • NEW UN SEPARA • NEW UN SEPARA • NEW CO b. EXTERIOR LIGH • NEW UN • MISCELI c. SITE LIGHTING: • PARKING • SITE PA • MISCELI MAINTEI d. NEW COMMON e. LIGHTING CONT CODE REQUIRE f. COORDINATE LI PLUMBING BIDDER-DESIGN SC A. NEW WATER HEATER A HEATERS ARE ELECTRI REQUIREMENTS AND C B. PROVIDE NEW SINK & F
B	ATT INSULATIO LOWN-IN INSU IGID INSULATIO	ON SEALANT	DRAWING NUMBER SHEET NUMBER SHEET NUMBER DIMENSION TO FACE OF FRAMING, FACE OF CONCRETE, GRIDLINE, OR AS NOTED CLEAR DIMENSION TO FINISH FACE OR AS NOTED CLEAR DIMENSION TO FINISH FACE OR AS NOTED KEYNOTE It DOOR TAG DOOR NUMBER - REFER TO DOOR SCHEDULE FINISH TAG T#	SHEET A3.00 (REPLACE C. (2) LAUNDRY ROOMS - I WALL HANG MOUNTING REPAIRS AND BLOCKIN D. NEW FREEZE PROOF H E. CURRENT ASSUMPTION AND CONFIRM. FIRE BIDDER-DESIGN SCOPE IT A. PROVIDE NEW FIRE EXCONTRACTOR TO CONI PROJECT MORE THAN 4 B. REPLACE ALL SMOKE D
UT, FEET CH(ES) ILTIPLY, BY MBER/POUNE RCENT	+/- ₽	PLUS OR MINUS PROPERTY LINE	T# FINISH MATERIAL WINDOW TAG WINDOW TYPE - REFER TO WINDOW SCHEDULE Room Name 101 ROOM NUMBER DRAWING REVISION REVISION NUMBER	A. NEW DUCTLESS MINI SI • 4-BR UNITS: 1 0 • ALL OTHER UNIT • COORDINATE E

ESIGN SCOPE NOTES:

N SCOPE ITEMS:

JNITS:

EATERS TO REPLACE EXISTING CADET HEATERS IN ALL UNIT BEDROOMS. HOOD REPLACEMENT WITH NEW RIGID DUCTING (CONTRACTOR TO VERIFY SIZE IN

R TO SPECIFICATIONS FOR RANGE HOOD. OM EXHAUST FANS WITH NEW RIGID DUCTING AT ALL UNITS. PROVIDE CONTINUOUSLY N IN LOW MODE WITH OCCUPANCY SENSOR TO ENGAGE BOOST MODE WHEN OCCUPIED WHISPERGREEN OR SIMILAR). INSULATE ALL DUCTING AT ATTIC AREAS.

G AT ALL LOCATIONS THROUGHOUT UNITS AND ATTIC SPACES (CONTRACTOR TO VERIFY AIR SUPPLY STRATEGY (NEW WINDOWS WILL NOT HAVE TRICKLE VENTS). ELS AS REQUIRED FOR EQUIPMENT/ DESIGN.

T CAPS AT ALL EXTERIOR PENETRATIONS (ASSUME PRE-PRIMED METAL).

ETE HVAC SYSTEM FOR ALL COMMON AREAS.

TION SPECIFICALLY NEEDED AT PANTRY. AIR SUPPLY STRATEGY (NEW WINDOWS WILL NOT HAVE TRICKLE VENTS). ELS AS REQUIRED FOR EQUIPMENT/ DESIGN. T CAPS AT ALL EXTERIOR PENETRATIONS (ASSUME PRE-PRIMED METAL).

IT OF GRILLE/ EXHAUST FAN AT TOP OF STAIRS IN TOWNHOMES WITH AUTOMATIC ND TIE TO BATHROOM DUCTING.

E DESCRIPTION BELOW FOR RELATED WORK.

N SCOPE ITEMS:

AND COORDINATION AS NEEDED FOR COORDINATION WITH OTHER SCOPES, INCLUDING MECHANICAL, PLUMBING, LOW VOLT, RADON, FIRE, ETC. & ETO SCOPES. UNITS: BELL AT ALL EXISTING LOCATIONS.

- OR RATED RECEPTACLES AT ALL EXISTING LOCATIONS. NGE HOOD INCANDESCENT BULB WITH LED BULB (IF APPLICABLE). HTING THROUGHOUT - REFER TO NOTE F BELOW.
- UNITS:

AS LISTED ABOVE FOR ALL UNITS. W WALL MOUNTED SWITCH CONNECTION TO NEW RANGE HOODS IN ADA UNITS. WITCH FOR LIGHT AND FAN CONTROLS.

COMMON BUILDING AREAS: OR RATED RECEPTACLES AT ALL EXISTING LOCATIONS. W WALL MOUNTED SWITCH CONNECTION TO NEW RANGE HOODS IN ADA UNITS. WITCH FOR LIGHT AND FAN CONTROLS. HTING THROUGHOUT - REFER TO NOTE F BELOW.

E 8) IN BUILDING 1: IG AND LIGHTING CONTROLS AS REQUIRED BY OWNER - REFER TO NOTE F BELOW. ITING AS REQUIRED IN OFFICE 7 TO COORDINATE WITH NEW OFFICE 8. ITCHING, CONVENIENCE POWER AND LOW-VOLTAGE ITEMS AS REQUIRED BY OWNER. OUSTIC PUTTY PAD AT ALL DEVICES IN NEW WALL PER KEYNOTE ON A2.01.

GY STAR CERTIFIED LIGHTING AT ALL FIXTURES IN PROJECT, INCLUDING BUT NOT LOWING: SHTING:

UNIT INTERIOR LIGHT FIXTURE REPLACEMENT W/ CEILING FANS IN ALL BEDROOMS ARATELY CONTROLLED LIGHTING AND FAN. COMMON AREA INTERIOR LIGHTING REPLACEMENT, INCLUDING NEW OFFICE.

GHTING:

UNIT ENTRY SCONCE LIGHTING REPLACEMENT. ELLANEOUS EXTERIOR BUILDING LIGHTING REPLACEMENT.

KING LOT LIGHTING REPLACEMENT.

PATH LIGHTING REPLACEMENT.

ELLANEOUS OTHER LIGHTING FIXTURE REPLACEMENT AS APPLICABLE (IE: TENANCE SHEDS. ETC.)

ON AREA EMERGENCY SIGNAGE & LIGHTING AS REQUIRED.

NTROLS - MATCH EXISTING FOR ALL AREAS. CONFIRM W/ OWNER IF THERE ARE NEW REMENTS FOR LIGHTING CONTROLS THAT IMPACT THIS PROJECT. E LIGHTING FIXTURE PACKAGE WITH OWNER.

SCOPE ITEMS:

R AND PAN AT IDENTIFIED UNITS ON SHEET A3.00 (OWNER CONFIRMED WATER TRIC - CONTRACTOR TO VERIFY SIZES IN FIELD). CONFIRM ANY CODE DRAINAGE COORDINATE WITH OWNER.

& FAUCET AT UNITS WITH COUNTERTOP REPLACEMENT AT IDENTIFIED UNITS ON CE WITH LOW FLOW OPTION WITH PULL OUT HOSE SIMILAR TO EXISTING).

S - REMOVE EXISTING SINK & REPLACE WITH NEW ACCESSIBLE SINK, PIPE SLEEVE & NG KIT (AMERICAN STANDARD, DECORUM 9024001EC.020 OR SIMILAR) - DRYWALL KING AS REQUIRED.

F HOSE BIBS AT ALL EXTERIOR LOCATIONS.

ION IS NO GAS SCOPE IS REQUIRED FOR PROJECT, CONTRACTOR TO VERIFY IN FIELD

<u>E ITEMS:</u>

EXTINGUISHER AND FIRE EXTINGUISHER CABINETS AT EXISTING LOCATIONS. DNFIRM EXISTING QUANTITIES AND LOCATIONS IN FIELD. CABINETS SHALL NOT N 4" OFF FACE OF WALL FOR ACCESSIBILITY COMPLIANCE.

E DETECTORS WITH NEW COMBINATION SMOKE/ CARBON MONOXIDE DETECTORS.

ER-DESIGN ETO SCOPE ITEMS):

I SPLIT AT EACH UNIT

1 OUTDOOR UNIT, 2 INDOOR UNITS.

INITS: 1 OUTDOOR UNIT, 1 INDOOR UNIT. E ELECTRICAL AND PLUMBING WORK AS REQUIRED FOR THIS SCOPE OF WORK.

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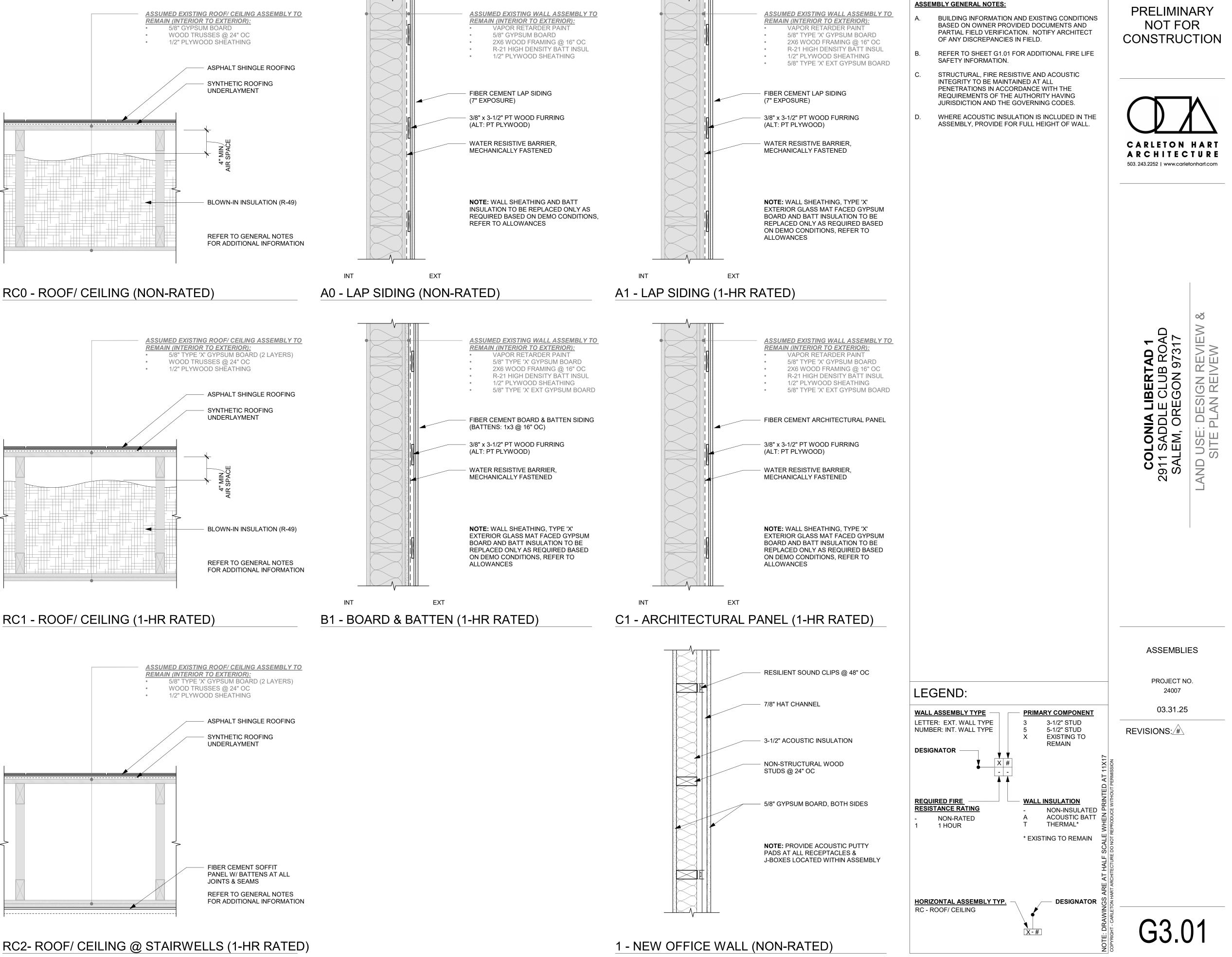
ABBREVIATIONS / SYMBOLS & GENERAL NOTES

PROJECT NO. 24007

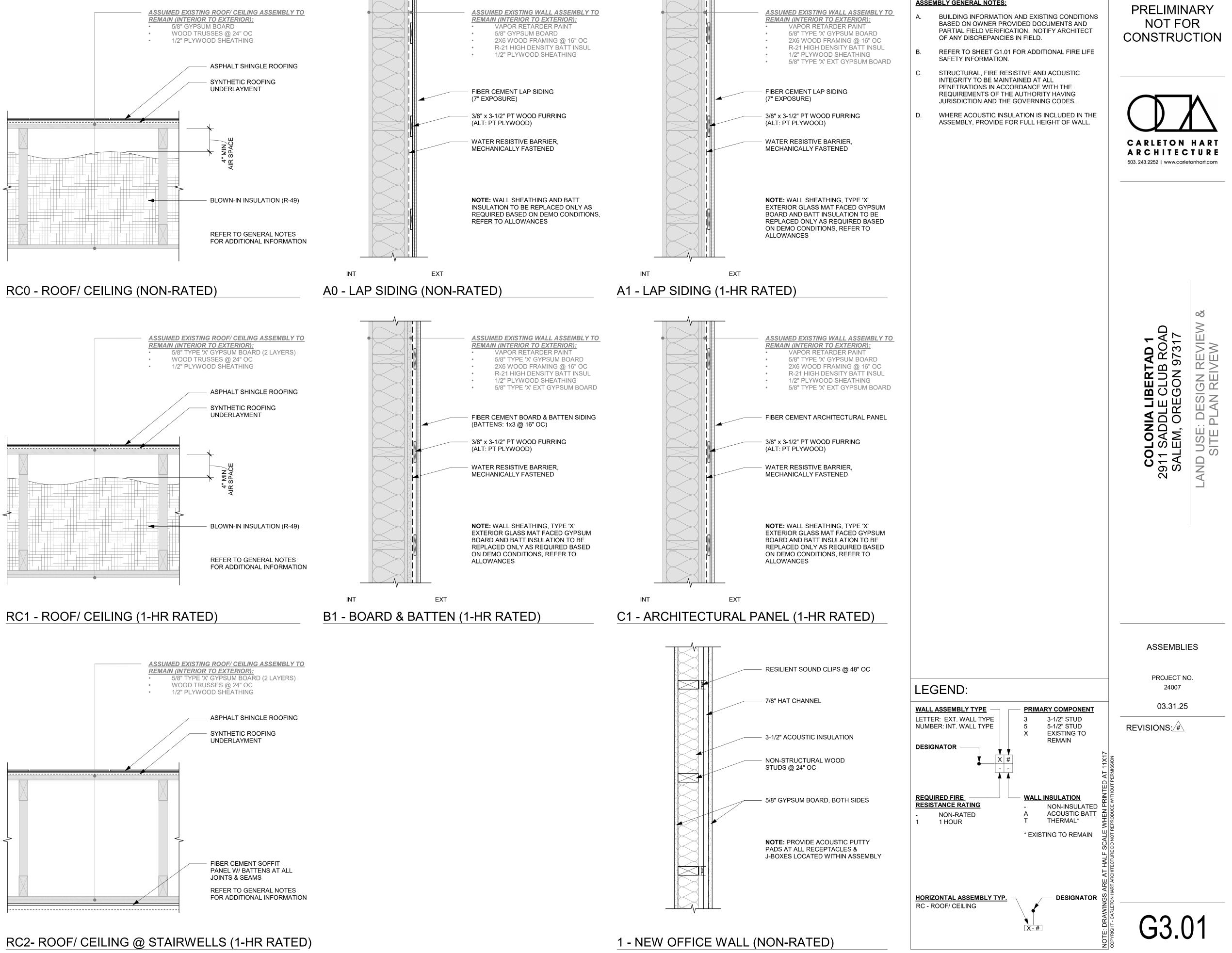
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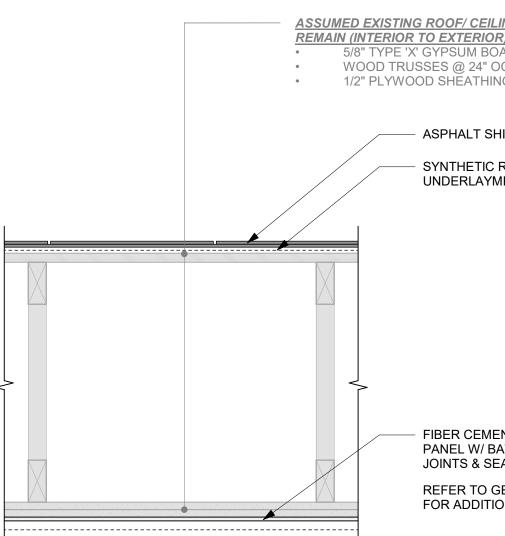
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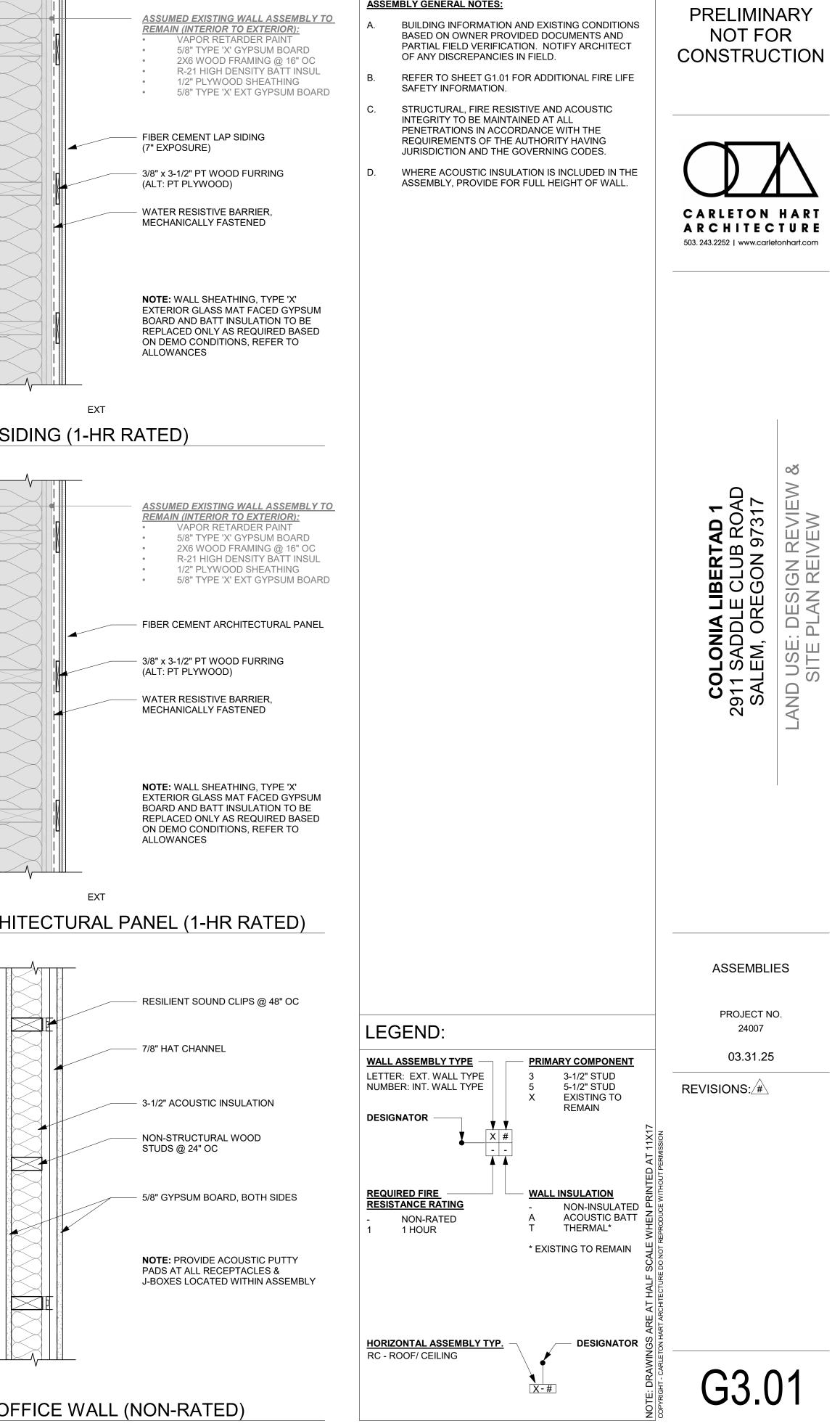
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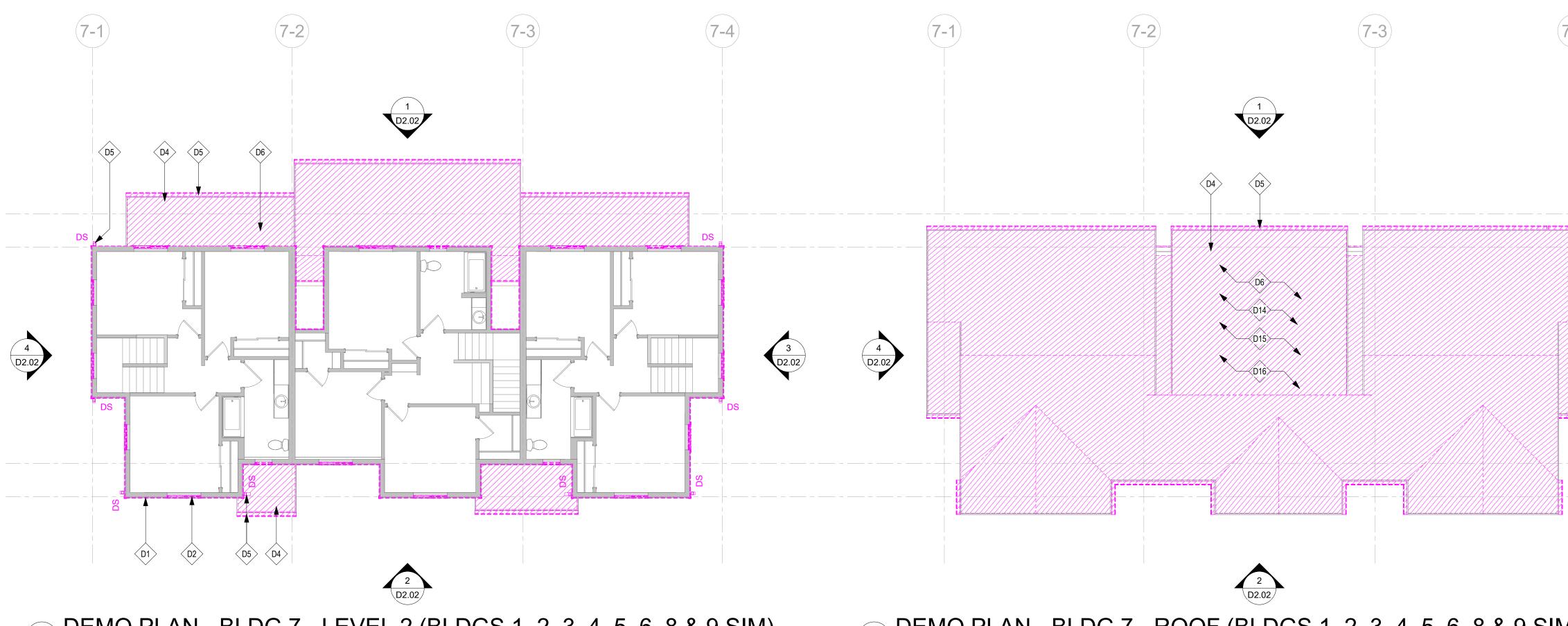




