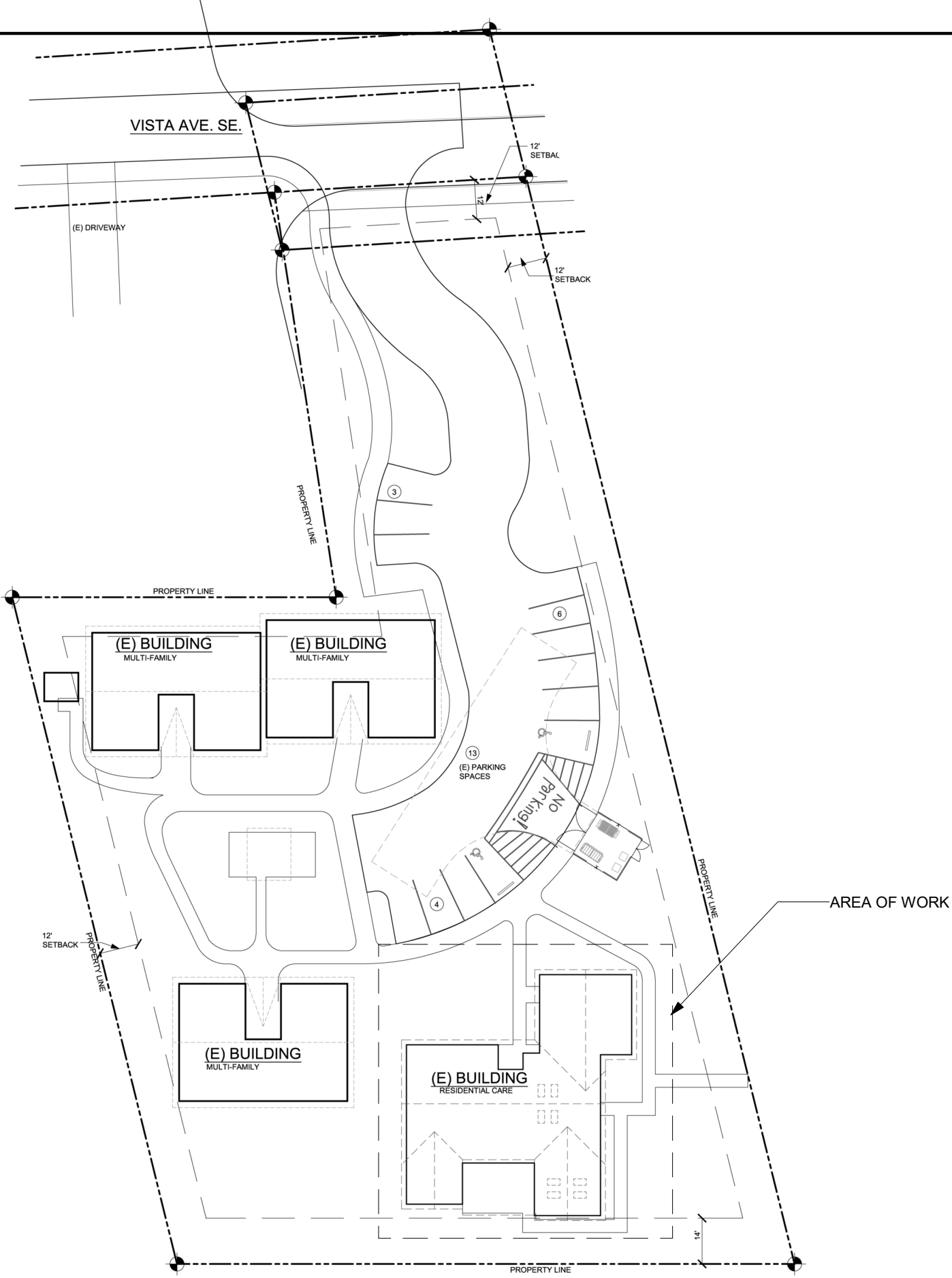



# BUILDING REMODEL FOR SHANGRI-LA HUMAN SERVICES

1460 VISTA AVE NE

SALEM, OR 97301

PROJECT DATA	BUILDING CODE SUMMARY	ZONING CODE SUMMARY	DRAWING INDEX																																																																																																																																													
<p><b>OWNER:</b></p> <p>SHANGRI-LA 4080 REED RD SE 150 SALEM, OR 97302</p> <p><b>ARCHITECT:</b></p> <p>LENITY ARCHITECTURE 3150 KETTLE CT. SE. SALEM, OR 97301 PHONE: (503) 399-1090 FAX: (503) 399-0585 PROJECT ARCHITECT: LEE GWYN</p> <p><b>CONTRACTOR:</b></p> <p>TBD PHONE: FAX:</p>	<p><b>SCOPE OF WORK:</b></p> <p>A BUILDING REMODEL TO AN EXISTING BUILDING. SCOPE OF WORK CONSISTS OF DEMOLITION OF EXISTING SECOND FLOOR, ADDING NEW ROOF FRAMING TO TIE INTO EXISTING ROOF, INTERIOR REMODEL TO NON STRUCTURAL PARTITIONS, RESTROOMS AND FINISHES.</p> <p><b>APPLICABLE CODES:</b></p> <table><tbody><tr><td>BUILDING CODE</td><td>2022 OREGON STRUCTURAL SPECIALTY CODE (OSSC)</td></tr><tr><td>MECHANICAL CODE</td><td>2022 OREGON MECHANICAL SPECIALTY CODE (OMSC)</td></tr><tr><td>ELECTRICAL CODE</td><td>2023 OREGON ELECTRICAL SPECIALTY CODE (OESC)</td></tr><tr><td>PLUMBING CODE</td><td>2023 OREGON PLUMBING SPECIALTY CODE (OPSC)</td></tr><tr><td>ENERGY CODE</td><td>2021 OREGON ZERO ENERGY READY COMMERCIAL CODE (ZERCC)</td></tr><tr><td>ACCESSIBILITY CODE</td><td>2022 OREGON ENERGY EFFICIENCY SPECIALTY CODE (OEESC)</td></tr><tr><td>FIRE CODE</td><td>2022 OREGON STRUCTURAL SPECIALTY CODE &amp; ICC/ANSI A117.1-2017 2022 OREGON FIRE CODE</td></tr></tbody></table> <p><b>BUILDING CODE SUMMARY:</b></p> <table><tbody><tr><td>1. 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1460 VISTA AVE  
ARLID'S HOUSE  
REMODEL