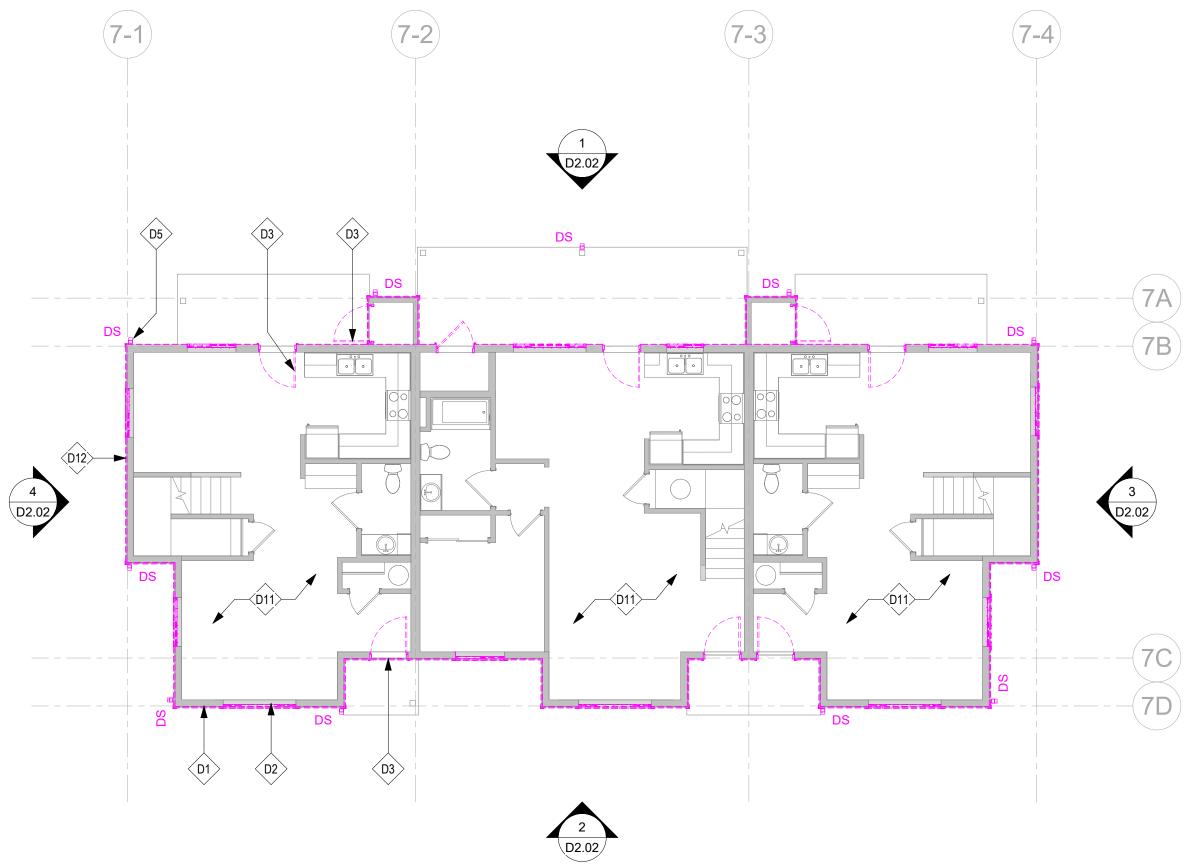




GENERAL NOTES:



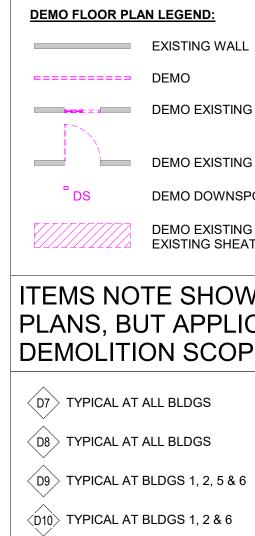
2 DEMO PLAN - BLDG 7 - LEVEL 2 (BLDGS 1, 2, 3, 4, 5, 6, 8 & 9 SIM) SCALE: 1/8" = 1'-0"



DEMO PLAN - BLDG 7 - LEVEL 1 (BLDGS 1, 2, 3, 4, 5, 6, 8 & 9 SIM) SCALE: 1/8" = 1'-0"







LEGEND:

(D13) TYPICAL AT ALL BLDG

	GE	ENERAL NOTES:
	DEM	O PLAN GENERAL NOTES:
7-4	A.	BUILDING INFORMATION AND EXISTING CONDITIONS BASED ON OWNER PROVIDED DOCUMENTS AND PARTIAL FIELD VERIFICATION. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN FIELD.
	В.	EXISTING DIMENSIONS ARE FOR REFERENCE ONLY AND TO FACE OF STUD OR GRIDLINE.
	C.	DESCRIPTION OF DEMOLITION WORK IS NOT INTENDED TO BE ALL INCLUSIVE. COORDINATE AREAS, MATERIALS, SYSTEMS SCHEDULED FOR REMOVAL WITH PROPOSED PRIOR TO COMMENCEMENT OF ANY WORK.
	D.	THE TERMS 'DEMO' AND 'REMOVE' INDICATE THAT THE ITEM BECOMES THE PROPERTY OF THE GENERAL CONTRACTOR FOR DISPOSAL. THE TERM 'SALVAGE' THE ITEM TO BE SAVED FOR RE- INSTALLATION OR TURNED OVER TO THE OWNER AS NOTED IN THE DRAWINGS OR SPECIFICATIONS.
	E.	ANY KNOWN, OBSERVED OR VERIFIED CONDITIONS THAT ARE MATERIAL TO THE PERFORMANCE OF THE WORK DESCRIBED BY THE CONTRACT DOCUMENTS OR OTHERWISE REQUIRE INTERPRETATION SHALL BE PROMPTLY REPORTED TO THE ARCHITECT IN WRITING ON THE FORMS REQUIRED IN THE CONTRACT DOCUMENTS.
3 D2.02	F.	ALL LOCATIONS OF REMOVED OR DEMOLISHED ITEMS, SITE COMPONENTS AND SYSTEMS WHERE ADJACENT SURFACES ARE TO REMAIN, PATCH AND REPAIR AFFECTED AREA(S) REQUIRING PATCHING AND REPAIRING. PROVIDE FINISH MATERIALS, COLORS AND TEXTURES TO MATCH SURROUNDING AREA(S).
	G.	APPURTENANCES & MISCELLANEOUS ENVELOPE PENETRATIONS ARE NOT SHOWN IN DOCUMENTS, LOCATIONS AND QUANTITIES TO BE FIELD VERIFIED BY CONTRACTOR PRIOR TO BIDDING.
7C	H.	ROOF PENETRATIONS AND VENTING NOT SHOWN. ALL ITEMS TO BE FIELD VERIFIED BY CONTRACTOR PRIOR TO BIDDING.
	I.	REFER TO SHEET G1.02 FOR TYPICAL NOTES REGARDING DESIGN BUILD MECHANICAL, ELECTRICAL, PLUMBING, FIRE SPRINKLER AND LOW VOLT ITEMS.
	J.	FOR SITE DEMOLITION SCOPE REFER TO SHEET A1.01.
	K.	FOR UNIT INTERIOR DEMOLITION SCOPE REFER TO SHEET A3.00.
	L.	FOR COMMON AREA INTERIOR DEMOLITION SCOPE REFER TO SHEETS A2.01 & A2.11.
SIM)	М.	ALL BUILDINGS AND MAINTENANCE SHEDS ON SITE TO HAVE SIMILAR DEMOLITION SCOPE. PLEASE NOTE THAT ALL KEYNOTES ARE TYPICAL FOR ALL APPLICABLE STRUCTURES ON SITE.
	N.	MECHANICAL, ELECTRICAL, PLUMBING, LOW- VOLTAGE AND FIRE TRADES TO COORDINATE DEMOLITION AND PATCH/ REPAIR WORK REQUIRED WITH GENERAL CONTRACTOR FOR THEIR SCOPES.
	Ο.	ANY AND ALL DEMOLITION AND/ OR REMOVAL OF ITEMS SHOULD BE OBSERVED BY CONTRACTOR TO CONFIRM EXISTING CONDITIONS ARE ACCEPTABLE PRIOR TO INSTALLATION OF NEW ITEMS.
	KE	
	D1	DEMO EXISTING CLADDING , WRB SYSTEM AND TRIM, TYPICAL
	D2	DEMO EXISTING WINDOWS, TYPICAL
	D3	DEMO EXISTING EXTERIOR DOORS, TYPICAL
<u>ID:</u>	D4	DEMO EXISTING ASPHALT ROOFING AND UNDERLAYMENT, TYPICAL
G WALL	D5	DEMO EXISTING GUTTERS AND DOWNSPOUTS, TYPICAL
EXISTING WINDOW	D6	SALVAGE EXISTING ROOF VENTS FOR RE-USE IF POSSIBLE, OR DEMO AND REPLACE IN KIND, TYPICAL
EXISTING DOOR	D7	DEMO ALL EXISTING APPURTENANCES FOR REPLACEMENT, INCLUDING BUT NOT LIMITED TO: EXTERIOR LIGHT FIXTURES, DOOR BELLS, OUTDOOR RATED ELEC RECEPTACLES, HOSE BIBS, BUILDING MOUNTED SIGNAGE, VENTS, FIRE ALARM BELLS, ETC.
EXISTING ROOFING - PROTECT G SHEATHING & FASCIA	D8	SALVAGE ALL FIRE EXTINGUISHERS & CABINETS FOR REINSTALL, TYPICAL
HOWN IN BLDG 7	D9	DEMO EXISTING WOOD FENCE, TYPICAL
PLICABLE TO	D10	DEMO EXISTING TRAFFIC COATING, TYPICAL
COPE:	D11	SELECT UNIT DEMO SCOPE - REFER TO GENERAL NOTES FOR ADDITIONAL INFORMATION
SS SS	D12	EXISTING EXTERIOR MOUNTED ELECTRICAL EQUIPMENT, LOW VOLTAGE PANELS & METERS TO REMAIN, TYPICAL - LOCATIONS AND QUANTITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO BIDDING
2, 5 & 6	D13	EXISTING GAS METER TO REMAIN, TYPICAL - LOCATIONS AND QUANTITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO BIDDING
2&6	D14	REMOVE ALL INSULATION IN ATTICS, TYPICAL
S	D15	REPAIR AND PATCH POINTS FOR AIR LEAKAGE IN ATTIC AREA (ASSUME SPRAY FOAM)
	D16	REPAIR DRAFTSTOPPING AND FIRE SEPARATION WALL AS REQUIRED, TYPICAL

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AND USE: DESIGN REVIEW SITE PLAN REIVEW **COLONIA LIBERTAD 1** 2911 SADDLE CLUB ROAD SALEM, OREGON 97317

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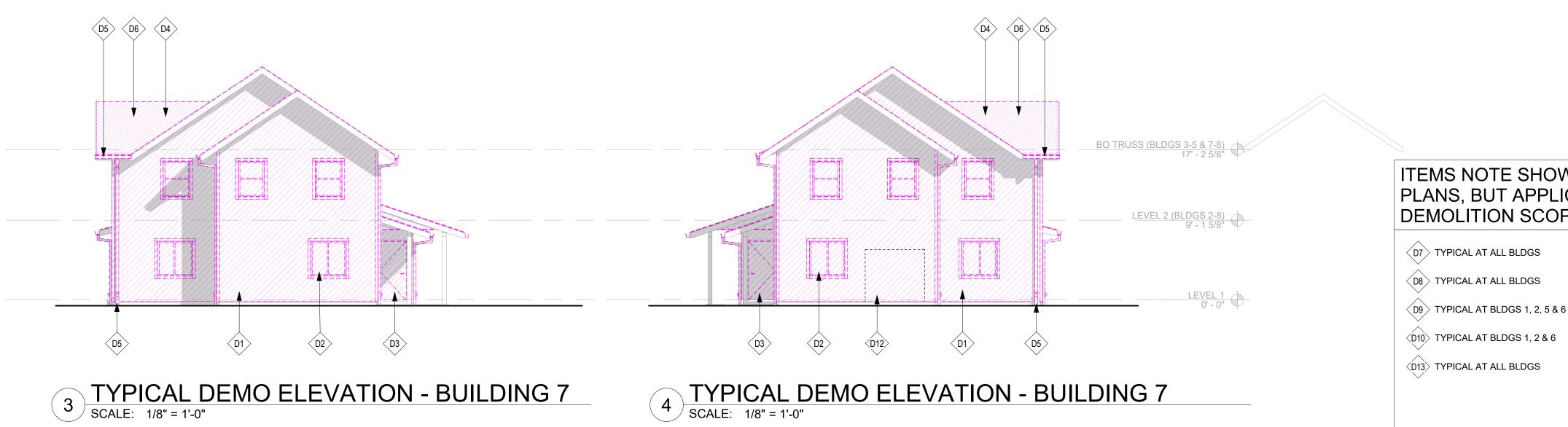
DEMOLITION, TYPICAL FLOOR PLAN & ROOF PLAN

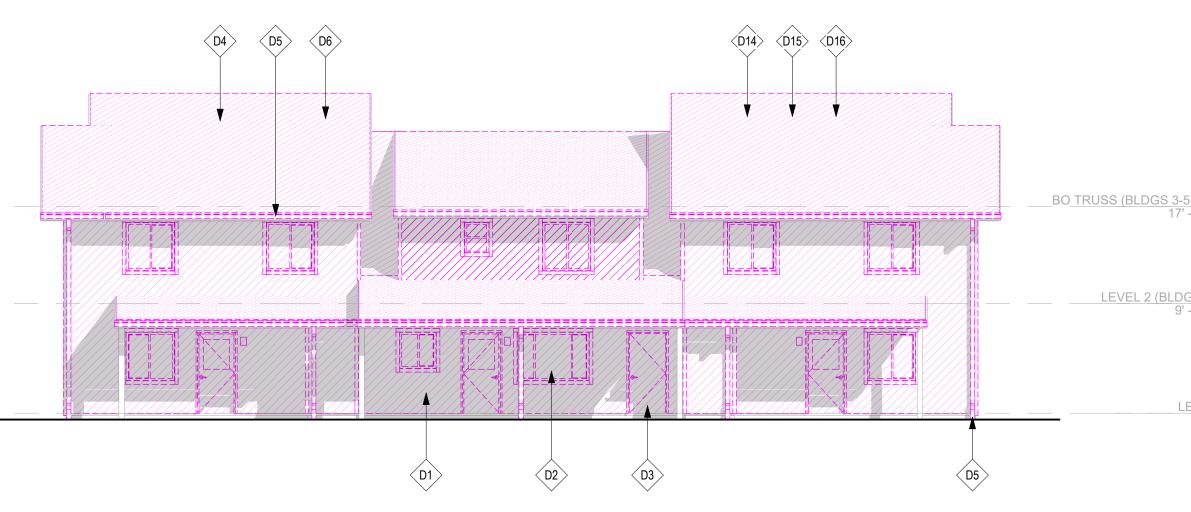
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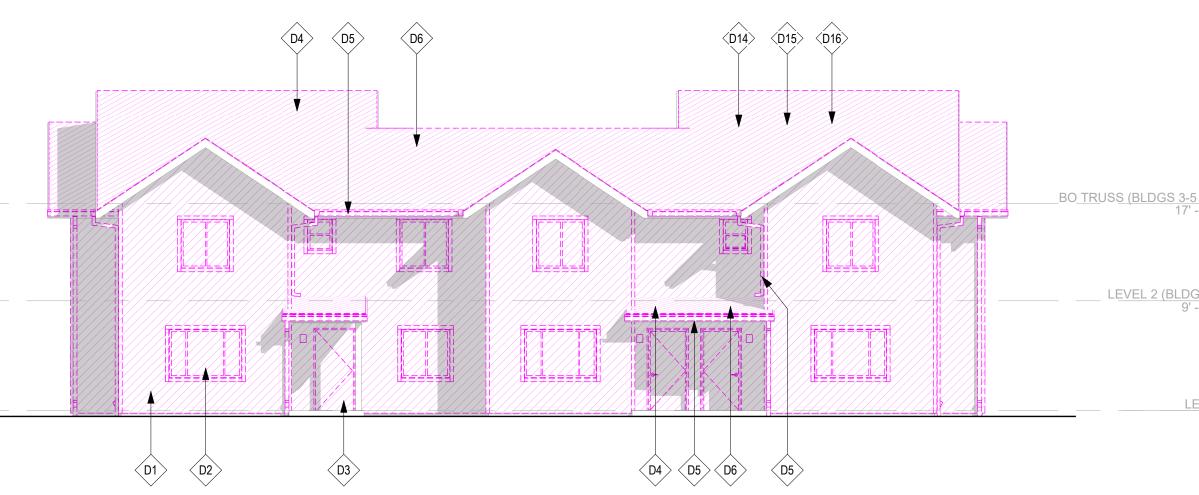
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2 TYPICAL DEMO ELEVATION - BUILDING 7 SCALE: 1/8" = 1'-0"