COVER SHEET

DATE  
3.28.25

REVISED DATE

SHEET

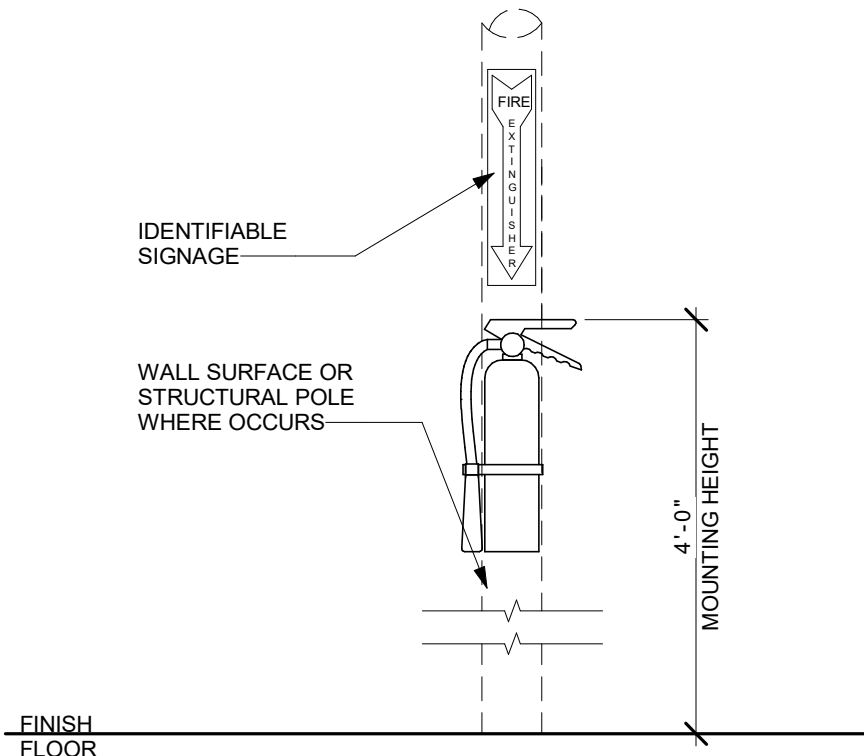
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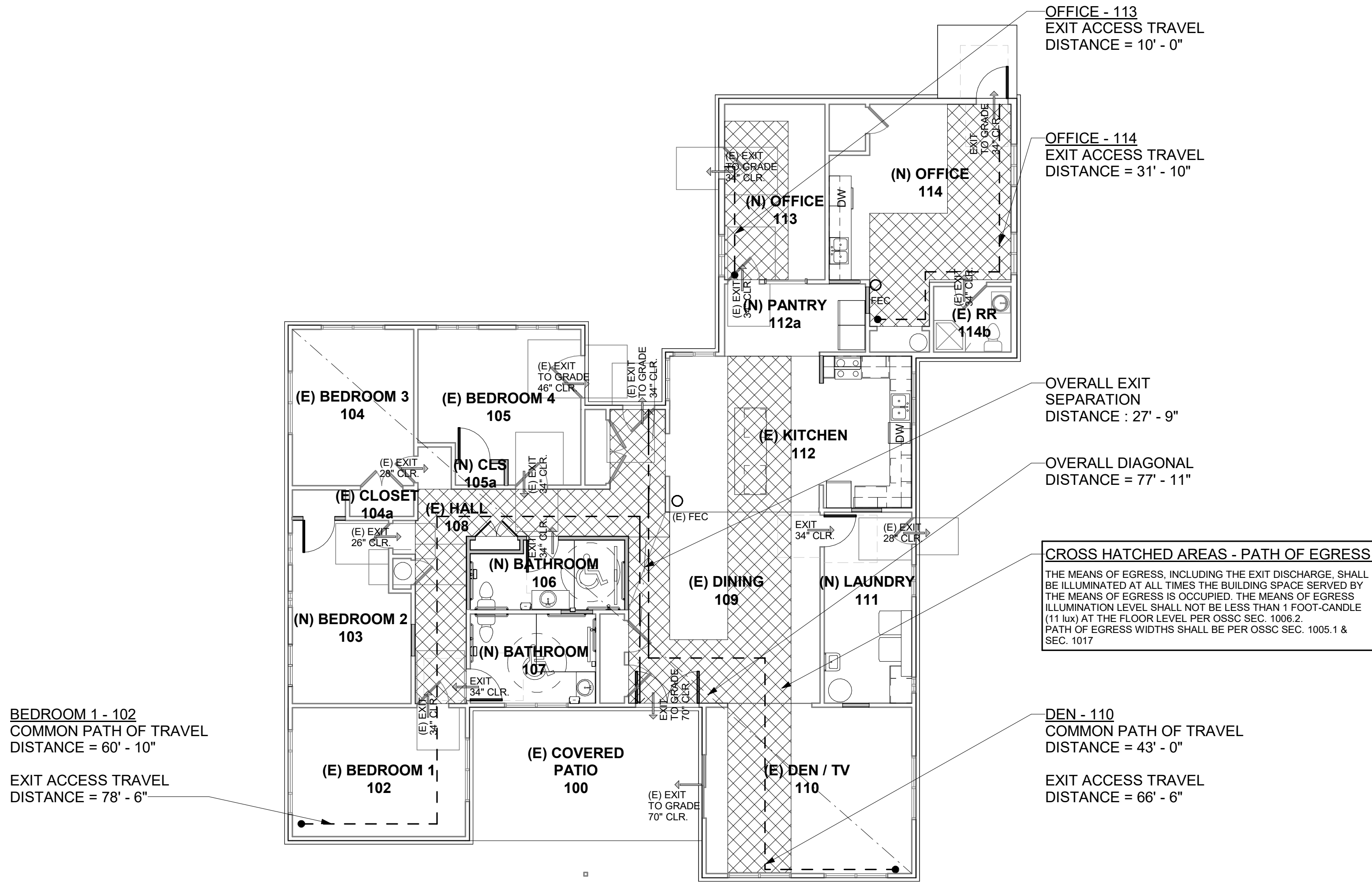
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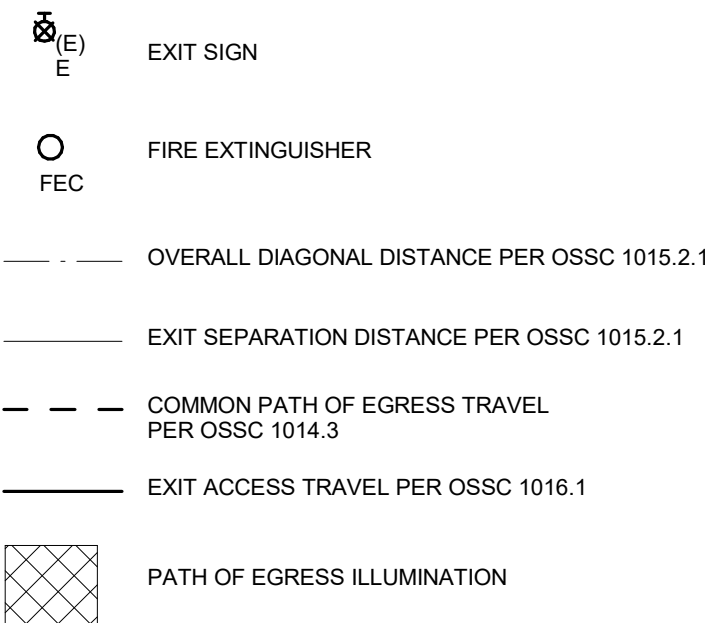
2 FIRE EXTINGUISHER  
SCALE: 3/4" = 1'-0"