	GEN	NERAL NOTES:			
	DEMO	PLAN GENERAL NOTES:			
	A.	BUILDING INFORMATION AND EXISTING CONDITIONS BASED ON OWNER PROVIDED DOCUMENTS AND PARTIAL FIELD VERIFICATION. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN FIELD.		PRELIMINA NOT FO CONSTRUC	R
	В.	EXISTING DIMENSIONS ARE FOR REFERENCE ONLY AND TO FACE OF STUD OR GRIDLINE.			
	C.	DESCRIPTION OF DEMOLITION WORK IS NOT INTENDED TO BE ALL INCLUSIVE. COORDINATE AREAS, MATERIALS, SYSTEMS SCHEDULED FOR REMOVAL WITH PROPOSED PRIOR TO	-		
—	D.	COMMENCEMENT OF ANY WORK. THE TERMS 'DEMO' AND 'REMOVE' INDICATE THAT THE ITEM BECOMES THE PROPERTY OF THE GENERAL CONTRACTOR FOR DISPOSAL. THE TERM 'SALVAGE' THE ITEM TO BE SAVED FOR RE-		\bigcirc	
	E.	INSTALLATION OR TURNED OVER TO THE OWNER AS NOTED IN THE DRAWINGS OR SPECIFICATIONS.		CARLETON ARCHITEC 503. 243.2252 www.carleto	TUR
		THAT ARE MATERIAL TO THE PERFORMANCE OF THE WORK DESCRIBED BY THE CONTRACT DOCUMENTS OR OTHERWISE REQUIRE INTERPRETATION SHALL BE PROMPTLY REPORTED TO THE ARCHITECT IN WRITING ON THE FORMS REQUIRED IN THE CONTRACT DOCUMENTS.	-		
	F.	ALL LOCATIONS OF REMOVED OR DEMOLISHED ITEMS, SITE COMPONENTS AND SYSTEMS WHERE ADJACENT SURFACES ARE TO REMAIN, PATCH AND REPAIR AFFECTED AREA(S) REQUIRING PATCHING AND REPAIRING. PROVIDE FINISH MATERIALS, COLORS AND TEXTURES TO MATCH SURROUNDING AREA(S).			
	G.	APPURTENANCES & MISCELLANEOUS ENVELOPE PENETRATIONS ARE NOT SHOWN IN DOCUMENTS, LOCATIONS AND QUANTITIES TO BE FIELD VERIFIED BY CONTRACTOR PRIOR TO BIDDING.			
	н.	ROOF PENETRATIONS AND VENTING NOT SHOWN. ALL ITEMS TO BE FIELD VERIFIED BY CONTRACTOR PRIOR TO BIDDING.		Ω.	\sim
	I.	REFER TO SHEET G1.02 FOR TYPICAL NOTES REGARDING DESIGN BUILD MECHANICAL, ELECTRICAL, PLUMBING, FIRE SPRINKLER AND LOW VOLT ITEMS.		AD 1 8 ROAI 97317	REVIEW
	J.	FOR SITE DEMOLITION SCOPE REFER TO SHEET A1.01.		ERT LUB ON (9	GN R
	K.	FOR UNIT INTERIOR DEMOLITION SCOPE REFER TO SHEET A3.00.			S Z
	L.	FOR COMMON AREA INTERIOR DEMOLITION SCOPE REFER TO SHEETS A2.01 & A2.11.		ONIA I SADDLI EM, OR	
φ-	М.	ALL BUILDINGS AND MAINTENANCE SHEDS ON SITE TO HAVE SIMILAR DEMOLITION SCOPE. PLEASE NOTE THAT ALL KEYNOTES ARE TYPICAL FOR ALL APPLICABLE STRUCTURES ON SITE.			USE
-	N.	MECHANICAL, ELECTRICAL, PLUMBING, LOW- VOLTAGE AND FIRE TRADES TO COORDINATE DEMOLITION AND PATCH/ REPAIR WORK REQUIRED WITH GENERAL CONTRACTOR FOR THEIR SCOPES.		291 C SP	LAND
	Ο.	ANY AND ALL DEMOLITION AND/ OR REMOVAL OF ITEMS SHOULD BE OBSERVED BY CONTRACTOR TO CONFIRM EXISTING CONDITIONS ARE ACCEPTABLE PRIOR TO INSTALLATION OF NEW ITEMS.			
	KEY	NOTES: 🖈			
	D1 D	DEMO EXISTING CLADDING , WRB SYSTEM AND TRIM, TYPICAL			
		DEMO EXISTING WINDOWS, TYPICAL			
	D3 D	DEMO EXISTING EXTERIOR DOORS, TYPICAL	_		
		DEMO EXISTING ASPHALT ROOFING AND INDERLAYMENT, TYPICAL	_	DEMOLITION - TY	
	D5 D	DEMO EXISTING GUTTERS AND DOWNSPOUTS, TYPICAL		EXTERIOR ELEVA	
		SALVAGE EXISTING ROOF VENTS FOR RE-USE IF POSSIBLE, OR DEMO AND REPLACE IN KIND, TYPICAL		PROJECT NO 24007	
	R R	DEMO ALL EXISTING APPURTENANCES FOR REPLACEMENT, INCLUDING BUT NOT LIMITED TO: EXTERIOR LIGHT FIXTURES, DOOR BELLS, OUTDOOR RATED ELEC RECEPTACLES, HOSE BIBS, BUILDING MOUNTED SIGNAGE, VENTS, FIRE ALARM BELLS, ETC.	-	03.31.25 REVISIONS: #	
	D8 S	GALVAGE ALL FIRE EXTINGUISHERS & CABINETS FOR REINSTALL, TYPICAL			
BLDG 7	D9	DEMO EXISTING WOOD FENCE, TYPICAL	NOISSIMS		
E TO	D10 D	DEMO EXISTING TRAFFIC COATING, TYPICAL	HOUT PER		
	E	EXISTING EXTERIOR MOUNTED ELECTRICAL EQUIPMENT, LOW VOLTAGE PANELS & METERS TO REMAIN, TYPICAL - LOCATIONS AND QUANTITIES TO BE (ERIFIED BY CONTRACTOR PRIOR TO BIDDING	REPRODUCE WITHOUT PERMISSION		
	A	EXISTING GAS METER TO REMAIN, TYPICAL - LOCATIONS ND QUANTITIES TO BE VERIFIED BY CONTRACTOR	DO NOT		
	D14 R	REMOVE ALL INSULATION IN ATTICS, TYPICAL	CHITECTL		
		REPAIR AND PATCH POINTS FOR AIR LEAKAGE IN ATTIC AREA (ASSUME SPRAY FOAM)	CARLETON HART ARCHITECTURE		
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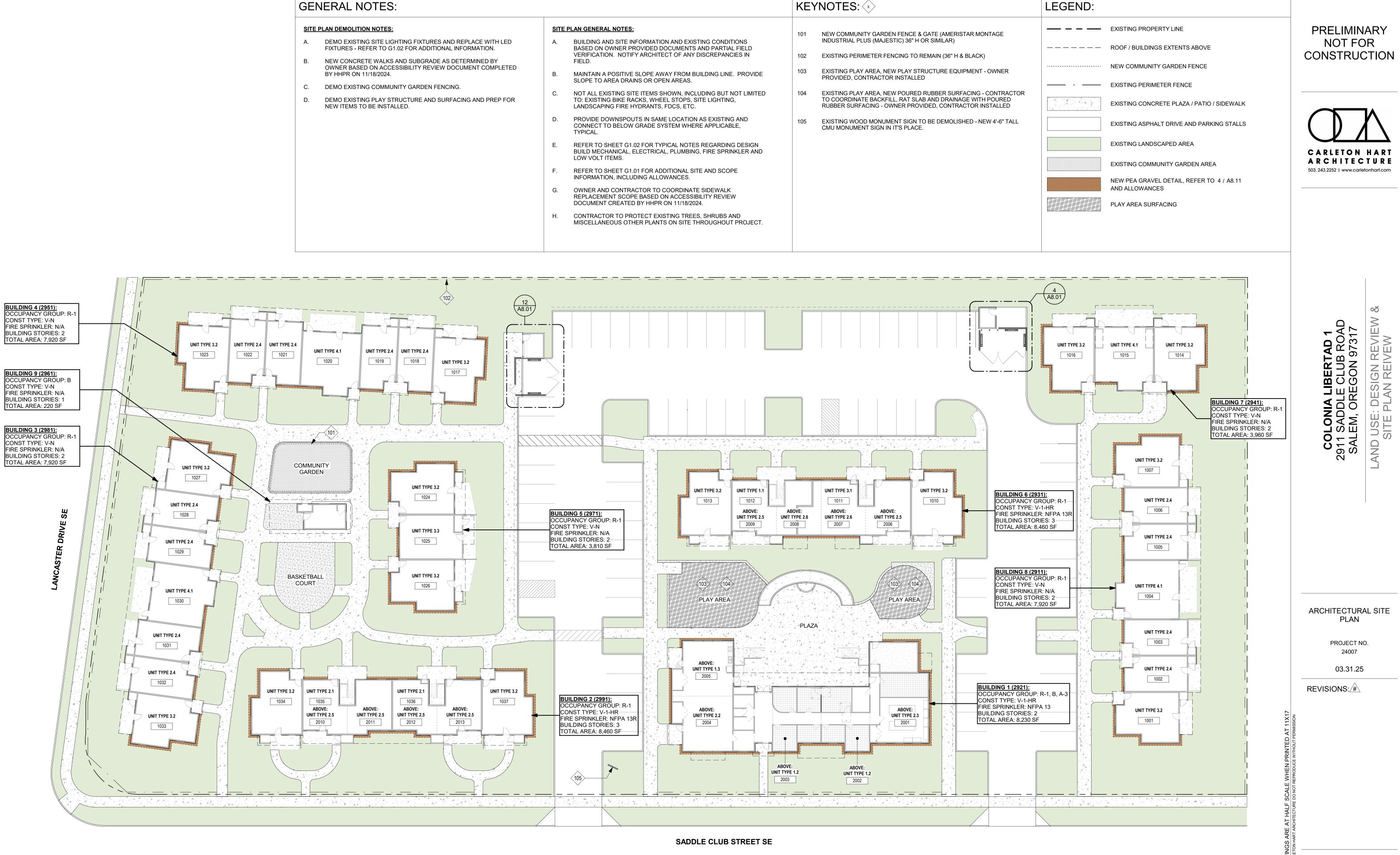


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TION - TYPICAL OR ELEVATIONS

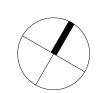
GENERAL NOTES:

- FIXTURES REFER TO G1.02 FOR ADDITIONAL INFORMATION.
- BY HHPR ON 11/18/2024.
- NEW ITEMS TO BE INSTALLED.

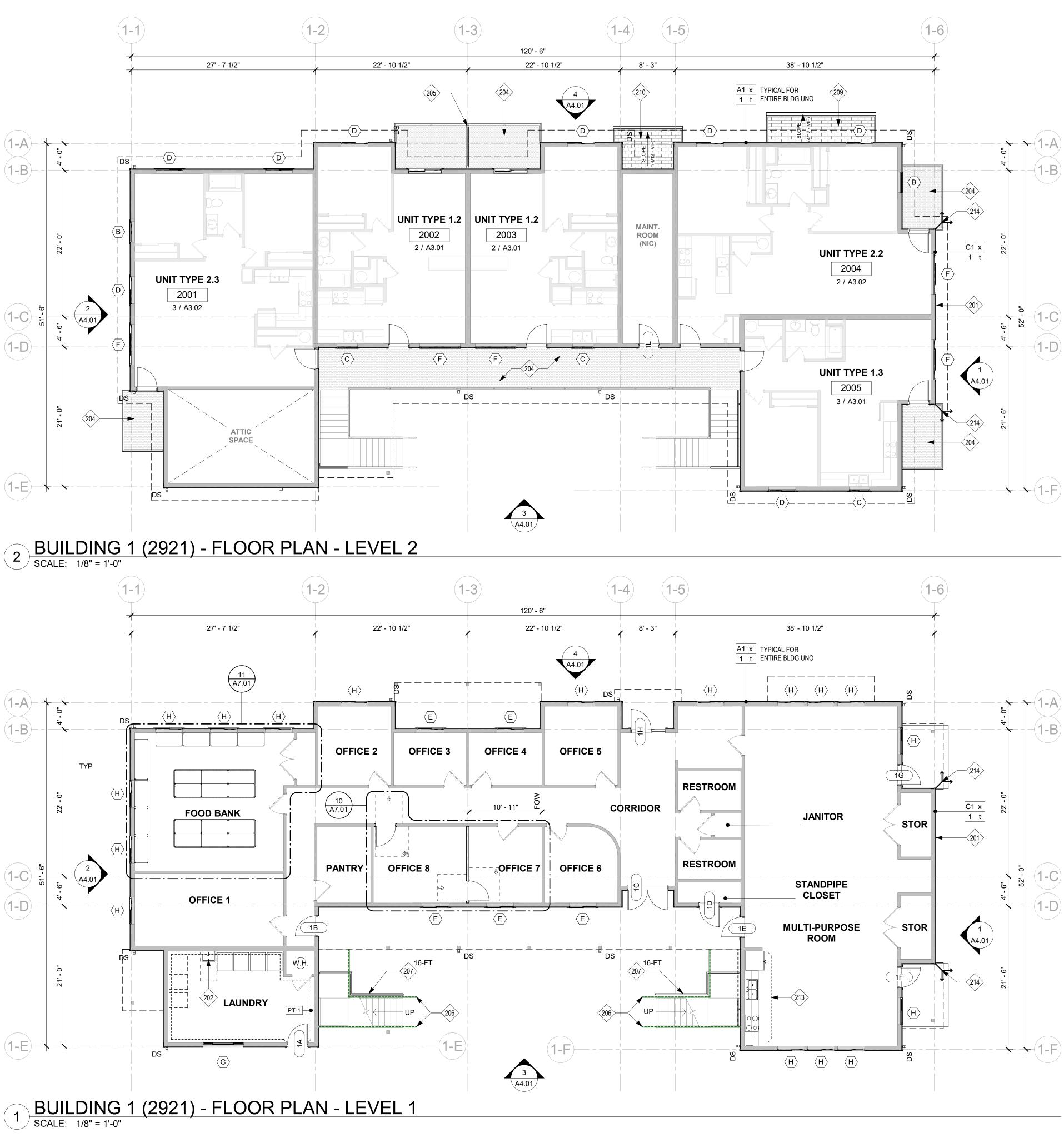


ARCHITECTURAL SITE PLAN - LEVEL 1 SCALE: 1" = 20'-0"

KEYNOTES:



A1.01



GENERAL NOTES:

FLOOR PLAN GENERAL NOTES:

- BUILDING INFORMATION AND EXISTING CONDITIONS BASED ON OWNER PROVIDED DOCUMENTS AND PARTIAL FIELD VERIFICATION. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN FIELD.
- EXISTING DIMENSIONS ARE FOR REFERENCE ONLY AND TO FACE OF STUD OR GRIDLINE.
- APPURTENANCES & MISCELLANEOUS ENVELOPE PENETRATIONS ARE NOT SHOWN IN DOCUMENTS, LOCATIONS AND QUANTITIES TO BE FIELD VERIFIED BY CONTRACTOR PRIOR TO BIDDING - REFER TO SHEET A8.21 FOR TYPICAL FLASHING DETAIL CONDITIONS.
- PROVIDE DOWNSPOUTS IN SAME LOCATIONS AS D. EXISTING AND CONNECT TO BELOW GRADE SYSTEM WHERE APPLICABLE, TYPICAL.
- REFER TO SHEET G1.02 FOR TYPICAL NOTES REGARDING DESIGN BUILD MECHANICAL, ELECTRICAL, PLUMBING, FIRE SPRINKLER AND LOW VOLT ITEMS.
- REFER TO SHEET A3.00 FOR UNIT INTERIOR SCOPE F. MATRIX.
- ALL VENTING FOR MISCELLANEOUS ROOFS SHOWN G. ON PLANS, INCLUDING BUT NOT LIMITED TO PORCH, STORAGE, AND PATIOS BY CONTRACTOR.
- REFER TO SHEET G3.01 FOR ASSEMBLY **INFORMATION & SHEET G1.01 FOR EXISTING** BUILDING FIRE LIFE SAFETY INFORMATION.

BUILDING 1 DEMOLITION NOTES (INTERIOR COMMON AREAS):

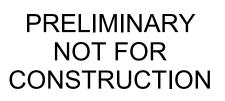
- REMOVE EXISTING CARPET FLOORING IN FOOD BANK AND PREP SURFACE FOR NEW FLOORING.
- SELECTIVE DEMOLITION AS REQUIRED AT OFFICE 7 Β. FOR INSTALLATION OF NEW WALL AND DOOR.

KEYNOTES: 🔅

- 201 EXISTING MURAL BOARDS TO BE SALVAGED FOR OWNER REUSE
- 202 NEW ACCESSIBLE SINK REFER TO G1.02 OR ADDITIONAL INFORMATION
- 204 NEW TRAFFIC COATING AT COMMON WALKWAY AND UNIT BALCONIES
- 205 NEW PRIVACY FENCE, BIDDER DESIGNED (STEEL POSTS, FOOTINGS & COMPOSITE CLADDING)
- 206 GREEN DASHED LINE INDICATES NEW GUARDRAIL (42" H) & HANDRAIL (34" H)
- 207 NEW CANE DETECTION (24" H, LENGTH PER PLANS)
- 209 OPEN RAFTERS / STRUCTURE BELOW PAINT
- 210 FIBER CEMENT SOFFIT PANEL PAINT

LEGEND:

- 213 NEW APPLIANCES REFRIGERATOR, RANGE/OVEN, MICROWAVE AND RANGE HOOD
- 214 CLADDING TRANSITION POINT, REFER TO EXTERIOR ELEVATIONS





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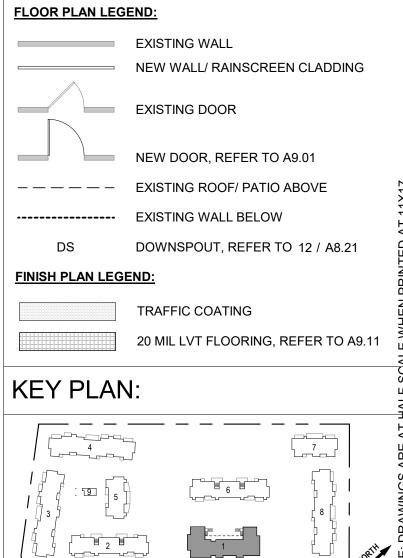
BLDG 1 - FLOOR PLAN -LEVELS 1 & 2