1 FIRE LIFE SAFETY PLAN  
SCALE: 1/8" = 1'-0"



EXITING LEGEND



EXITING  
FLOOR PLAN GENERAL NOTES:

- NOTE:  
EXIT DOORS MUST BE OPEABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. MAIN ENTRY DOOR MAY BE EQUIPPED W/ KEY-LOCKING DEVICES W/ THE INCLUSION OF A SIGN ON OR ADJACENT TO THE DOOR STATING: "THIS DOOR TO REMAIN UNLOCKED WHEN THE BUILDING IS OCCUPIED."
- FIRE EXTINGUISHERS:  
MAX. TRAVEL DISTANCE TO FIRE EXTINGUISHER NOT TO EXCEED 75' PER NFPA 10. COORDINATE LOCATIONS OF ALL FIRE EXTINGUISHERS WITH FIRE MARSHALL PRIOR TO ROUGH-IN. FIRE EXTINGUISHERS SHALL BE MOUNTED GREATER THAN 15" MIN. & LESS THAN 48" MAX. A.F.F. FOR EXTINGUISHERS NOT EXCEEDING 40 POUNDS PER OFC AND SHALL BE ACCESSIBLE AND READILY IDENTIFIABLE FROM THEIR SURROUNDINGS, PER OFC. SEC. 906
- EMERGENCY LIGHTING:  
SEE BIDDER/ DESIGNED ELECTRICAL LIGHTING PLAN FOR MEANS OF EGRESS LIGHTING AND EXIT SIGN LOCATIONS. MEANS OF EGRESS LIGHTING SHALL MEET ALL APPLICABLE PORTIONS OF OSSC. SECTION 1006 AND EXIT SIGNS SHALL MEET OSSC SECTION 1011.
- TRAVEL DISTANCES:  
MAXIMUM TRAVEL DISTANCE: (COMMON PATH OF TRAVEL PER OSSC SEC. 1014.3)  
MAX. ALLOWED: OCC. TYPE 'B': 75'-0"  
PROPOSED: (E) OFFICE 106: 18'-4"  
COUNSELOR 109: 30'-6"  
MAXIMUM TRAVEL DISTANCE: (EXIT ACCESS TRAVEL PER OSSC SEC. 1016.1)  
MAX. ALLOWED: OCC. TYPE 'B': 200'-0"  
PROPOSED: (E) OFFICE 106: 109'-11"  
COUNSELOR 109: 84'-6"
- BUILDING EXIT SEPARATION DISTANCE:  
MINIMUM DISTANCE: PER OSSC. SEC. 1015.2.1(2)  
OVERALL DIAGONAL DIST.: 82'-4"  
EXIT SEPARATION MIN ALLOWED: 82'-4"/2 41'-2"  
PROPOSED: 51'-2"
- REQUIRED EXITS:  
MIN REQUIRED: 2  
PROPOSED: 4

OCCUPANT LOAD / EXITING SCHEDULE

OCCUPANCY					EXITS (SEC. 1007)		
OCCUPANCY BY GROUP (SEC.302.1)	FUNCTION OF SPACE (TABLE 1004.5)	ROOM IDENT.	FLOOR AREA PER OCC.	AREA (SQ. FT.) (G)-GROSS (N)- NET	OCCUPANT LOAD	REQUIRED	PROVIDED
GROUP R4 OCCUP.	LIVING AREA		200	2,720 G	14	1	2
GROUP R4 OCCUP.	BUSINESS AREA	114 (N) OFFICE 114	200	375 G	2	1	1
TOTAL OCCUPANT LOAD:					16		



1460 VISTA AVE  
ARLID'S HOUSE  
REMODEL

FIRE LIFE/ SAFETY  
PLAN

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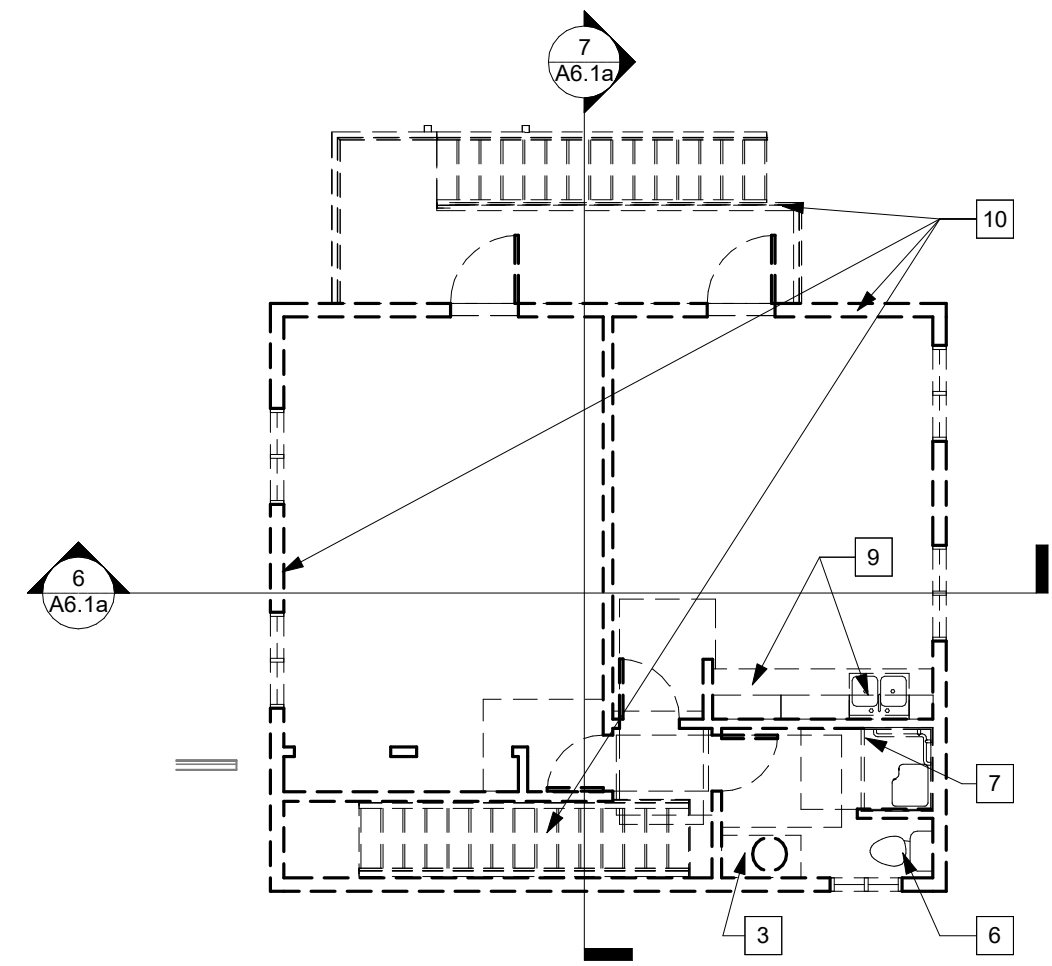
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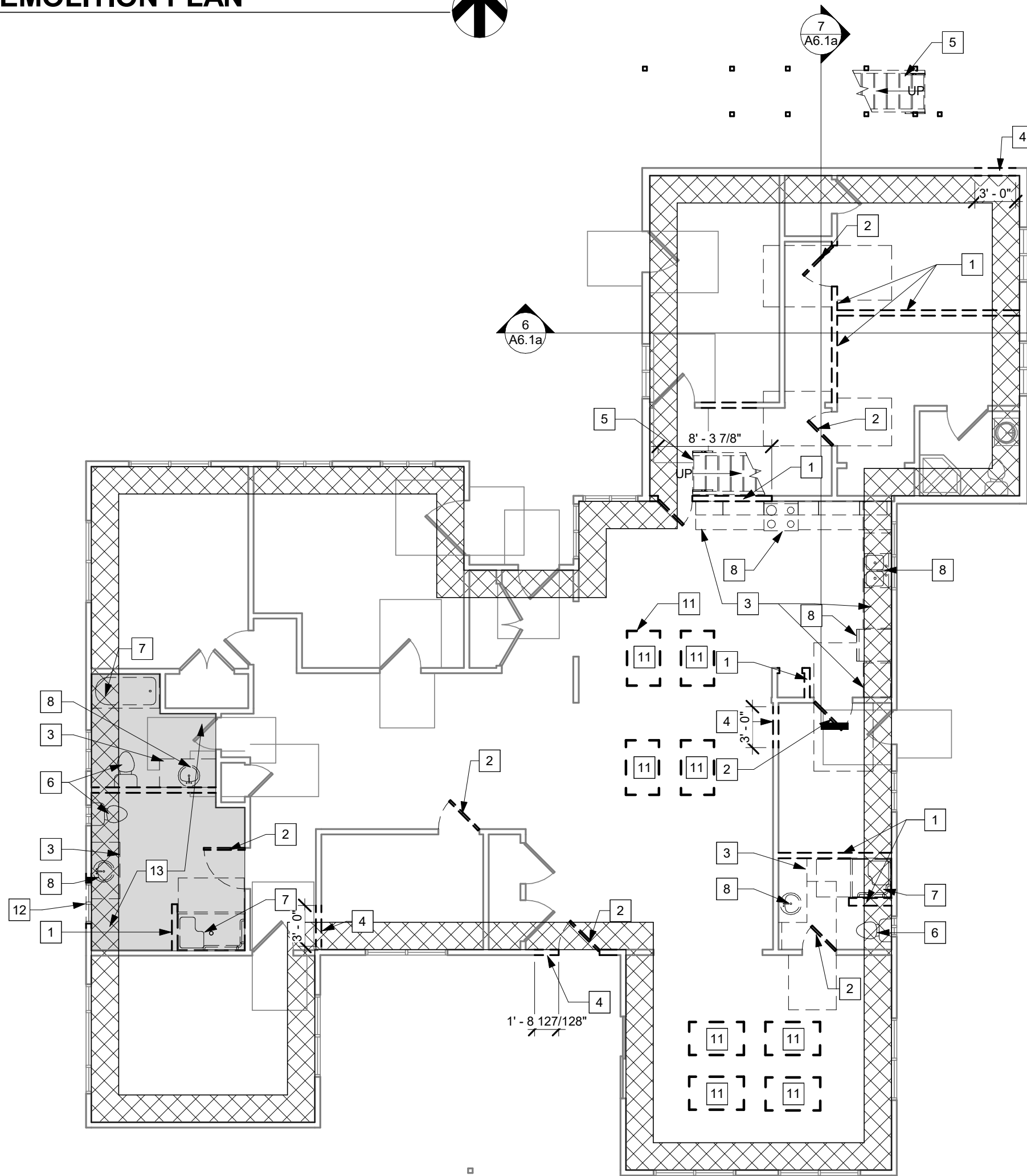
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2ND FLOOR DEMOLITION PLAN