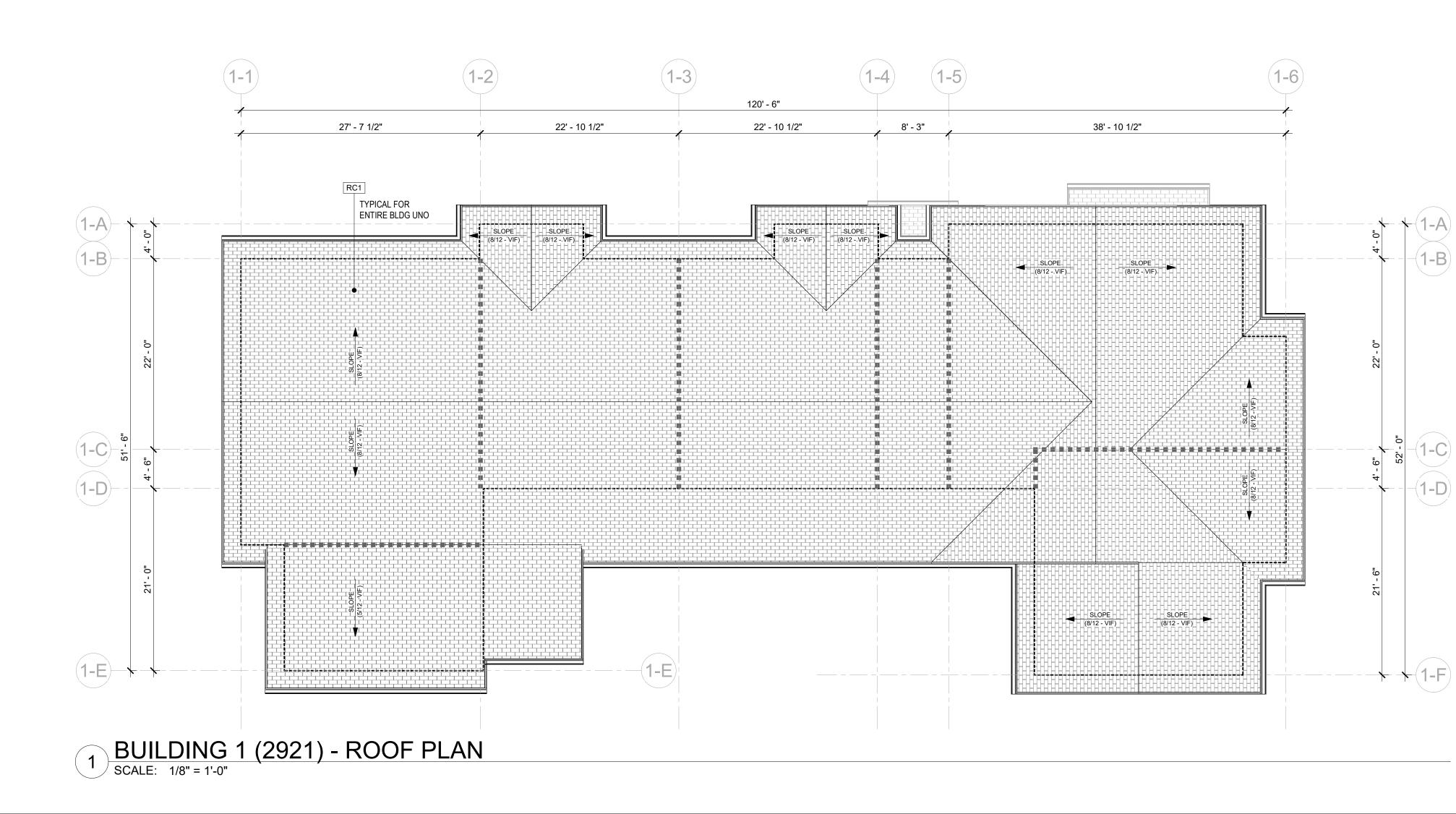
PROJECT NO. 24007

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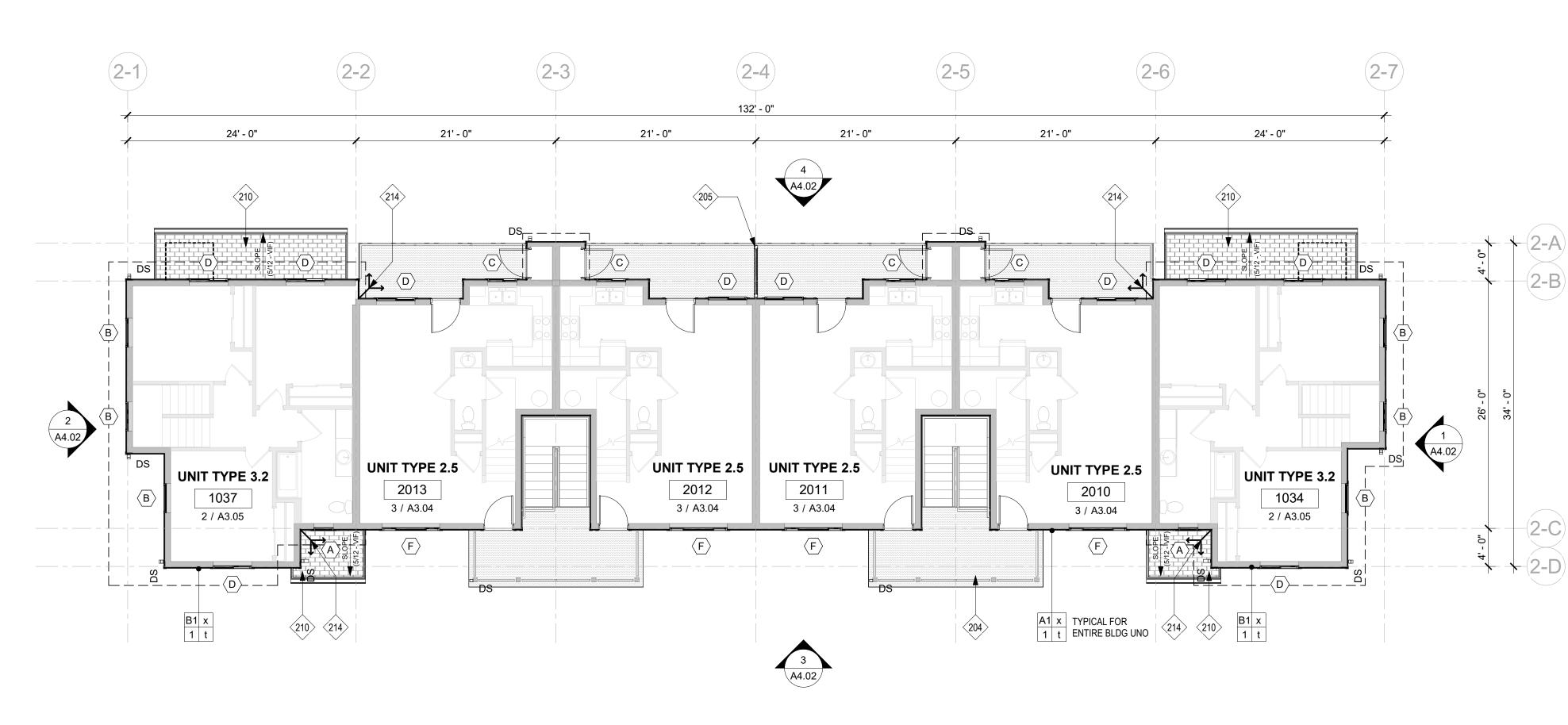
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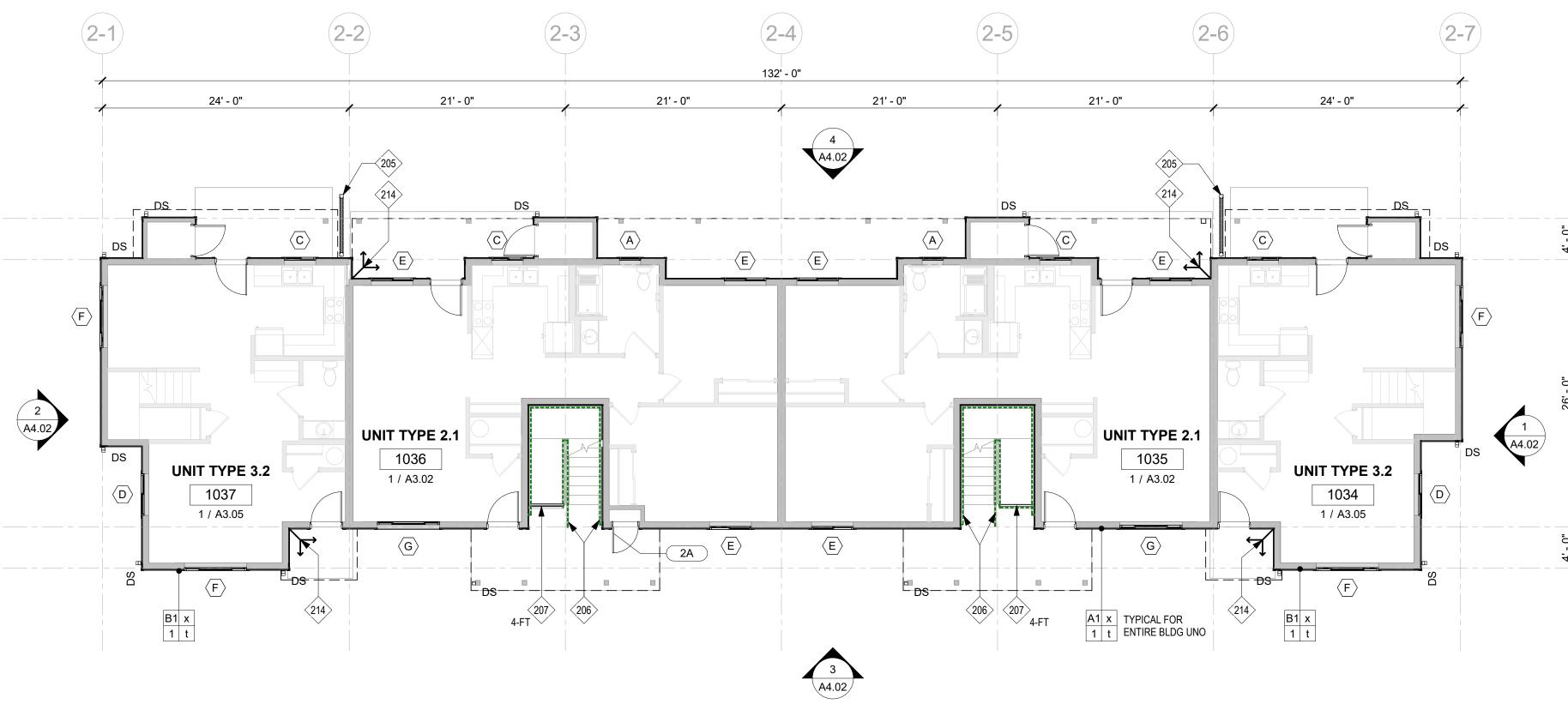




	PLAN GENERAL NOTES:			
A.	BUILDING INFORMATION AND EXISTING CONDITIONS BASED ON OWNER PROVIDED DOCUMENTS AND PARTIAL FIELD VERIFICATION. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN FIELD.		PRELIMIN NOT FC ONSTRU	DR
В.	ROOF PENETRATIONS ARE NOT SHOWN. COORDINATE WITH OTHER WORK SCOPES & FLASH PER DETAILS ON A8.51.			
C.	INSTALL KICK-OUT FLASHING AT ALL EAVE/ SIDEWALL INTERSECTIONS.			
D.	MAINTAIN 20" MINIMUM CLEAR FROM ROOF VALLEYS TO LOW INTAKE VENT STRIPS & STATIC VENTS - COORDINATE W/ VALLEY FLASHING - DISTANCE FROM ROOF GABLE OR EAVE TO LOW INTAKE VENT STRIPS TO BE 36" MINIMUM PER MANUFACTURER REQUIREMENTS.			
E.	ROOF VENTING TO REMAIN AS IS. CONTRACTOR TO VERIFY ALL VENTING CONDITIONS IN THE FIELD AND REPLACE ALL VENTING IN KIND.		A R C H I T E C	TURE
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KE	NOTES: 💉	_	Ο,	N &
		_	COLONIA LIBERTAD 1 2911 SADDLE CLUB ROAI SALEM, OREGON 97317	DESIGN REVIEW & LAN REIVEW
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LEG	GEND:	_	BLDG 1 - ROOI	F PLAN
<u>ROOF</u>	PLAN LEGEND: EXISTING WALL BELOW		PROJECT N 24007	Ο.
	ASSUMED EXISTING DRAFTSTOPPING		03.31.25	i
	ASPHALT SHINGLE ROOF SYSTEM	F	REVISIONS: /#	
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	E WHEN PRINTED AT 11X17	REPRODUCE WITHOUT PERMISSION		
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2 BUILDING 2 (2991) - FLOOR PLAN - LEVEL 2 SCALE: 1/8" = 1'-0"



BUILDING 2 (2991) - FLOOR PLAN - LEVEL 1 SCALE: 1/8" = 1'-0" 1

GENERAL NOTES:

FLOOR PLAN GENERAL NOTES:

- Α. BUILDING INFORMATION AND EXISTING CONDITIONS BASED ON OWNER PROVIDED DOCUMENTS AND PARTIAL FIELD VERIFICATION. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN FIELD.
- EXISTING DIMENSIONS ARE FOR REFERENCE ONLY В AND TO FACE OF STUD OR GRIDLINE.
- APPURTENANCES & MISCELLANEOUS ENVELOPE C. PENETRATIONS ARE NOT SHOWN IN DOCUMENTS, LOCATIONS AND QUANTITIES TO BE FIELD VERIFIED BY CONTRACTOR PRIOR TO BIDDING - REFER TO SHEET A8.21 FOR TYPICAL FLASHING DETAIL CONDITIONS.
- PROVIDE DOWNSPOUTS IN SAME LOCATIONS AS EXISTING AND CONNECT TO BELOW GRADE SYSTEM D. WHERE APPLICABLE, TYPICAL.
- REFER TO SHEET G1.02 FOR TYPICAL NOTES Ε. REGARDING DESIGN BUILD MECHANICAL, ELECTRICAL, PLUMBING, FIRE SPRINKLER AND LOW VOLT ITEMS.
- REFER TO SHEET A3.00 FOR UNIT INTERIOR SCOPE F MATRIX.
- ALL VENTING FOR MISCELLANEOUS ROOFS SHOWN G. ON PLANS, INCLUDING BUT NOT LIMITED TO PORCH, STORAGE, AND PATIOS BY CONTRACTOR.
- REFER TO SHEET G3.01 FOR ASSEMBLY Η. **INFORMATION & SHEET G1.01 FOR EXISTING** BUILDING FIRE LIFE SAFETY INFORMATION.

KEYNOTES:

- 204 NEW TRAFFIC COATING AT COMMON WALKWAY AND UNIT BALCONIES
- 205 NEW PRIVACY FENCE, BIDDER DESIGNED (STEEL POSTS, FOOTINGS & COMPOSITE CLADDING)
- 206 GREEN DASHED LINE INDICATES NEW GUARDRAIL (42" H) & HANDRAIL (34" H)
- 207 NEW CANE DETECTION (24" H, LENGTH PER PLANS)
- 210 FIBER CEMENT SOFFIT PANEL PAINT
- 214 CLADDING TRANSITION POINT, REFER TO EXTERIOR ELEVATIONS

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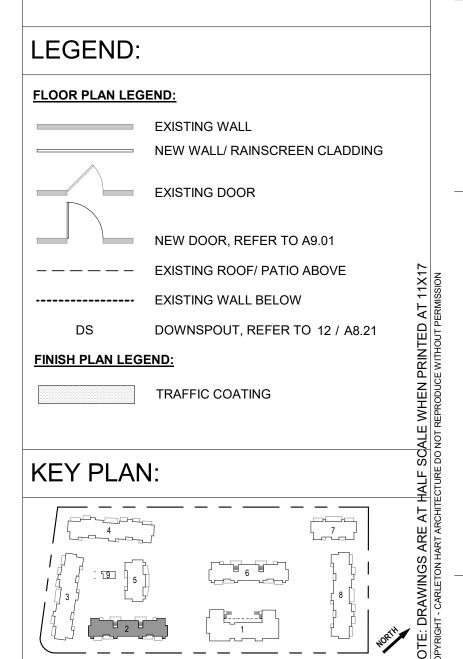


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+-+(2-A) -(**2-B**) -(2-C) +(2-D)

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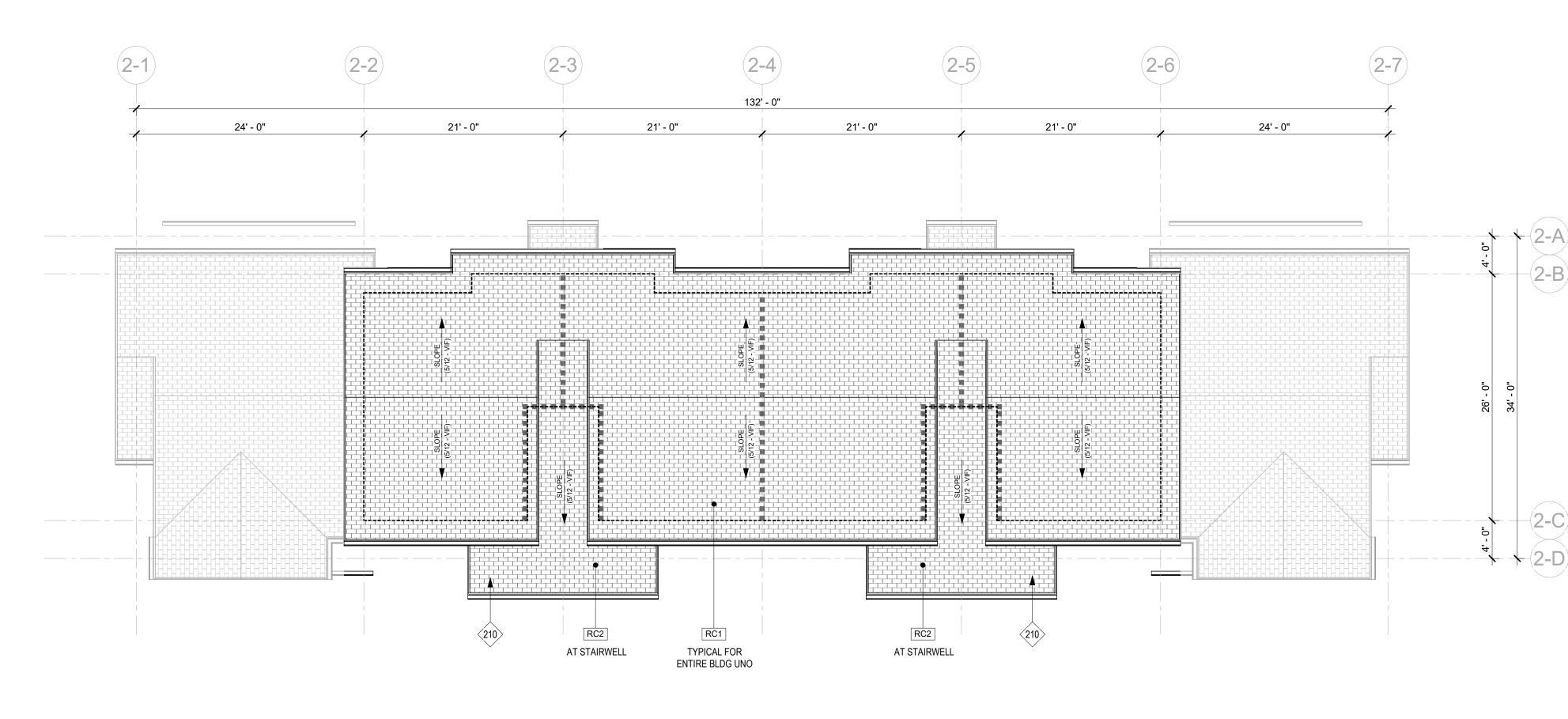
BLDG 2 - FLOOR PLAN -LEVELS 1 & 2

PROJECT NO. 24007

03.31.25

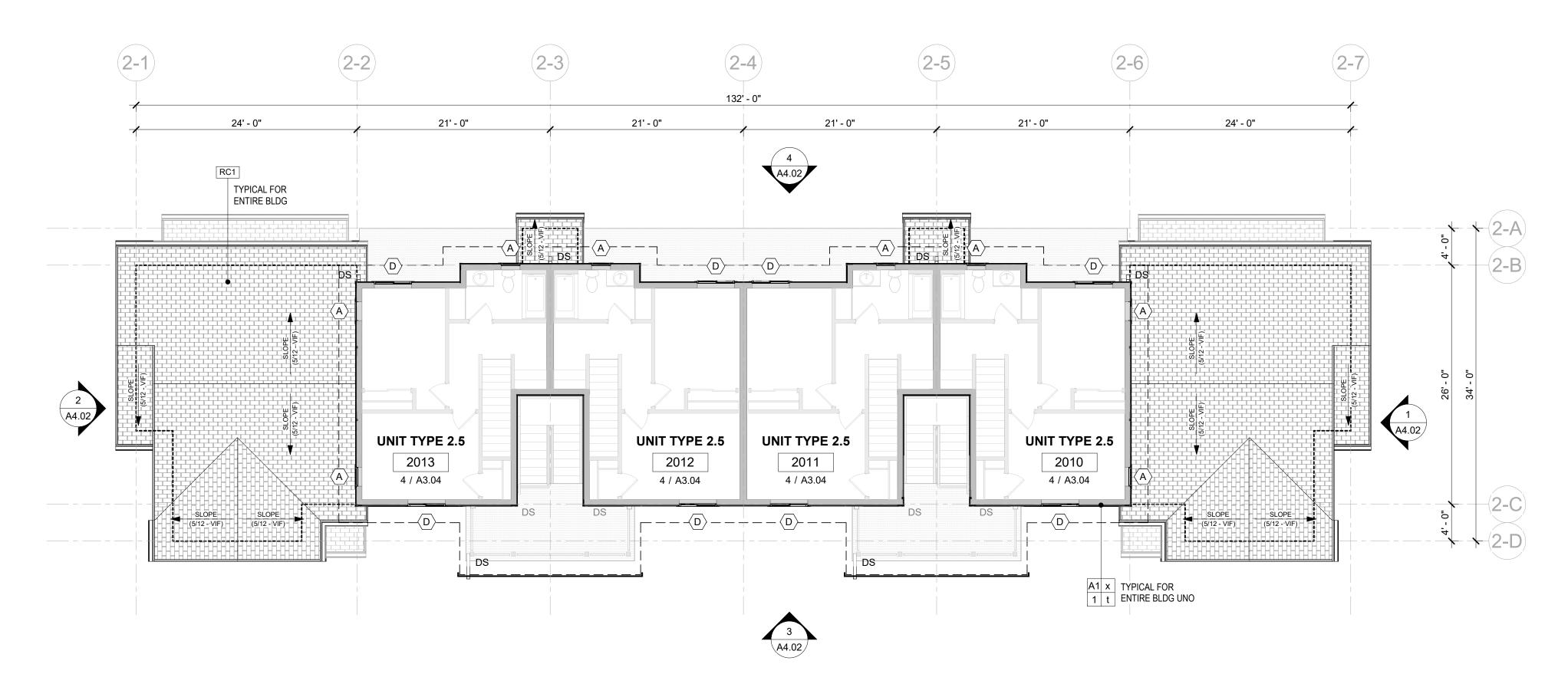
REVISIONS: #





2 BUILDING 2 (2991) - ROOF PLAN SCALE: 1/8" = 1'-0"

1



BUILDING 2 (2991) - FLOOR PLAN - LEVEL 3 SCALE: 1/8" = 1'-0"

GENERAL NOTES:

FLOOR PLAN GENERAL NOTES:

- BUILDING INFORMATION AND EXISTING CONDITIONS Α. BASED ON OWNER PROVIDED DOCUMENTS AND PARTIAL FIELD VERIFICATION. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN FIELD.
- EXISTING DIMENSIONS ARE FOR REFERENCE ONLY В. AND TO FACE OF STUD OR GRIDLINE.
- APPURTENANCES & MISCELLANEOUS ENVELOPE C. PENETRATIONS ARE NOT SHOWN IN DOCUMENTS, LOCATIONS AND QUANTITIES TO BE FIELD VERIFIED BY CONTRACTOR PRIOR TO BIDDING - REFER TO SHEET A8.21 FOR TYPICAL FLASHING DETAIL CONDITIONS.
- PROVIDE DOWNSPOUTS IN SAME LOCATIONS AS D. EXISTING AND CONNECT TO BELOW GRADE SYSTEM WHERE APPLICABLE, TYPICAL.
- REFER TO SHEET G1.02 FOR TYPICAL NOTES Ε. REGARDING DESIGN BUILD MECHANICAL, ELECTRICAL, PLUMBING, FIRE SPRINKLER AND LOW VOLT ITEMS.
- REFER TO SHEET A3.00 FOR UNIT INTERIOR SCOPE F. MATRIX.
- ALL VENTING FOR MISCELLANEOUS ROOFS SHOWN G. ON PLANS, INCLUDING BUT NOT LIMITED TO PORCH, STORAGE, AND PATIOS BY CONTRACTOR.
- REFER TO SHEET G3.01 FOR ASSEMBLY Н. **INFORMATION & SHEET G1.01 FOR EXISTING** BUILDING FIRE LIFE SAFETY INFORMATION.

ROOF PLAN GENERAL NOTES:

-(2-B)

-(2-C)

- BUILDING INFORMATION AND EXISTING CONDITIONS A. BASED ON OWNER PROVIDED DOCUMENTS AND PARTIAL FIELD VERIFICATION. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN FIELD.
- ROOF PENETRATIONS ARE NOT SHOWN. Β. COORDINATE WITH OTHER WORK SCOPES & FLASH PER DETAILS ON A8.51.
- INSTALL KICK-OUT FLASHING AT ALL EAVE/ C. SIDEWALL INTERSECTIONS.
- D. MAINTAIN 20" MINIMUM CLEAR FROM ROOF VALLEYS TO LOW INTAKE VENT STRIPS & STATIC VENTS - COORDINATE W/ VALLEY FLASHING -DISTANCE FROM ROOF GABLE OR EAVE TO LOW INTAKE VENT STRIPS TO BE 36" MINIMUM PER MANUFACTURER REQUIREMENTS.
- ROOF VENTING TO REMAIN AS IS. CONTRACTOR TO F VERIFY ALL VENTING CONDITIONS IN THE FIELD AND REPLACE ALL VENTING IN KIND.

KEYNOTES: 🔊

210 FIBER CEMENT SOFFIT PANEL - PAINT

PRELIMINARY NOT FOR CONSTRUCTION



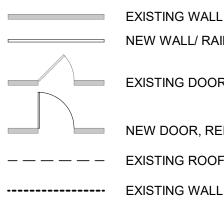
E: DESIGN REVIEW & **COLONIA LIBERTAD 1** 2911 SADDLE CLUB ROAD SALEM, OREGON 97317

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AND USE: SITE I

LEGEND:

FLOOR PLAN LEGEND:



NEW WALL/ RAINSCREEN CLADDING EXISTING DOOR

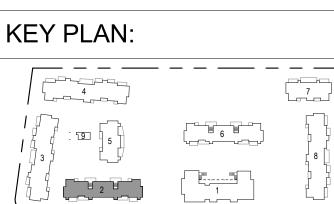
NEW DOOR, REFER TO A9.01 ---- EXISTING ROOF/ PATIO ABOVE EXISTING WALL BELOW

DOWNSPOUT, REFER TO 12 / A8.21

ROOF PLAN LEGEND:

DS

- ----- EXISTING WALL BELOW ASSUMED EXISTING DRAFTSTOPPING
- ASPHALT SHINGLE ROOF SYSTEM



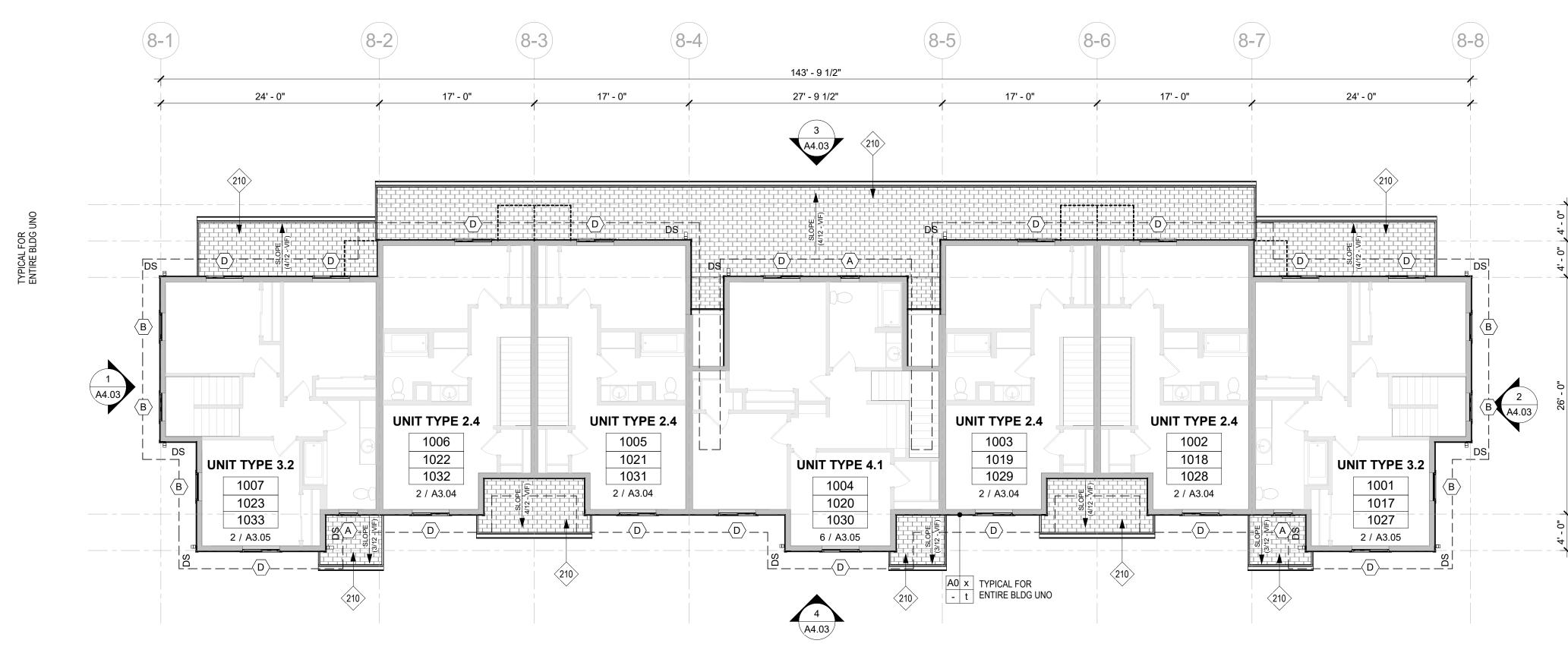
BLDG 2 - FLOOR PLAN -LEVEL 3 & ROOF PLAN

PROJECT NO. 24007

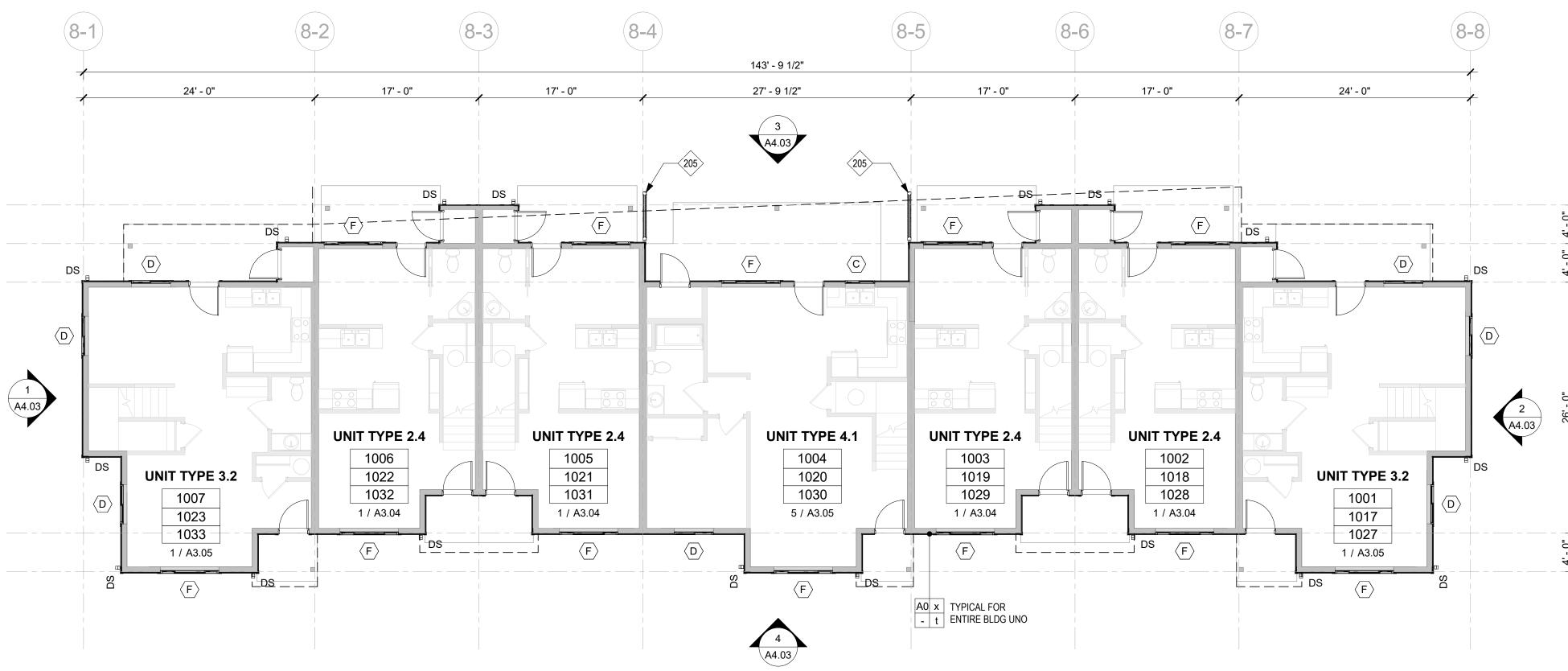
03.31.25

REVISIONS:

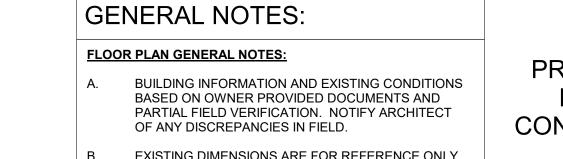




2 BUILDINGS 3 (2981) & 4 (2951) & 8 (2911) - FLOOR PLAN - LEVEL 2 SCALE: 1/8" = 1'-0"



1 BUILDINGS 3 (2981) & 4 (2951) & 8 (2911) - FLOOR PLAN - LEVEL 1 SCALE: 1/8" = 1'-0"



EXISTING DIMENSIONS ARE FOR REFERENCE ONLY AND TO FACE OF STUD OR GRIDLINE.

APPURTENANCES & MISCELLANEOUS ENVELOPE PENETRATIONS ARE NOT SHOWN IN DOCUMENTS, LOCATIONS AND QUANTITIES TO BE FIELD VERIFIED BY CONTRACTOR PRIOR TO BIDDING - REFER TO SHEET A8.21 FOR TYPICAL FLASHING DETAIL CONDITIONS.

- PROVIDE DOWNSPOUTS IN SAME LOCATIONS AS D. EXISTING AND CONNECT TO BELOW GRADE SYSTEM WHERE APPLICABLE, TYPICAL.
- REFER TO SHEET G1.02 FOR TYPICAL NOTES Ε. REGARDING DESIGN BUILD MECHANICAL, ELECTRICAL, PLUMBING, FIRE SPRINKLER AND LOW VOLT ITEMS.
- REFER TO SHEET A3.00 FOR UNIT INTERIOR SCOPE F MATRIX.
- ALL VENTING FOR MISCELLANEOUS ROOFS SHOWN G. ON PLANS, INCLUDING BUT NOT LIMITED TO PORCH, STORAGE, AND PATIOS BY CONTRACTOR.
- REFER TO SHEET G3.01 FOR ASSEMBLY Η. **INFORMATION & SHEET G1.01 FOR EXISTING** BUILDING FIRE LIFE SAFETY INFORMATION.

KEYNOTES:

- 205 NEW PRIVACY FENCE, BIDDER DESIGNED (STEEL POSTS, FOOTINGS & COMPOSITE CLADDING)
- 210 FIBER CEMENT SOFFIT PANEL PAINT

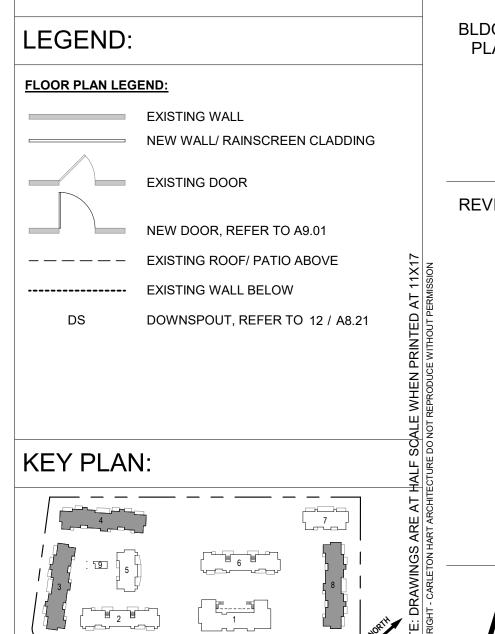
PRELIMINARY NOT FOR CONSTRUCTION



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-+-(8-A) -(**8-B**) -(8-C) -(8-D) (**8-E**)



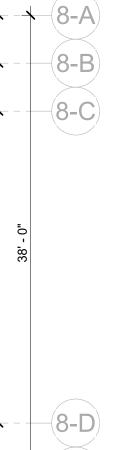
BLDGS 3, 4 & 8 - FLOOR PLAN - LEVELS 1 & 2

PROJECT NO. 24007

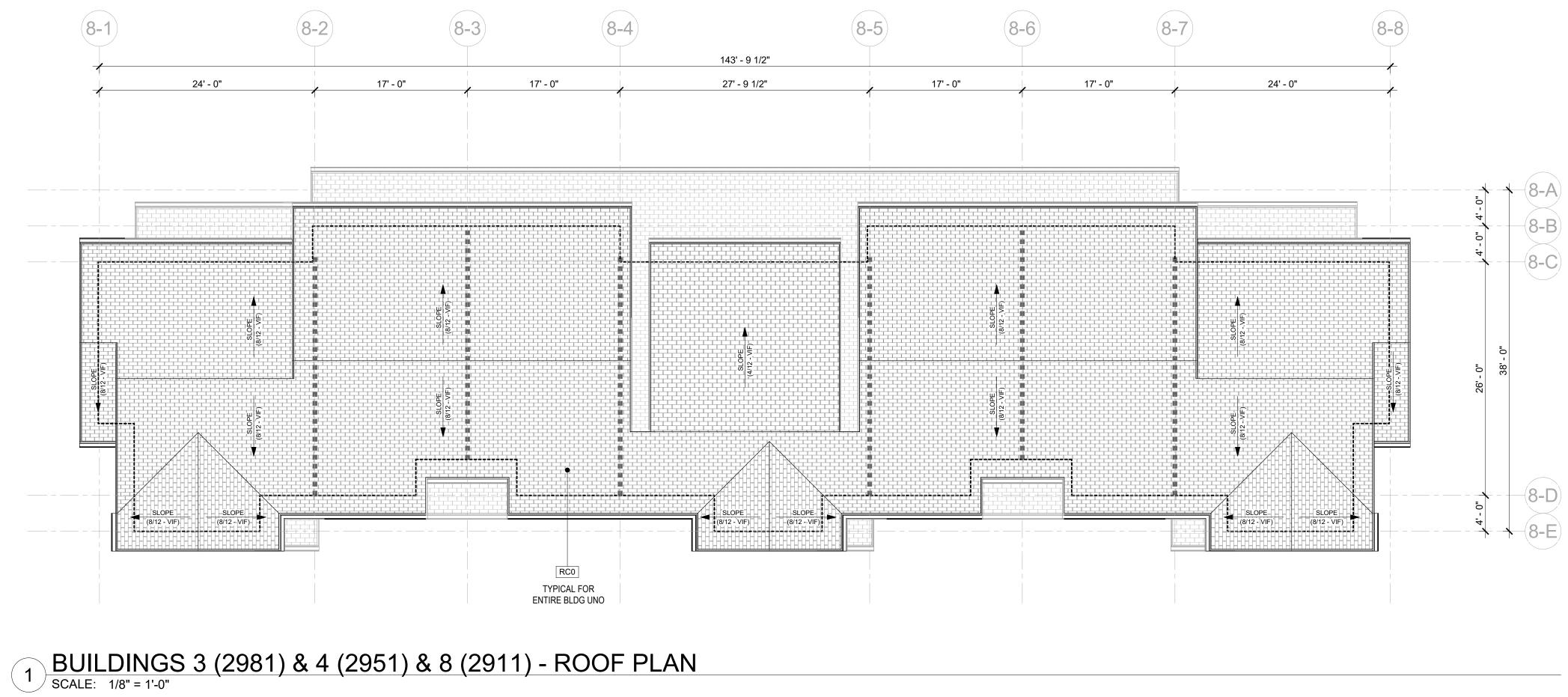
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REVISIONS:

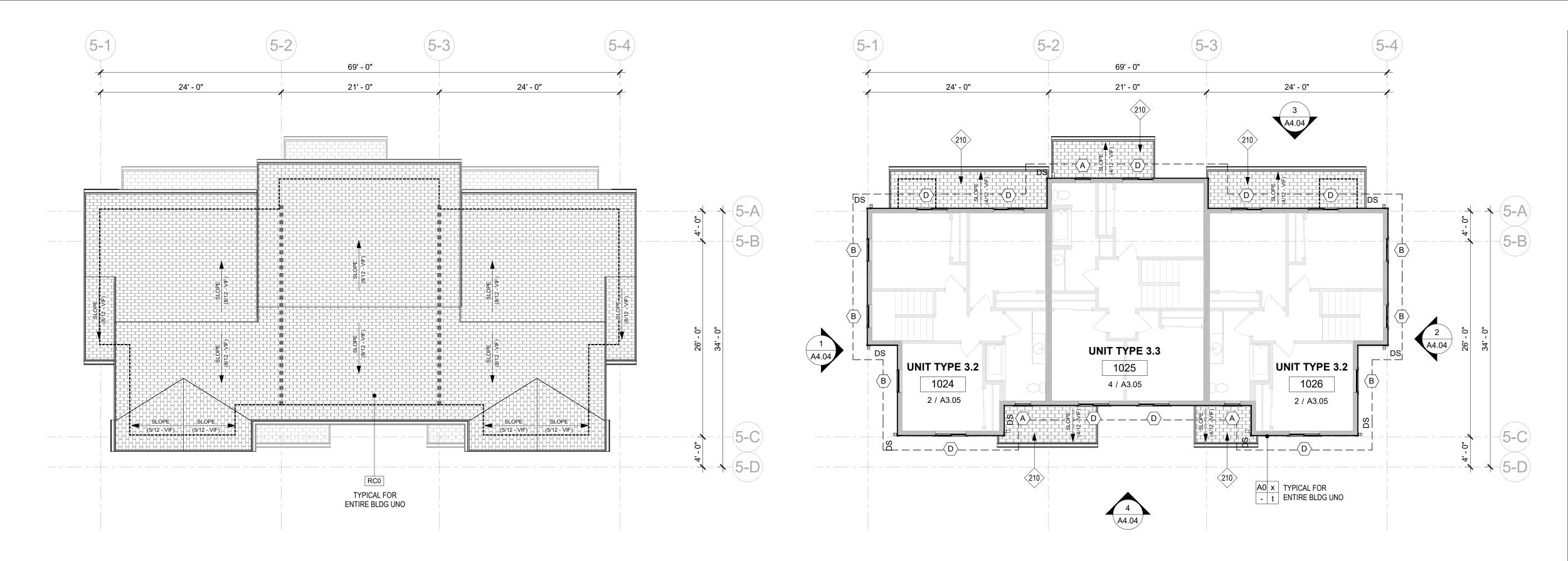




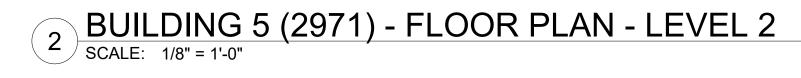
(8-E)



POO	F PLAN GENERAL NOTES:	
<u>ROOI</u> A.	F PLAN GENERAL NOTES: BUILDING INFORMATION AND EXISTING CONDITIONS BASED ON OWNER PROVIDED DOCUMENTS AND PARTIAL FIELD VERIFICATION. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN FIELD.	PRELIMINARY NOT FOR CONSTRUCTION
В.	ROOF PENETRATIONS ARE NOT SHOWN. COORDINATE WITH OTHER WORK SCOPES & FLASH PER DETAILS ON A8.51.	
C.	INSTALL KICK-OUT FLASHING AT ALL EAVE/ SIDEWALL INTERSECTIONS.	
D.	MAINTAIN 20" MINIMUM CLEAR FROM ROOF VALLEYS TO LOW INTAKE VENT STRIPS & STATIC VENTS - COORDINATE W/ VALLEY FLASHING - DISTANCE FROM ROOF GABLE OR EAVE TO LOW INTAKE VENT STRIPS TO BE 36" MINIMUM PER MANUFACTURER REQUIREMENTS.	
E.	ROOF VENTING TO REMAIN AS IS. CONTRACTOR TO VERIFY ALL VENTING CONDITIONS IN THE FIELD AND REPLACE ALL VENTING IN KIND.	A R C H I T E C T U R E 503. 243.2252 www.carletonhart.com
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KE	YNOTES: 🔊	COLONIA LIBERTAD 1 2911 SADDLE CLUB ROAD 2911 SADDLE CLUB ROAD SALEM, OREGON 97317 LAND USE: DESIGN REVIEW &
	GEND: FPLAN LEGEND: ••••••••••••••••••••••••••••••••••••	BLDGS 3, 4 & 8 - ROOF PLAN PROJECT NO. 24007 03.31.25 REVISIONS: #
	ADDIE: DRAWINGS ARE AT HALF SQALE WHEN PRINTED AT 11X17 COPRIGHT - CARLETON HART ARCHITECTURE DO NOT REPRODUCE WITHOUT PERMISSION	

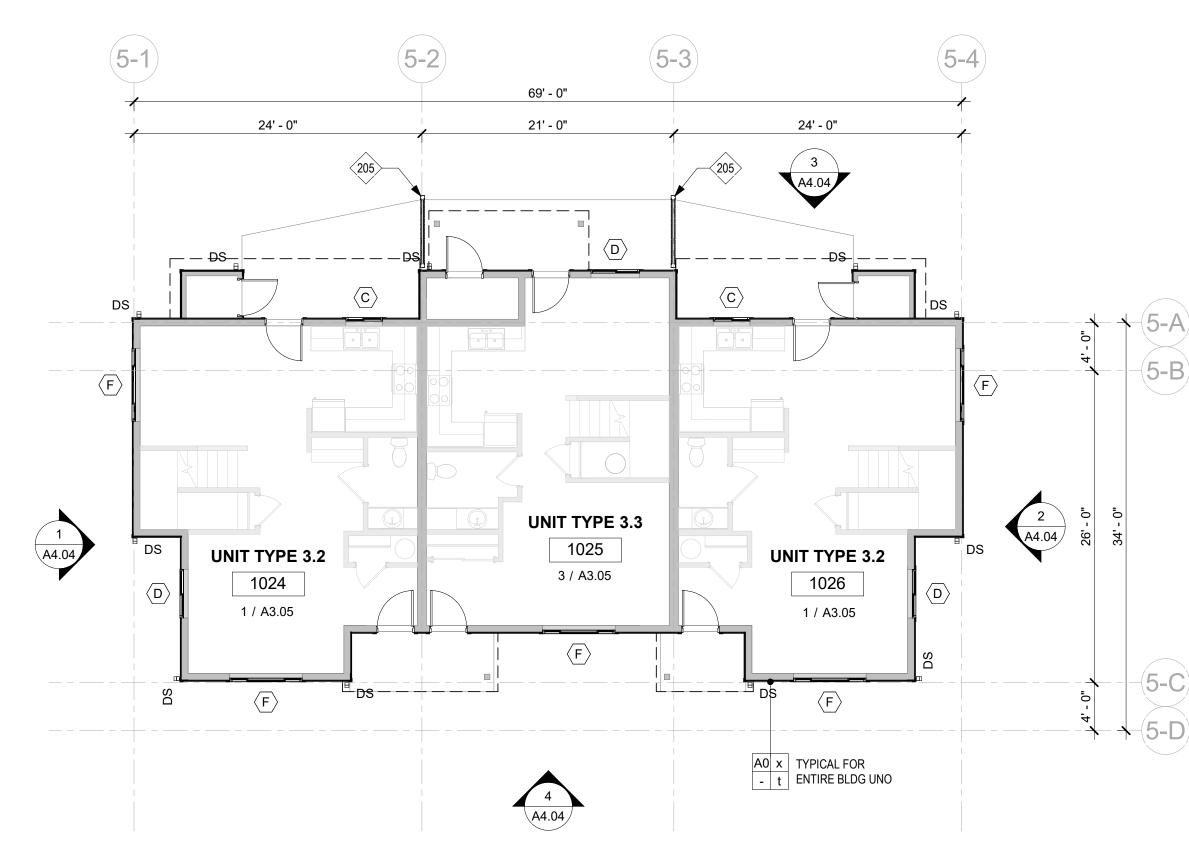


3 BUILDING 5 (2971) - ROOF PLAN SCALE: 1/8" = 1'-0"



BUILDING 5 (2971) - FLOOR PLAN - LEVEL 1 SCALE: 1/8" = 1'-0"

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GENERAL NOTES:

FLOOR PLAN GENERAL NOTES:

- BUILDING INFORMATION AND EXISTING CONDITIONS BASED ON OWNER PROVIDED DOCUMENTS AND PARTIAL FIELD VERIFICATION. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN FIELD.
- EXISTING DIMENSIONS ARE FOR REFERENCE ONLY AND TO FACE OF STUD OR GRIDLINE.
- APPURTENANCES & MISCELLANEOUS ENVELOPE PENETRATIONS ARE NOT SHOWN IN DOCUMENTS, LOCATIONS AND QUANTITIES TO BE FIELD VERIFIED BY CONTRACTOR PRIOR TO BIDDING - REFER TO SHEET A8.21 FOR TYPICAL FLASHING DETAIL CONDITIONS.
- PROVIDE DOWNSPOUTS IN SAME LOCATIONS AS D. EXISTING AND CONNECT TO BELOW GRADE SYSTEM WHERE APPLICABLE, TYPICAL.
- REFER TO SHEET G1.02 FOR TYPICAL NOTES REGARDING DESIGN BUILD MECHANICAL, ELECTRICAL, PLUMBING, FIRE SPRINKLER AND LOW VOLT ITEMS.
- REFER TO SHEET A3.00 FOR UNIT INTERIOR SCOPE MATRIX.
- ALL VENTING FOR MISCELLANEOUS ROOFS SHOWN G. ON PLANS, INCLUDING BUT NOT LIMITED TO PORCH, STORAGE, AND PATIOS BY CONTRACTOR.
- REFER TO SHEET G3.01 FOR ASSEMBLY Η. **INFORMATION & SHEET G1.01 FOR EXISTING** BUILDING FIRE LIFE SAFETY INFORMATION.

ROOF PLAN GENERAL NOTES:

- BUILDING INFORMATION AND EXISTING CONDITIONS BASED ON OWNER PROVIDED DOCUMENTS AND PARTIAL FIELD VERIFICATION. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN FIELD.
- ROOF PENETRATIONS ARE NOT SHOWN. В COORDINATE WITH OTHER WORK SCOPES & FLASH PER DETAILS ON A8.51.
- INSTALL KICK-OUT FLASHING AT ALL EAVE/ C. SIDEWALL INTERSECTIONS.
- MAINTAIN 20" MINIMUM CLEAR FROM ROOF D. VALLEYS TO LOW INTAKE VENT STRIPS & STATIC VENTS - COORDINATE W/ VALLEY FLASHING -DISTANCE FROM ROOF GABLE OR EAVE TO LOW INTAKE VENT STRIPS TO BE 36" MINIMUM PER MANUFACTURER REQUIREMENTS.
- ROOF VENTING TO REMAIN AS IS. CONTRACTOR TO VERIFY ALL VENTING CONDITIONS IN THE FIELD AND REPLACE ALL VENTING IN KIND.

KEYNOTES:

- NEW PRIVACY FENCE, BIDDER DESIGNED (STEEL 205 POSTS, FOOTINGS & COMPOSITE CLADDING)
- 210 FIBER CEMENT SOFFIT PANEL - PAINT

PRELIMINARY NOT FOR CONSTRUCTION



E: DESIGN REVIEW & **COLONIA LIBERTAD 1** 2911 SADDLE CLUB ROAD SALEM, OREGON 97317

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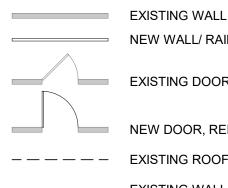
AND USE: SITE F

LEGEND:

FLOOR PLAN LEGEND:

(**5-B**)

-(**5-C**)



NEW WALL/ RAINSCREEN CLADDING EXISTING DOOR

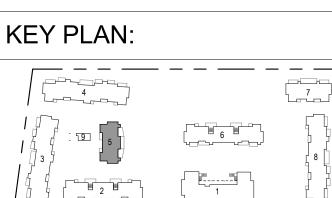
NEW DOOR, REFER TO A9.01

---- EXISTING ROOF/ PATIO ABOVE

EXISTING WALL BELOW DOWNSPOUT, REFER TO 12 / A8.21 DS

ROOF PLAN LEGEND:

- ---- EXISTING WALL BELOW ASSUMED EXISTING DRAFTSTOPPING
- ASPHALT SHINGLE ROOF SYSTEM



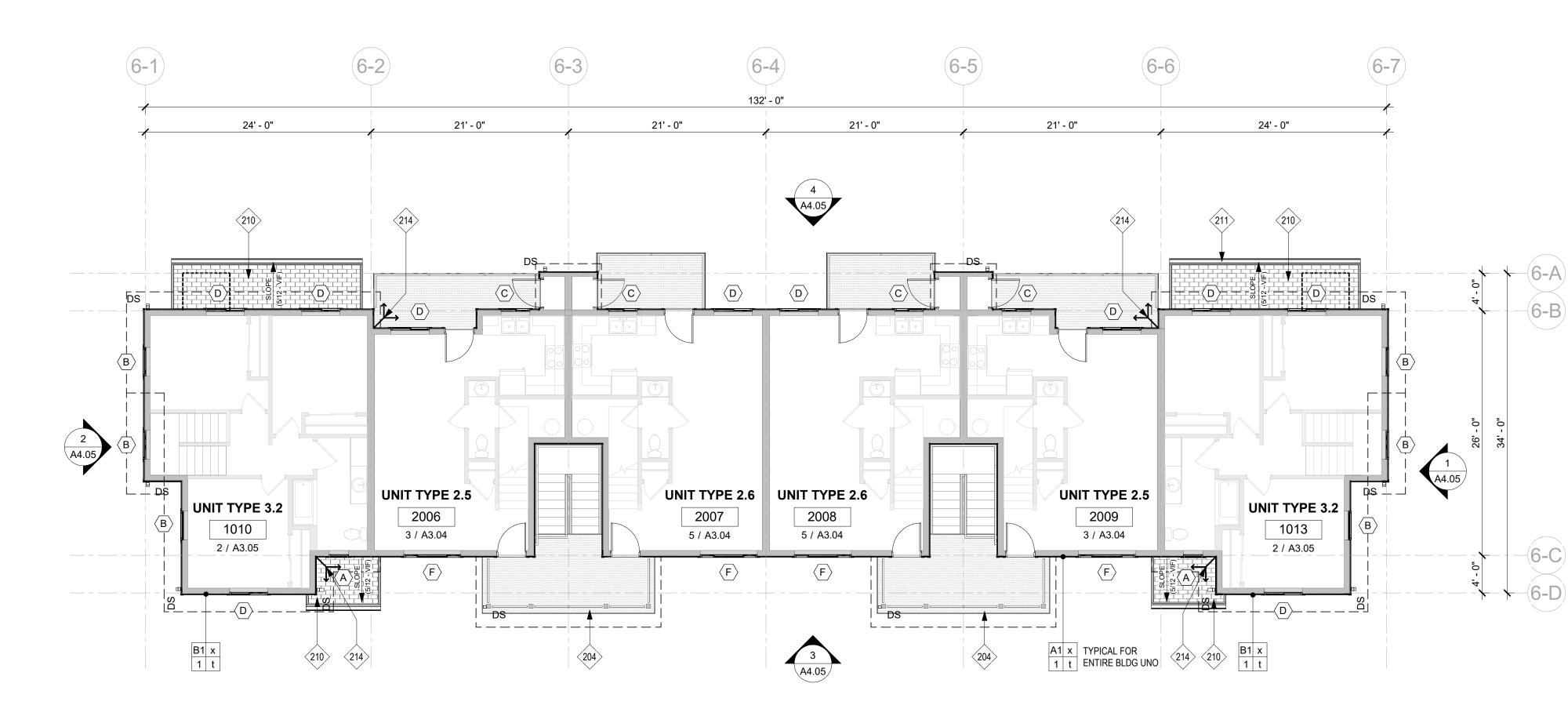
BLDG 5 - FLOOR PLAN -LEVELS 1 & 2 & ROOF PLAN

> PROJECT NO. 24007

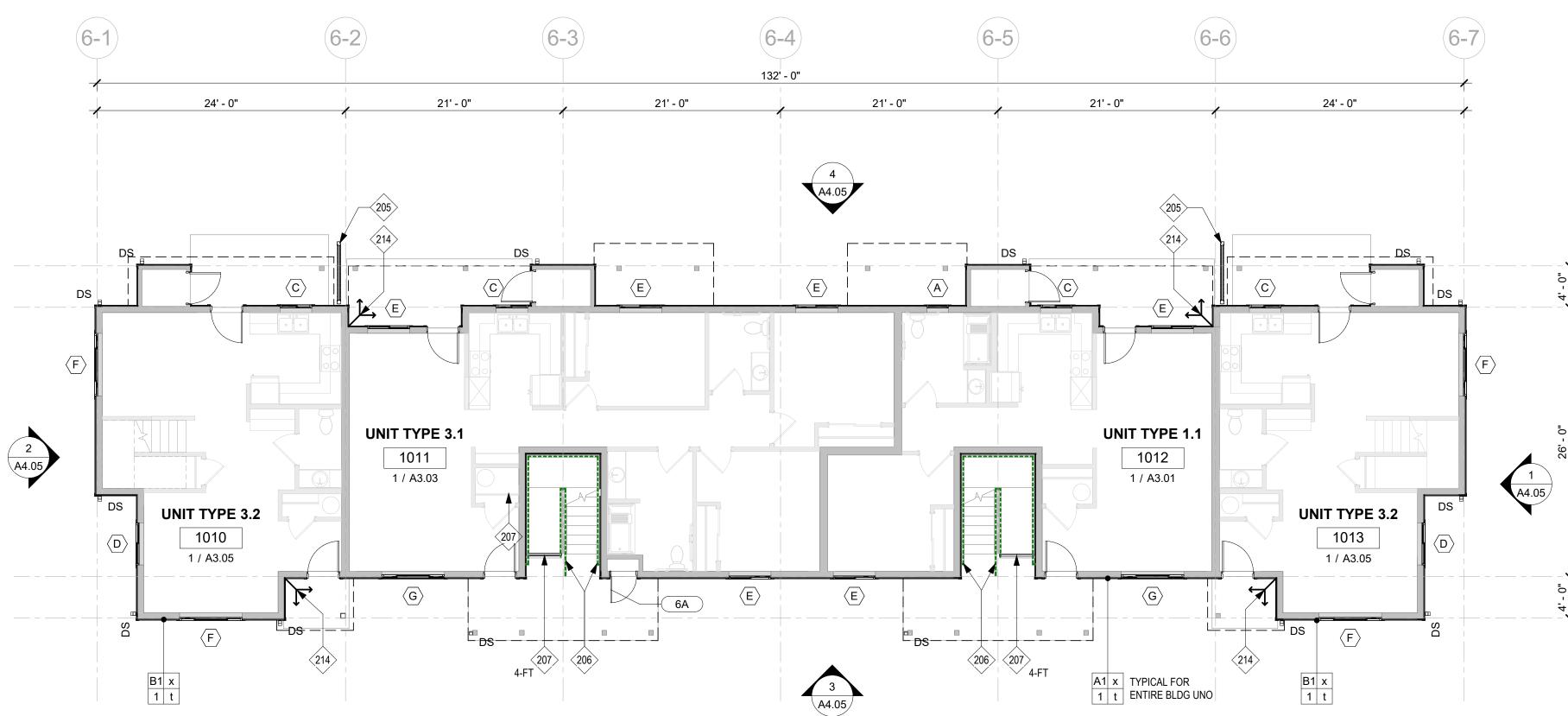
03.31.25

REVISIONS:





2 BUILDING 6 (2931) - FLOOR PLAN - LEVEL 2 SCALE: 1/8" = 1'-0"



BUILDING 6 (2931) - FLOOR PLAN - LEVEL 1 SCALE: 1/8" = 1'-0" **1**

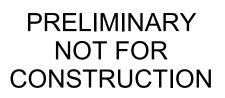
GENERAL NOTES:

FLOOR PLAN GENERAL NOTES:

- Α. BUILDING INFORMATION AND EXISTING CONDITIONS BASED ON OWNER PROVIDED DOCUMENTS AND PARTIAL FIELD VERIFICATION. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN FIELD.
- EXISTING DIMENSIONS ARE FOR REFERENCE ONLY В AND TO FACE OF STUD OR GRIDLINE.
- APPURTENANCES & MISCELLANEOUS ENVELOPE C. PENETRATIONS ARE NOT SHOWN IN DOCUMENTS, LOCATIONS AND QUANTITIES TO BE FIELD VERIFIED BY CONTRACTOR PRIOR TO BIDDING - REFER TO SHEET A8.21 FOR TYPICAL FLASHING DETAIL CONDITIONS.
- PROVIDE DOWNSPOUTS IN SAME LOCATIONS AS EXISTING AND CONNECT TO BELOW GRADE SYSTEM D. WHERE APPLICABLE, TYPICAL.
- REFER TO SHEET G1.02 FOR TYPICAL NOTES Ε. REGARDING DESIGN BUILD MECHANICAL, ELECTRICAL, PLUMBING, FIRE SPRINKLER AND LOW VOLT ITEMS.
- REFER TO SHEET A3.00 FOR UNIT INTERIOR SCOPE MATRIX.
- ALL VENTING FOR MISCELLANEOUS ROOFS SHOWN G. ON PLANS, INCLUDING BUT NOT LIMITED TO PORCH, STORAGE, AND PATIOS BY CONTRACTOR.
- REFER TO SHEET G3.01 FOR ASSEMBLY Η. **INFORMATION & SHEET G1.01 FOR EXISTING** BUILDING FIRE LIFE SAFETY INFORMATION.

KEYNOTES:

- 204 NEW TRAFFIC COATING AT COMMON WALKWAY AND UNIT BALCONIES
- 205 NEW PRIVACY FENCE, BIDDER DESIGNED (STEEL POSTS, FOOTINGS & COMPOSITE CLADDING)
- 206 GREEN DASHED LINE INDICATES NEW GUARDRAIL (42" H) & HANDRAIL (34" H)
- 207 NEW CANE DETECTION (24" H, LENGTH PER PLANS)
- 210 FIBER CEMENT SOFFIT PANEL PAINT
- 211 PRE-PRIMED GUTTER, PAINTED TYPICAL
- 214 CLADDING TRANSITION POINT, REFER TO EXTERIOR ELEVATIONS



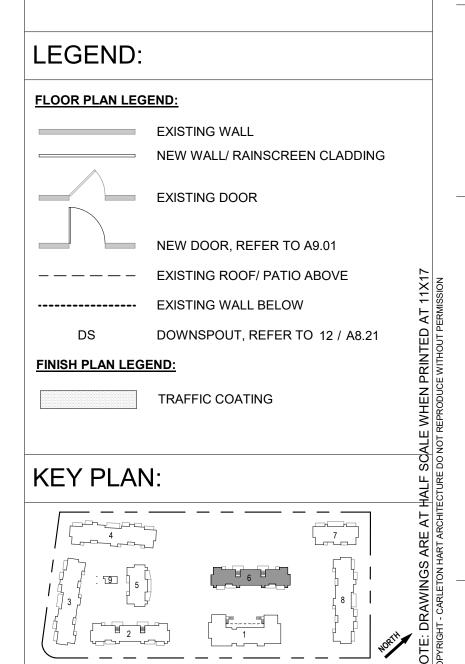


AND USE: DESIGN REVIEW SITE PLAN REIVEW **COLONIA LIBERTAD 1** 2911 SADDLE CLUB ROAD SALEM, OREGON 97317

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-(**6-B**) -(6-C) (6-D)

- ****-(6-A)



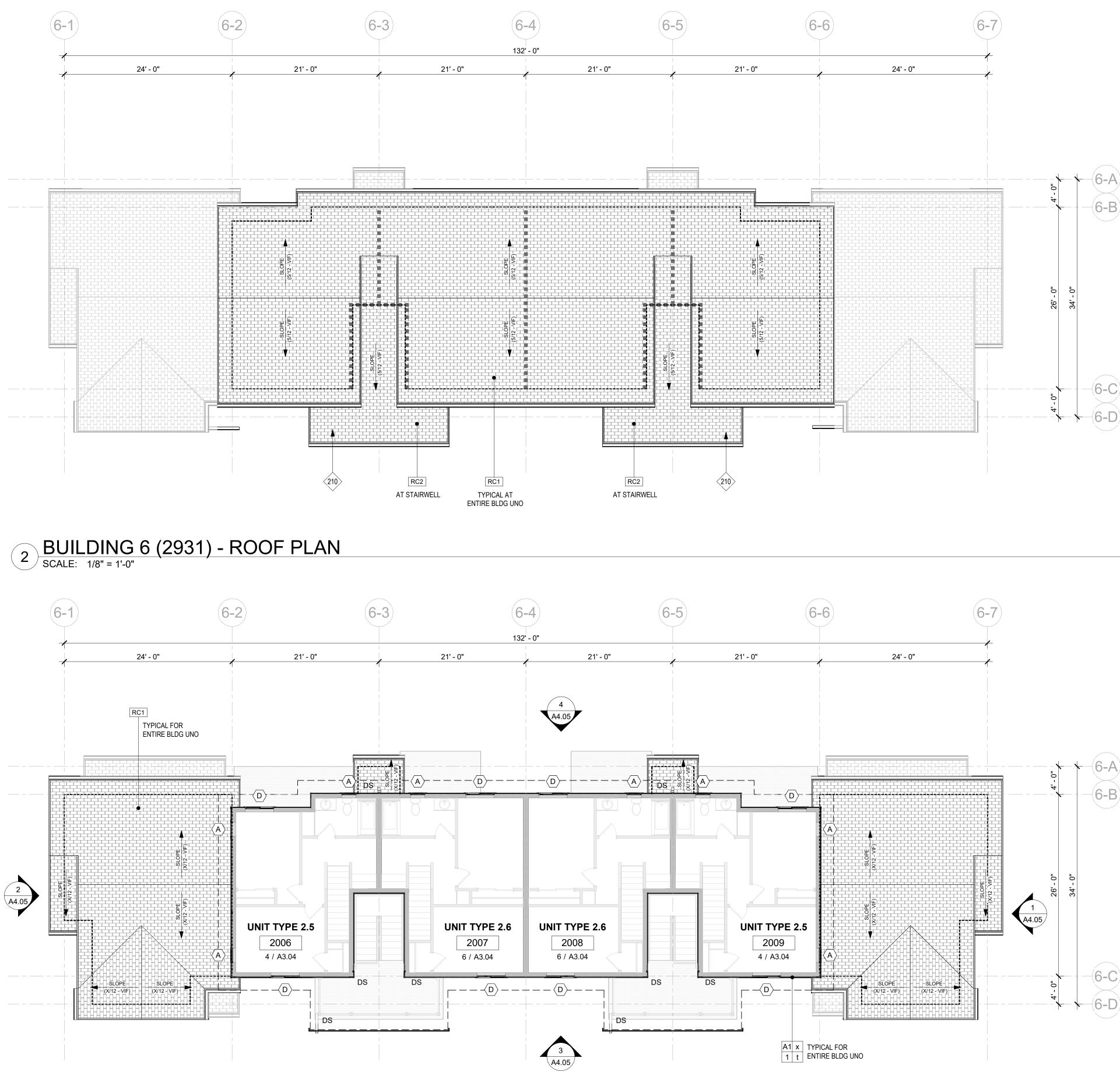
BLDG 6 - FLOOR PLAN -LEVELS 1 & 2

PROJECT NO. 24007

03.31.25

REVISIONS: #





BUILDING 6 (2931) - FLOOR PLAN - LEVEL 3 SCALE: 1/8" = 1'-0" **1**

GENERAL NOTES:

FLOOR PLAN GENERAL NOTES:

- BUILDING INFORMATION AND EXISTING CONDITIONS Α. BASED ON OWNER PROVIDED DOCUMENTS AND PARTIAL FIELD VERIFICATION. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN FIELD.
- EXISTING DIMENSIONS ARE FOR REFERENCE ONLY Β. AND TO FACE OF STUD OR GRIDLINE.
- APPURTENANCES & MISCELLANEOUS ENVELOPE C. PENETRATIONS ARE NOT SHOWN IN DOCUMENTS, LOCATIONS AND QUANTITIES TO BE FIELD VERIFIED BY CONTRACTOR PRIOR TO BIDDING - REFER TO SHEET A8.21 FOR TYPICAL FLASHING DETAIL CONDITIONS.
- PROVIDE DOWNSPOUTS IN SAME LOCATIONS AS D. EXISTING AND CONNECT TO BELOW GRADE SYSTEM WHERE APPLICABLE, TYPICAL.
- REFER TO SHEET G1.02 FOR TYPICAL NOTES E. REGARDING DESIGN BUILD MECHANICAL, ELECTRICAL, PLUMBING, FIRE SPRINKLER AND LOW VOLT ITEMS.
- REFER TO SHEET A3.00 FOR UNIT INTERIOR SCOPE F. MATRIX.
- ALL VENTING FOR MISCELLANEOUS ROOFS SHOWN G. ON PLANS, INCLUDING BUT NOT LIMITED TO PORCH, STORAGE, AND PATIOS BY CONTRACTOR.
- REFER TO SHEET G3.01 FOR ASSEMBLY Н. **INFORMATION & SHEET G1.01 FOR EXISTING** BUILDING FIRE LIFE SAFETY INFORMATION.

ROOF PLAN GENERAL NOTES:

-(6-B)

-(6-C)

-(6-D)

- BUILDING INFORMATION AND EXISTING CONDITIONS Α. BASED ON OWNER PROVIDED DOCUMENTS AND PARTIAL FIELD VERIFICATION. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN FIELD.
- ROOF PENETRATIONS ARE NOT SHOWN. В COORDINATE WITH OTHER WORK SCOPES & FLASH PER DETAILS ON A8.51.
- INSTALL KICK-OUT FLASHING AT ALL EAVE/ C. SIDEWALL INTERSECTIONS.
- MAINTAIN 20" MINIMUM CLEAR FROM ROOF D. VALLEYS TO LOW INTAKE VENT STRIPS & STATIC VENTS - COORDINATE W/ VALLEY FLASHING -DISTANCE FROM ROOF GABLE OR EAVE TO LOW INTAKE VENT STRIPS TO BE 36" MINIMUM PER MANUFACTURER REQUIREMENTS.
- ROOF VENTING TO REMAIN AS IS. CONTRACTOR TO VERIFY ALL VENTING CONDITIONS IN THE FIELD AND REPLACE ALL VENTING IN KIND.

KEYNOTES:

210 FIBER CEMENT SOFFIT PANEL - PAINT

PRELIMINARY NOT FOR CONSTRUCTION



AND USE: DESIGN REVIEW SITE PLAN REIVEW **COLONIA LIBERTAD 1** 2911 SADDLE CLUB ROAD SALEM, OREGON 97317

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- 🔶 (6-A) \succ -(**6-B**) -(6-C) (6-D)

LEGEND:	
FLOOR PLAN LEG	END:
	EXISTING WALL NEW WALL/ RAINSCREEN CLADDING
	EXISTING DOOR
	NEW DOOR, REFER TO A9.01
	EXISTING ROOF/ PATIO ABOVE
	EXISTING WALL BELOW
DS	DOWNSPOUT, REFER TO 12 / A8.21
ROOF PLAN LEGE	ND:
	EXISTING WALL BELOW
•••••	ASSUMED EXISTING DRAFTSTOPPING
	ASPHALT SHINGLE ROOF SYSTEM
KEY PLAN	
	EXISTING WALL BELOW ASSUMED EXISTING DRAFTSTOPPING ASPHALT SHINGLE ROOF SYSTEM
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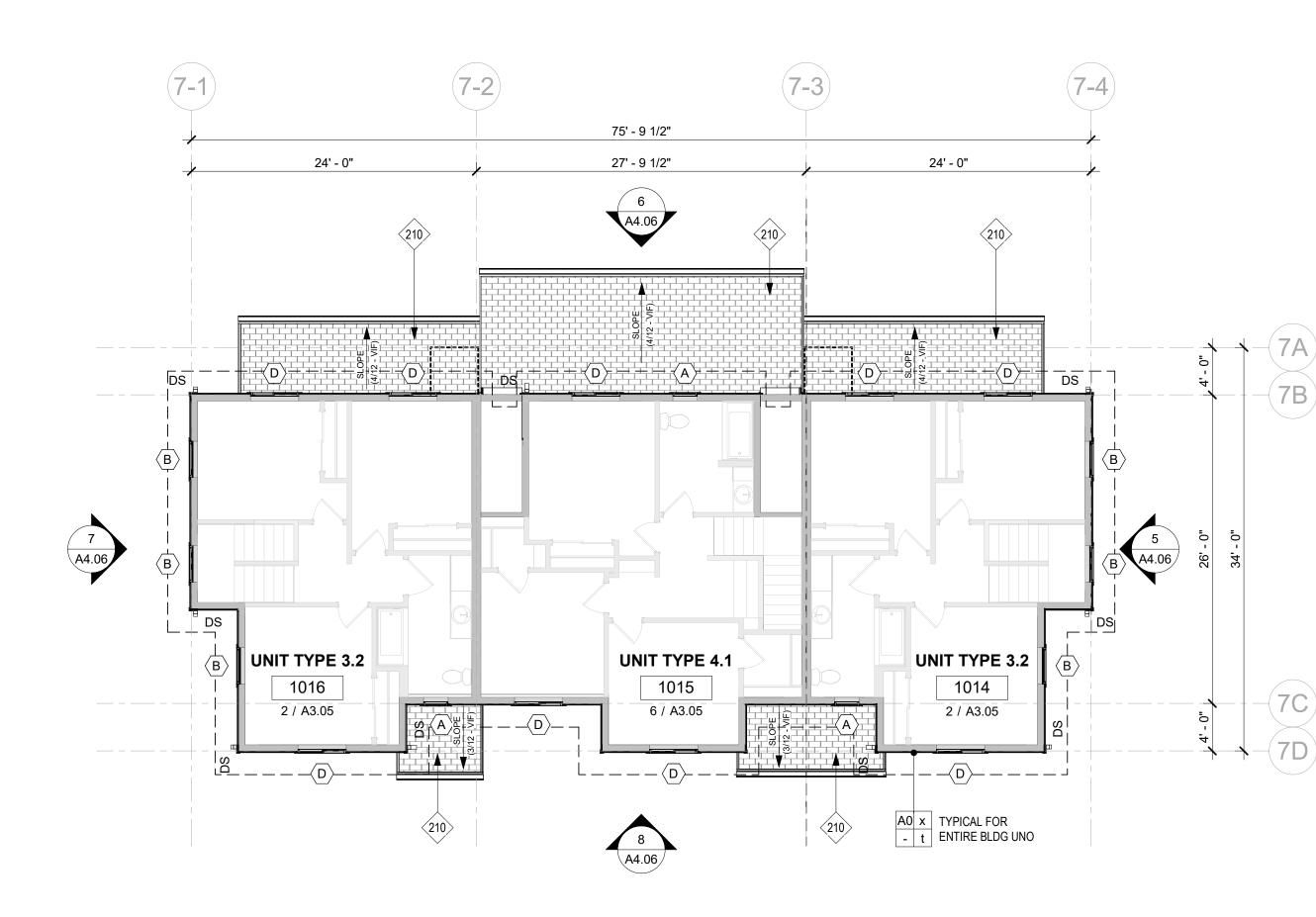
BLDG 6 - LEVEL 3 & ROOF PLAN

PROJECT NO. 24007

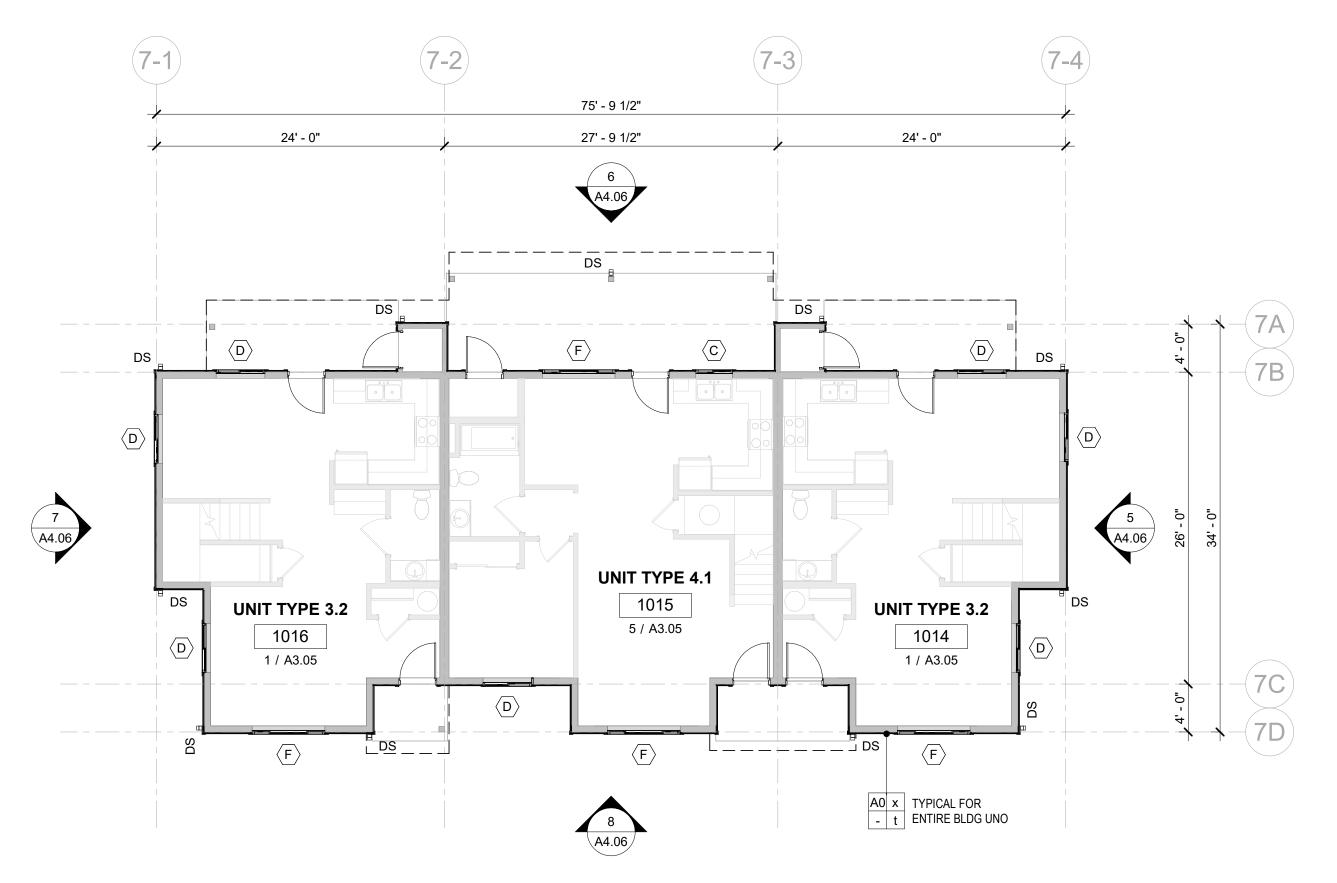
03.31.25

REVISIONS:





2 BUILDING 7 (2941) - FLOOR PLAN - LEVEL 2 SCALE: 1/8" = 1'-0"



BUILDING 7 (2941) - FLOOR PLAN - LEVEL 1 SCALE: 1/8" = 1'-0"

GENERAL NOTES:

FLOOR PLAN GENERAL NOTES:

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- BUILDING INFORMATION AND EXISTING CONDITIONS Α. BASED ON OWNER PROVIDED DOCUMENTS AND PARTIAL FIELD VERIFICATION. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN FIELD.
- EXISTING DIMENSIONS ARE FOR REFERENCE ONLY AND TO FACE OF STUD OR GRIDLINE. Β.
- APPURTENANCES & MISCELLANEOUS ENVELOPE C. PENETRATIONS ARE NOT SHOWN IN DOCUMENTS, LOCATIONS AND QUANTITIES TO BE FIELD VERIFIED BY CONTRACTOR PRIOR TO BIDDING - REFER TO SHEET A8.21 FOR TYPICAL FLASHING DETAIL CONDITIONS.
- PROVIDE DOWNSPOUTS IN SAME LOCATIONS AS EXISTING AND CONNECT TO BELOW GRADE SYSTEM D. WHERE APPLICABLE, TYPICAL.
- REFER TO SHEET G1.02 FOR TYPICAL NOTES Ε. REGARDING DESIGN BUILD MECHANICAL, ELECTRICAL, PLUMBING, FIRE SPRINKLER AND LOW VOLT ITEMS.
- REFER TO SHEET A3.00 FOR UNIT INTERIOR SCOPE MATRIX. F.
- ALL VENTING FOR MISCELLANEOUS ROOFS SHOWN ON PLANS, INCLUDING BUT NOT LIMITED TO PORCH, STORAGE, AND PATIOS BY CONTRACTOR. G.
- REFER TO SHEET G3.01 FOR ASSEMBLY INFORMATION & SHEET G1.01 FOR EXISTING H. BUILDING FIRE LIFE SAFETY INFORMATION.

KEYNOTES:

210 FIBER CEMENT SOFFIT PANEL - PAINT

PRELIMINARY NOT FOR CONSTRUCTION



COLONIA LIBERTAD 1 2911 SADDLE CLUB ROAD SALEM, OREGON 97317



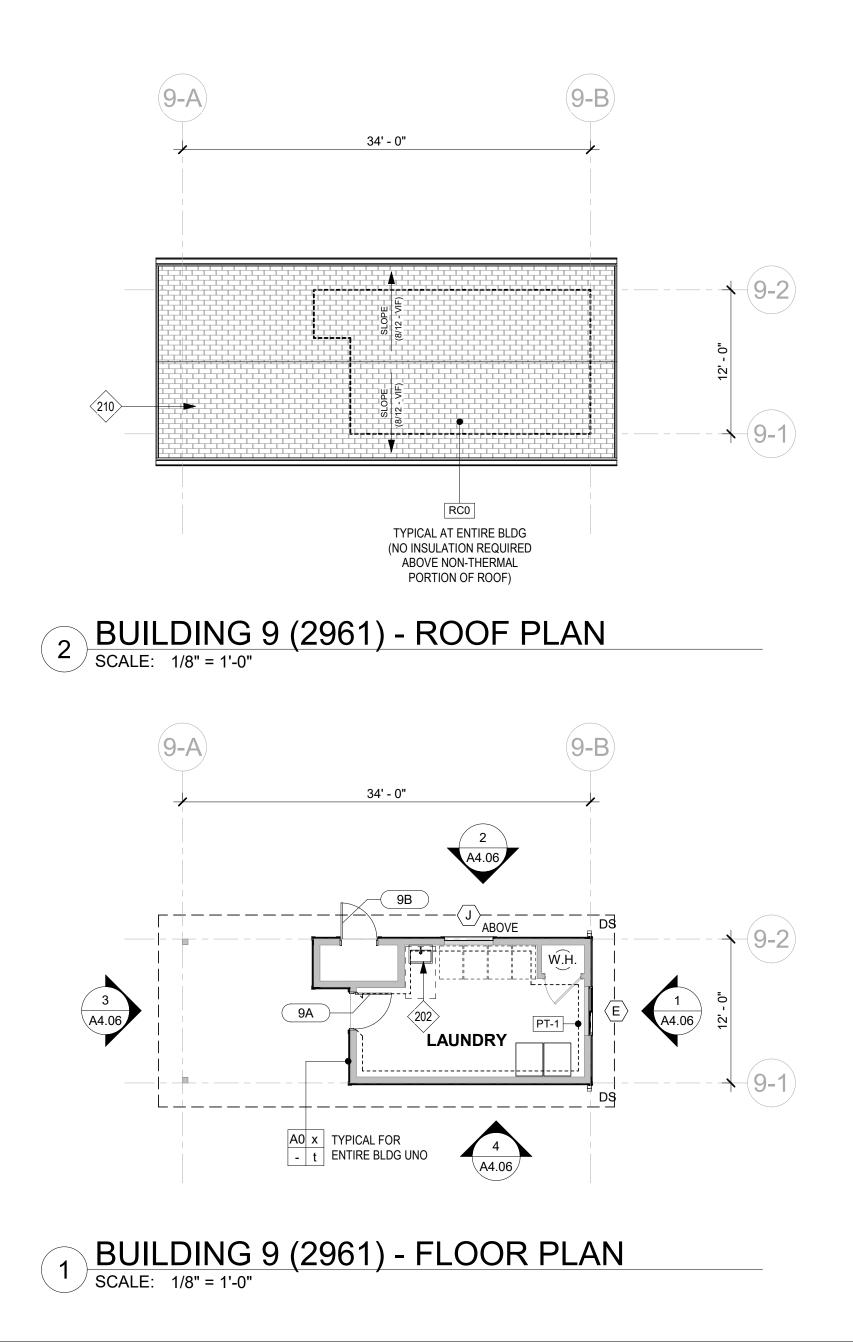
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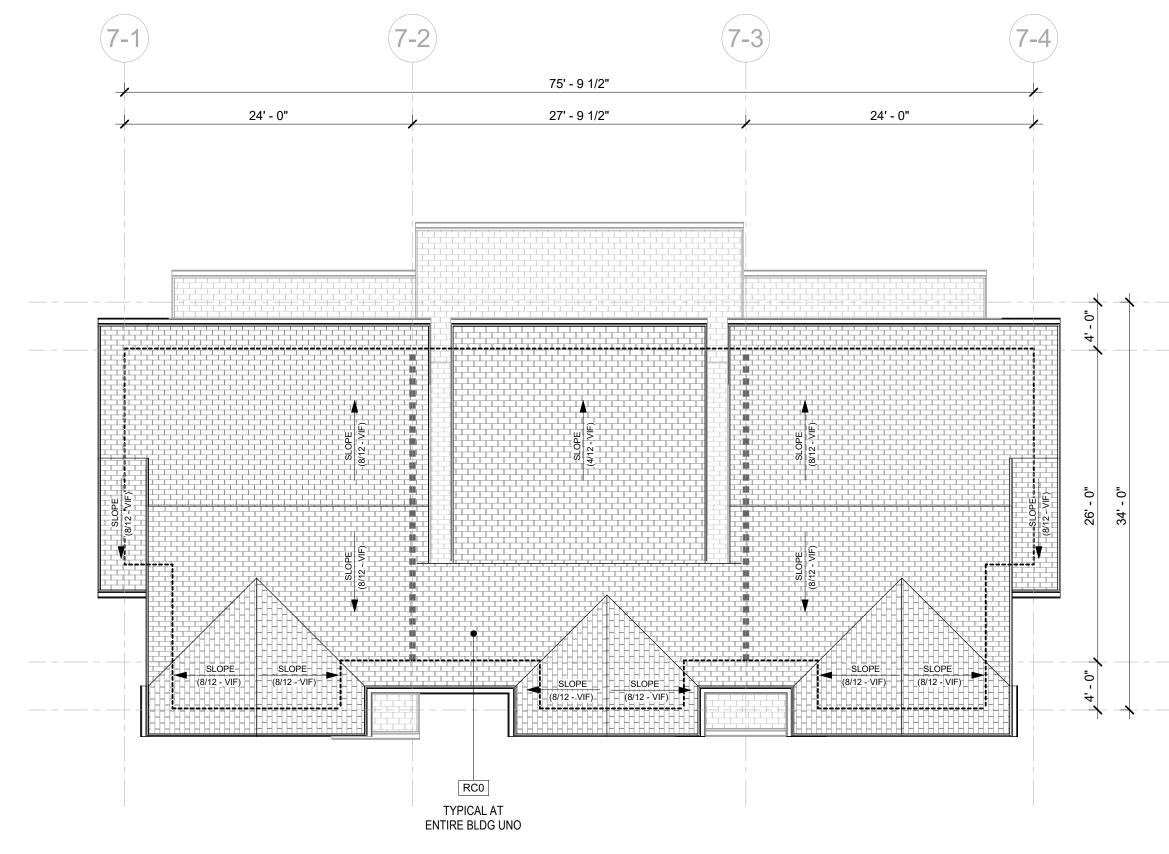
LEGEND:			BLDG 7 - FLOOR PLAN - LEVELS 1 & 2 & ROOF PLAN
FLOOR PLAN LEG	EXISTING WALL NEW WALL/ RAINSCREEN CLADDING		PROJECT NO. 24007 03.31.25
	EXISTING DOOR NEW DOOR, REFER TO A9.01 EXISTING ROOF/ PATIO ABOVE EXISTING WALL BELOW	T 11X17	REVISIONS: #
DS	DOWNSPOUT, REFER TO 12 / A8.21	ALE WHEN PRINTED AT	TURE DO NOT REPRODUCE WITHOUT PERMISSION
KEY PLAN	N:	ALF SCA	

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3 BUILDING 7 (2941) - ROOF PLAN SCALE: 1/8" = 1'-0"

GENERAL NOTES:					
FLOOR PLAN GENERAL NOTES:					
A.	BUILDING INFORMATION AND EXISTING CONDITIONS BASED ON OWNER PROVIDED DOCUMENTS AND PARTIAL FIELD VERIFICATION. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN FIELD.				
В.	EXISTING DIMENSIONS ARE FOR REFERENCE ONLY AND TO FACE OF STUD OR GRIDLINE.				
C.	APPURTENANCES & MISCELLANEOUS ENVELOPE PENETRATIONS ARE NOT SHOWN IN DOCUMENTS, LOCATIONS AND QUANTITIES TO BE FIELD VERIFIED BY CONTRACTOR PRIOR TO BIDDING - REFER TO SHEET A8.21 FOR TYPICAL FLASHING DETAIL CONDITIONS.				
D.	PROVIDE DOWNSPOUTS IN SAME LOCATIONS AS EXISTING AND CONNECT TO BELOW GRADE SYSTEM WHERE APPLICABLE, TYPICAL.				
E.	REFER TO SHEET G1.02 FOR TYPICAL NOTES REGARDING DESIGN BUILD MECHANICAL, ELECTRICAL, PLUMBING, FIRE SPRINKLER AND LOW VOLT ITEMS.				
F.	REFER TO SHEET A3.00 FOR UNIT INTERIOR SCOPE MATRIX.				
G.	ALL VENTING FOR MISCELLANEOUS ROOFS SHOWN ON PLANS, INCLUDING BUT NOT LIMITED TO PORCH, STORAGE, AND PATIOS BY CONTRACTOR.				
H.	REFER TO SHEET G3.01 FOR ASSEMBLY INFORMATION & SHEET G1.01 FOR EXISTING BUILDING FIRE LIFE SAFETY INFORMATION.				
ROOF	PLAN GENERAL NOTES:				
A.	BUILDING INFORMATION AND EXISTING CONDITIONS BASED ON OWNER PROVIDED DOCUMENTS AND PARTIAL FIELD VERIFICATION. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN FIELD.				
В.	ROOF PENETRATIONS ARE NOT SHOWN. COORDINATE WITH OTHER WORK SCOPES & FLASH PER DETAILS ON A8.51.				
C.	INSTALL KICK-OUT FLASHING AT ALL EAVE/ SIDEWALL INTERSECTIONS.				
D.	MAINTAIN 20" MINIMUM CLEAR FROM ROOF VALLEYS TO LOW INTAKE VENT STRIPS & STATIC VENTS - COORDINATE W/ VALLEY FLASHING - DISTANCE FROM ROOF GABLE OR EAVE TO LOW INTAKE VENT STRIPS TO BE 36" MINIMUM PER MANUFACTURER REQUIREMENTS.				
E.	ROOF VENTING TO REMAIN AS IS. CONTRACTOR TO VERIFY ALL VENTING CONDITIONS IN THE FIELD AND REPLACE ALL VENTING IN KIND.				
KEY	NOTES ·				

NEW ACCESSIBLE SINK - REFER TO G1.02 OR ADDITIONAL INFORMATION 202

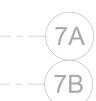
210 FIBER CEMENT SOFFIT PANEL - PAINT





LAND USE: DESIGN REVIEW SITE PLAN REIVEW **COLONIA LIBERTAD 1** 2911 SADDLE CLUB ROAD SALEM, OREGON 97317

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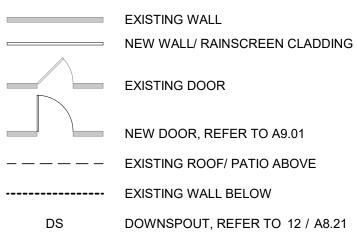
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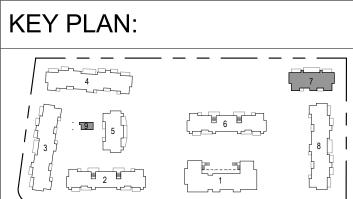
LEGEND:

FLOOR PLAN LEGEND:



ROOF PLAN LEGEND:

	EXISTING WALL BELOW
•••••	ASSUMED EXISTING DRAFTSTOPPING
	ASPHALT SHINGLE ROOF SYSTEM



BLDG 7 ROOF PLAN & BLDG 9 - FLOOR PLAN & ROOF PLAN

PROJECT NO. 24007

03.31.25

A2.11

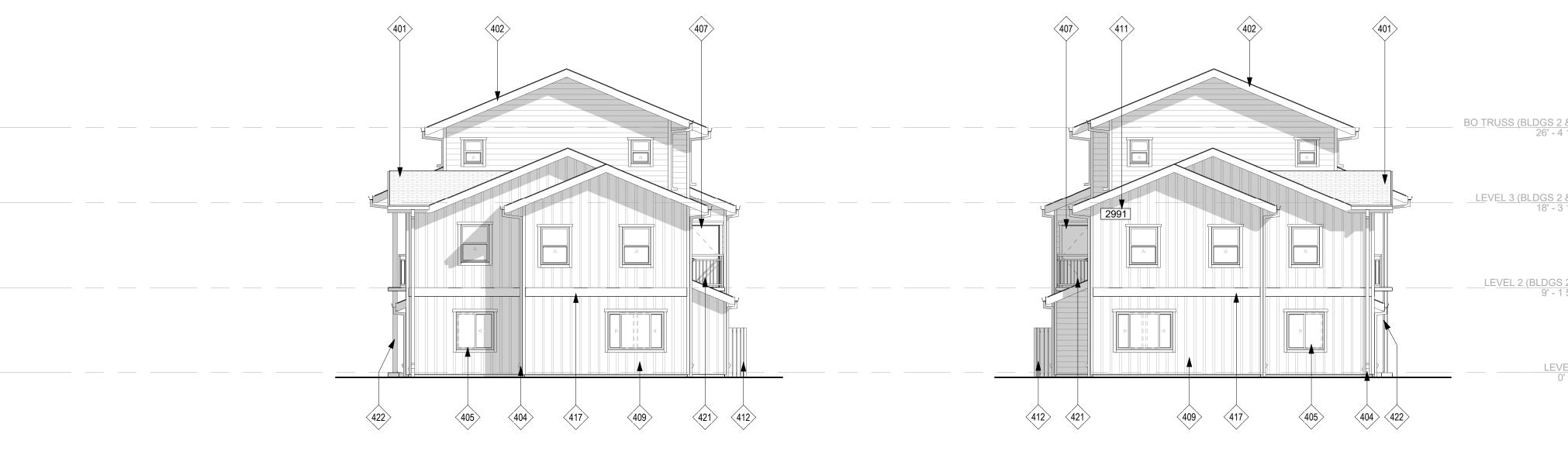
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REVISIONS:



4 BUILDING 1 (2921) - SE ELEVATION SCALE: 1/8" = 1'-0"

 LATCHES, LABELS, TAGS, VIEW PANELS, ETC.) MISCELLANEOUS METAL FLASHING ITEMS, INCLUDING BUT NOT LIMITED TO GUTTER, DOWNSPOUTS, THRU WALL FLASHING, BASE OF WALL FLASHING, ROOF FLASHING KEYNOTES: × 401 NEW ASPHALT SHINGLE ROOFING SYSTEM & ROOF SHEATHING, TYPICAL 402 NEW SUB-FASCIA & FASCIA, PAINTED - TYPICAL 404 NEW DOWNSPOUT, CONNECT TO EXISTING AS APPLICABLE, TYPICAL 405 NEW VINYL WINDOWS, TYPICAL 	E PLAN REIVEW &
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409 NEW CLADDING AND TRIM - PAINTED, TYPICAL	ΓA
411 NEW BUILDING SIGNAGE, TYPICAL	
412 NEW PRIVACY FENCE, BIDDER DESIGNED (STEEL POSTS, FOOTINGS & COMPOSITE CLADDING)	
415 NEW MURAL BY OWNER	
417 NEW FIBER CEMENT BELLY BAND - PAINTED, TYPICAL	
419 ADD-ALT #11: NEW CANE DETECTION (24" H, LENGTH	
420 EXISTING STAIRS TO REMAIN - TREAD REPLACEMENT AS REQUIRED PER ALLOWANCE, TYPICAL BLDG 1 - EXTER ELEVATIONS	
421 ADD-ALT #12: NEW GUARDRAIL (42" H) & HANDRAIL (34" H) PROJECT NO.	
422 EXISTING COLUMN & BEAM TO REMAIN - REPLACEMENT AS REQUIRED PER ALLOWANCE, TYPICAL 24007	
LEGEND: REVISIONS:	
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KEY PLAN:	



1 BUILDING 2 (2991) - SW ELEVATION SCALE: 1/8" = 1'-0"



2 BUILDING 2 (2991) - NE ELEVATION SCALE: 1/8" = 1'-0"

GE	ENERAL NOTES:			
EXT	ERIOR ELEVATIONS GENERAL NOTES:	PRELIMIN	ARY	
A.	BUILDING INFORMATION AND EXISTING CONDITIONS BASED ON OWNER PROVIDED DOCUMENTS AND PARTIAL FIELD VERIFICATION. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN FIELD.	NOT FC CONSTRUC	R	
В.	EXISTING DIMENSIONS ARE FOR REFERENCE ONLY AND TO FACE OF STUD OR GRIDLINE.			
C.	APPURTENANCES & MISCELLANEOUS ENVELOPE PENETRATIONS ARE NOT SHOWN IN DOCUMENTS, LOCATIONS AND QUANTITIES TO BE FIELD VERIFIED BY CONTRACTOR PRIOR TO BIDDING - REFER TO SHEET A8.21 FOR TYPICAL FLASHING DETAIL CONDITIONS.		N	
D.	PROVIDE DOWNSPOUTS IN SAME LOCATIONS AS EXISTING AND CONNECT TO BELOW GRADE SYSTEM WHERE APPLICABLE, TYPICAL.		\Box	
E.	REFER TO SHEET G1.02 FOR TYPICAL NOTES REGARDING DESIGN BUILD MECHANICAL, ELECTRICAL, PLUMBING, FIRE SPRINKLER AND LOW VOLT ITEMS.	CARLETON ARCHITEC 503.243.2252 www.carled	TURE	
F.	REFER TO SHEET G3.01 FOR ASSEMBLY INFORMATION & SHEET G1.01 FOR EXISTING BUILDING FIRE LIFE SAFETY INFORMATION.			
G.	PAINT SURFACES, INCLUDING BUT NOT LIMITED TO:			
• • • • • •	ALL SIDING (LAP, BOARD & BATTEN & PANEL) ALL WINDOW TRIM, DOOR TRIM & CORNER TRIM ALL EXTERIOR DOORS & FRAMES (INT SIDE SHOULD BE DIFFERENT COLOR THAN EXT SIDE) ROOF FASCIA UNDERSIDE OF SOFFITS UNDERSIDE OF EAVES AND RAKES UNDERSIDE OF DECK SUPPORT STRUCTURE EXISTING STRUCTURE (BEAMS, COLUMNS, ETC.) ALL NEW METAL VENT COVERS (PROTECT OPERABLE PARTS TO ENSURE PROPER FUNCTION) ALL ELECTRICAL AND GAS EQUIPMENT AND ASSOCIATED MOUNTING PANELS (PROTECT LATCHES, LABELS, TAGS, VIEW PANELS, ETC.) MISCELLANEOUS METAL FLASHING ITEMS, INCLUDING BUT NOT LIMITED TO GUTTER, DOWNSPOUTS, THRU WALL FLASHING, BASE OF WALL FLASHING, ROOF FLASHING	D1 COAD 317	VIEW & W	
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404	NEW DOWNSPOUT, CONNECT TO EXISTING AS APPLICABLE, TYPICAL	NIN 00,		
405	NEW VINYL WINDOWS, TYPICAL		USE	
407	NEW FIBERGLASS DOOR & COMPOSITE FRAME - TYPICAL AT UNIT ENTRY, UNIT PATIO & UNIT STORAGE	CO 2911 SAL	LAND	
408	NEW UNIT SIGNAGE, TYPICAL			
409				
411	NEW BUILDING SIGNAGE, TYPICAL			
412	NEW PRIVACY FENCE, BIDDER DESIGNED (STEEL POSTS, FOOTINGS & COMPOSITE CLADDING)			
417	NEW FIBER CEMENT BELLY BAND - PAINTED, TYPICAL			
	ADD-ALT #11: NEW CANE DETECTION (24" H, LENGTH PER PLANS)			
420	EXISTING STAIRS TO REMAIN - TREAD REPLACEMENT AS REQUIRED PER ALLOWANCE, TYPICAL ADD-ALT #12: NEW GUARDRAIL (42" H) & HANDRAIL			
	(34" H)	BLDG 2 - EXTE ELEVATION		
422	EXISTING COLUMN & BEAM TO REMAIN - REPLACEMENT AS REQUIRED PER ALLOWANCE, TYPICAL			
		PROJECT NO 24007	D.	
		03.31.25		
LE	GEND:	REVISIONS:		
EXT	ERIOR ELEVATION LEGEND:			
	ASPHALT ROOFING SYSTEM			
	LAP SIDING (7" EXPOSURE) -			
	ASPHALT ROOFING SYSTEM LAP SIDING (7" EXPOSURE) - PAINTED, TYPICAL BOARD & BATTEN SIDING - PAINTED, TYPICAL PANEL SIDING - PAINTED			
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	EY PLAN:	A4.C)2	

LIMINARY OT FOR STRUCTION



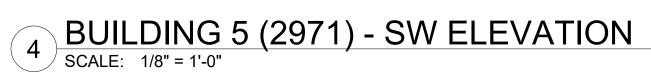


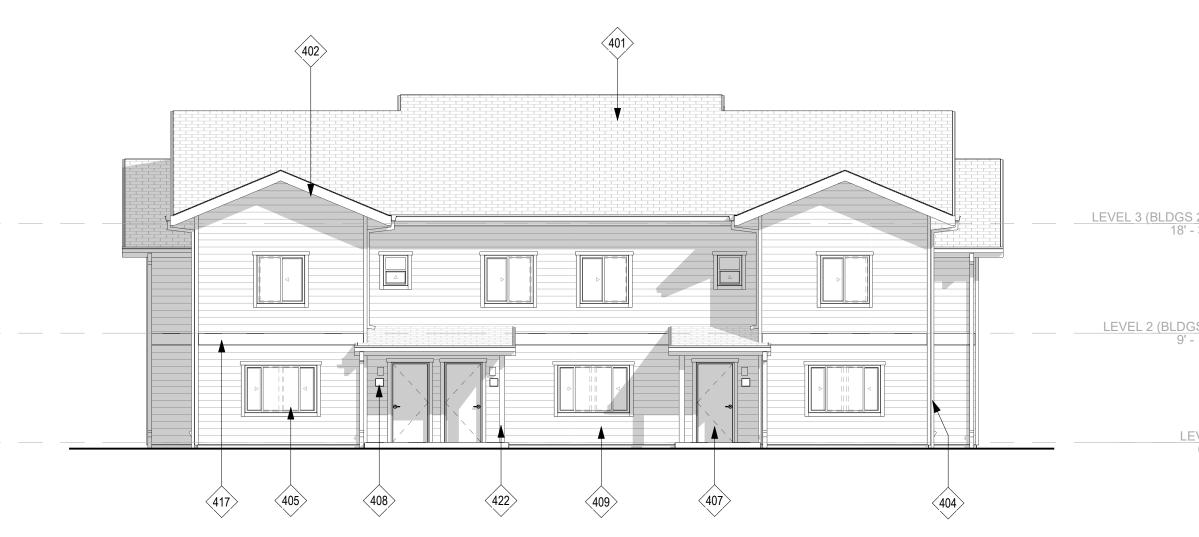


4 BUILDING 8 (2911) - SW ELEVATION SCALE: 1/8" = 1'-0"

EVENDED LEARANCE AND ACTIVE	G	ENERAL NOTES:		
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	 G. PAINT SURFACES, INCLUDING BUT NOT LIMITED TO: ALL SIDING (LAP, BOARD & BATTEN & PANEL) ALL WINDOW TRIM, DOOR TRIM & CORNER TRIM ALL EXTERIOR DOORS & FRAMES (INT SIDE SHOULD BE DIFFERENT COLOR THAN EXT SIDE) ROOF FASCIA UNDERSIDE OF SOFFITS UNDERSIDE OF EAVES AND RAKES UNDERSIDE OF DECK SUPPORT STRUCTURE EXISTING STRUCTURE (BEAMS, COLUMNS, ETC.) ALL NEW METAL VENT COVERS (PROTECT OPERABLE PARTS TO ENSURE PROPER FUNCTION) ALL ELECTRICAL AND GAS EQUIPMENT AND ASSOCIATED MOUNTING PANELS (PROTECT LATCHES, LABELS, TAGS, VIEW PANELS, ETC.) MISCELLANEOUS METAL FLASHING ITEMS, INCLUDING BUT NOT LIMITED TO GUTTER, DOWNSPOUTS, THRU WALL FLASHING, BASE OF WALL FLASHING, ROOF FLASHING 	0.4D 317
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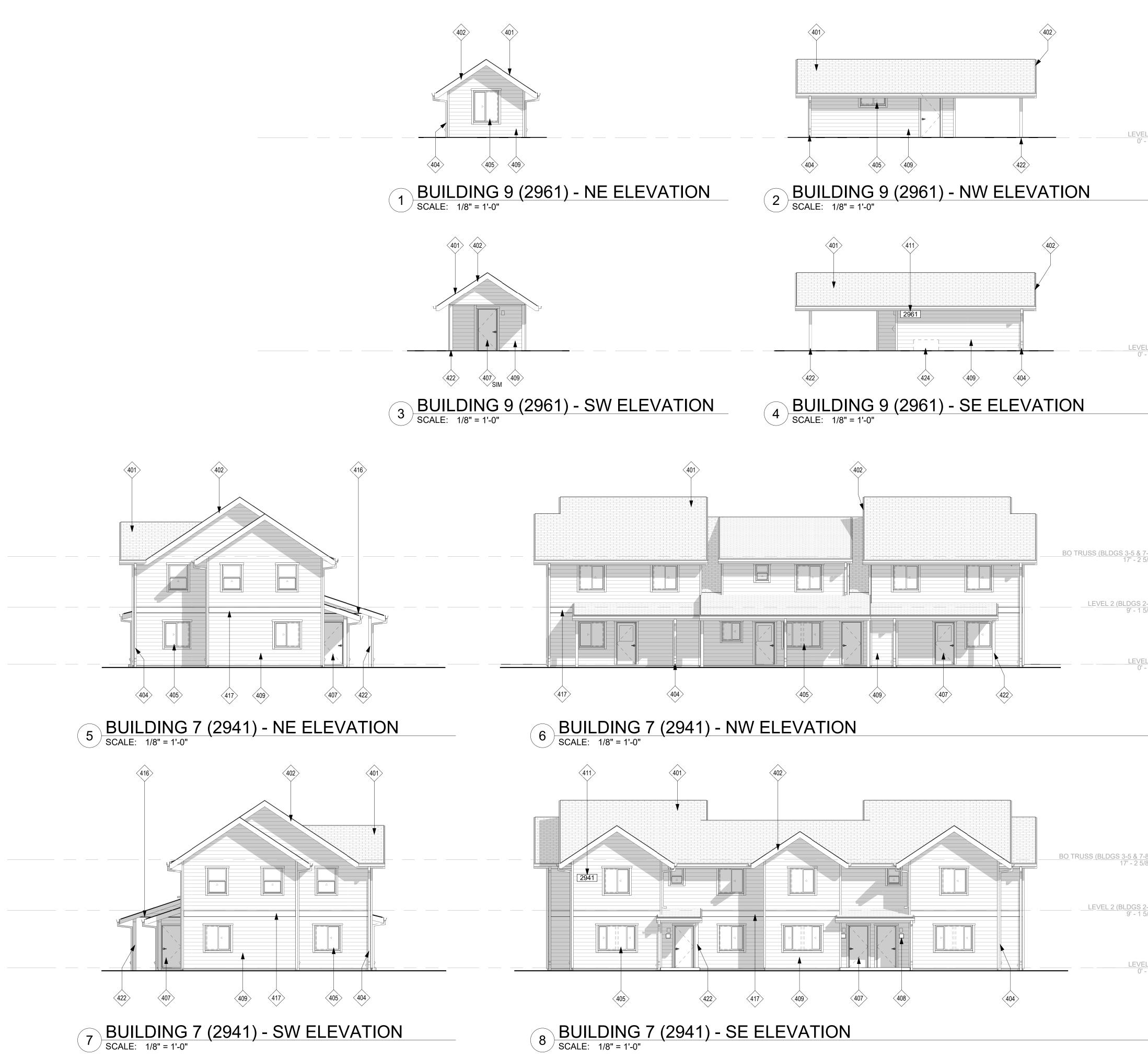
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	17 NEW FIBER CEMENT BELLY BAND - PAINTED, TYPICAL		
4	19 ADD-ALT #11: NEW CANE DETECTION (24" H, LENGTH PER PLANS)		
4	20 EXISTING STAIRS TO REMAIN - TREAD REPLACEMENT AS REQUIRED PER ALLOWANCE, TYPICAL		
4	21 ADD-ALT #12: NEW GUARDRAIL (42" H) & HANDRAIL (34" H)	BLDG 6 - EXTE	ERIOR
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F.	REFER TO SHEET G3.01 FOR ASSEMBLY INFORMATION & SHEET G1.01 FOR EXISTING BUILDING FIRE LIFE SAFETY INFORMATION.		
G.	PAINT SURFACES, INCLUDING BUT NOT LIMITED TO:		
• • • • • •	ALL SIDING (LAP, BOARD & BATTEN & PANEL) ALL WINDOW TRIM, DOOR TRIM & CORNER TRIM ALL EXTERIOR DOORS & FRAMES (INT SIDE SHOULD BE DIFFERENT COLOR THAN EXT SIDE) ROOF FASCIA UNDERSIDE OF SOFFITS UNDERSIDE OF EAVES AND RAKES UNDERSIDE OF DECK SUPPORT STRUCTURE EXISTING STRUCTURE (BEAMS, COLUMNS, ETC.) ALL NEW METAL VENT COVERS (PROTECT OPERABLE PARTS TO ENSURE PROPER FUNCTION) ALL ELECTRICAL AND GAS EQUIPMENT AND ASSOCIATED MOUNTING PANELS (PROTECT LATCHES, LABELS, TAGS, VIEW PANELS, ETC.) MISCELLANEOUS METAL FLASHING ITEMS, INCLUDING BUT NOT LIMITED TO GUTTER, DOWNSPOUTS, THRU WALL FLASHING, BASE OF WALL FLASHING, ROOF FLASHING	0.4D 317	I REVIEW &
KE		A A	
401	NEW ASPHALT SHINGLE ROOFING SYSTEM & ROOF		
100	SHEATHING, TYPICAL NEW SUB-FASCIA & FASCIA, PAINTED - TYPICAL	С П П П С П С	ESI(
	NEW DOWNSPOUT, CONNECT TO EXISTING AS	ORLE ORLE	
	APPLICABLE, TYPICAL	LONIA SADDL EM, OF	
	NEW VINYL WINDOWS, TYPICAL	AL 20	
407	NEW FIBERGLASS DOOR & COMPOSITE FRAME - TYPICAL AT UNIT ENTRY, UNIT PATIO & UNIT STORAGE	S 20, C	LAN
408	NEW UNIT SIGNAGE, TYPICAL		
409	NEW CLADDING AND TRIM - PAINTED, TYPICAL		
	NEW BUILDING SIGNAGE, TYPICAL		
	FIBER CEMENT SOFFIT PANEL - PAINTED		
417			
422	REPLACEMENT AS REQUIRED PER ALLOWANCE, TYPICAL		
424	EXISTING GAS METER AND EQUIPMENT TO REMAIN		
		BLDG 7 & 9 - EX ELEVATIO	
		PROJECT N	Ο.
		24007	
	GEND:	03.31.25)
		REVISIONS: /#	
	ASPHALT ROOFING SYSTEM		
	ASPHALT ROOFING SYSTEM LAP SIDING (7" EXPOSURE) - PAINTED, TYPICAL BOARD & BATTEN SIDING - PAINTED, TYPICAL PANEL SIDING - PAINTED		
KF			
	EY PLAN:		
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