1ST FLOOR DEMOLITION PLAN

DEMOLITION  
PLAN GENERAL NOTES:

- A. ALL EXPOSED SURFACES IN AREAS DISTURBED BY DEMOLITION SHALL BE ADEQUATELY PREPARED TO RECEIVE NEW MATERIALS AND FINISHES
- B. UNLESS DETAILED OR SCHEDULED OTHERWISE, ALL INTERIOR AREAS AFFECTED BY DEMOLITION WORK SHALL BE PATCHED / AND OR REPAIRED TO MATCH EXISTING ADJACENT SURFACES AND FINISHES.
- C. ALL CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL, CITY AND FEDERAL CODES, STANDARDS AND ORDINANCES.
- D. ALL WINDOWS/ DOORS AND SALVAGEABLE EQUIPMENT AND MATERIALS TO BE STORED / DISPOSED AT OWNERS REQUEST.
- E. ALL ELIGIBLE DEMOLISHED MATERIALS ARE TO BE RECYCLED. COORDINATE WITH OWNER
- F. REMOVE ALL ABANDONED THERMOSTATS AND CONTROLLERS FOR THE HVAC SYSTEM. PATCH WALLS AS REQUIRED. SEE BIDDER DESIGNED MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- G. REMOVE ALL ABANDONED ELECTRICAL OUTLETS, SWITCHES, AND RELATED COMPONENTS IN AREAS OF DEMOLITION. SEE BIDDER DESIGNED ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- H. CAP ALL ABANDONED PLUMBING PIPING BELOW FINISH FLOOR AND PATCH AS REQUIRED.
- I. PROVIDE DUST TIGHT TEMPORARY CONSTRUCTION BARRIERS AS COORDINATED W/ OWNER AND TENANTS
- J. DEMOLITION AND CONSTRUCTION SHALL NOT DISTURB EXISTING BUSINESS OPERATIONS. COORDINATE WITH OWNER / TENANT.
- K. DIMENSIONS SHALL BE FROM FACE OF STUD FRAMING, UNLESS OTHERWISE NOTED / INDICATED.

CONTRACTOR DEMOLITION  
FLOOR PLAN GENERAL NOTES:

- A. THE CONTRACTOR SHALL VISIT AND BECOME FAMILIAR WITH THE JOB SITE AND WITH EXISTING CONDITIONS WHICH MAY IMPACT THE WORK.
- B. THE CONTRACTORS SHALL OBTAIN ALL NECESSARY PERMITS AND SHALL PAY ALL REQUIRED FEES FOR THE WORK.
- C. ALL WORK SHALL COMPLY WITH APPLICABLE LOCAL, STATE AND NATIONAL CODES AND ORDINANCES.
- D. CONTRACTOR SHALL COMPLY WITH APPLICABLE CODES CONCERNING DEMOLITION OPERATIONS AND REFUSE REMOVAL AND DISPOSAL. CONTRACTOR TO PAY ALL DUMPING FEES.
- E. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AT THE SITE AND SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY UNCERTAINTIES OR DISCREPANCIES.
- F. DO NOT CLOSE OR OBSTRUCT PEDESTRIAN OR VEHICULAR ACCESS EXCEPT WHERE AUTHORIZED OR INDICATED ON THE DRAWINGS, WHERE APPLICABLE SEE SITE PLAN FOR ADDITIONAL INFORMATION.
- G. THE CONTRACTOR SHALL PROVIDE TEMPORARY BARRICADING NECESSARY TO ENSURE THE HEALTH AND SAFETY OF ALL WHO ENTER AREAS ADJACENT TO THE DEMOLITION AREA DURING CONSTRUCTION.
- H. THE CONTRACTOR SHALL, AT ALL TIMES, KEEP THE PREMISES FREE FROM ACCUMULATION OF WASTE MATERIALS OR RUBBISH CAUSED BY THE WORK. AT THE COMPLETION OF THE WORK, CONTRACTOR SHALL REMOVE ALL WASTE MATERIALS, AND RUBBISH FROM AND ABOUT THE PROJECT AS WELL AS ALL TOOLS, CONSTRUCTION EQUIPMENT AND MACHINERY.
- I. PROVIDE PROTECTION AND CONDUCT DEMOLITION OPERATIONS TO PREVENT INJURY OR DAMAGE TO PERSONS OR PROPERTY.
- J. PROTECT SPACE ADJACENT TO DEMOLITION WORK. PROTECT EXISTING WALL, FLOOR AND CEILING FINISHES TO REMAIN.
- K. (NOT USED)
- L. ALL ITEMS TAKEN OUT DURING DEMOLITION NOT TO BE SALVAGED FOR OWNER OR REUSED IN THE WORK SHALL BE REMOVED FROM THE PROPERTY.
- M. ALL SURPLUS EQUIPMENT AND MATERIALS ARE THE PROPERTY OF THE OWNER. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER THE DISPOSAL OF ANY AND ALL SURPLUSES.
- N. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH APPLICABLE OR O.S.H.A. STANDARDS BOTH FOR ALL EMPLOYEES AND THE GENERAL PUBLIC.
- O. PRIOR TO BEGINNING ANY DEMOLITION, A SURVEY OF THE PROPOSED DEMOLITION SHALL BE MADE BY THE CONTRACTOR TO DETERMINE THE CONNECTIONS, AND AS BUILT CONDITIONS OF THE AREA TO BE DISMANTLED. THE CONTRACTOR SHALL NOTIFY LENITY ARCHITECTURE PRIOR TO PROCEEDING WITH DEMOLITION OF ANY CONDITION WHICH MIGHT CAUSE THE COLLAPSE OF ANY PORTION OF THE BUILDING OR POSE A DANGER TO PUBLIC SAFETY.
- P. REMOVE EXISTING ELECTRICAL AND MECHANICAL IN DEMOLISHED WALLS, NOTE THE FOLLOWING ITEMS.
- Q. NOT USED
- R. REMOVE ALL ABANDONED ELECTRICAL LINES BACK TO PANEL
- S. DETERMINE IF ANY TYPE OF HAZARDOUS CHEMICALS, FLAMMABLE MATERIALS OR SIMILAR DANGEROUS SUBSTANCE, INCLUDING ASBESTOS, HAVE BEEN USED IN ANY PIPES, WHEN THE PRESENCE OF SUCH SUBSTANCE IS APPARENT OR SUSPECT, TESTING AND PURGING SHALL BE PERFORMED AND THE HAZARD ABATED, REMOVED, OR ELIMINATED BY APPROVED HAZ. MAT. CONTRACTORS BEFORE DEMOLITION STARTS OR CONTINUES.
- T. CONTRACTOR SHALL MAINTAIN MINIMAL LIGHTING IN DEMO SPACES TO PREVENT INJURY OR HARM.
- U. EXISTING WALLS TO REMAIN SHALL BE REPAIRED AND REFINISHED AS REQUIRED TO PROVIDE A UNIFORM SURFACE, MATCHING ADJACENT NEW SURFACES FOR THE APPLICATION OF NEWLY INDICATED FINISHES.
- V. THE PUBLIC SHALL BE PROTECTED FROM DEMOLITION MATERIAL, DUST, FUMES, ETC. BY BARRIERS AND/OR PLASTIC SHEETS AS REQUIRED. DEMOLITION WORK SHALL CEASE IF THE PUBLIC IS ENDANGERED IN ANY WAY.
- W. IF DEMOLITION WORK RESULTS IN CONDITIONS THAT BREACH THE BUILDING ENVELOPE PRIOR TO THE END OF EACH WORKDAY, THE CONTRACTOR SHALL PROVIDE TEMPORARY CLOSER OF THE BUILDING ENVELOPE TO RETAIN HEAT AND PREVENT DAMAGE TO THE INTERIOR OF THE BUILDING FROM THE ELEMENTS.
- REMOVE ALL ELECTRICAL EQUIPMENT WITHIN THE SPECIFIED AREAS. ALL DEMO WORK IS NOT DETAILED ON THESE DRAWINGS. REMOVAL AND RELOCATION OF SOME EXISTING ELECTRICAL WORK SHALL BE NEEDED FOR SATISFACTORY PERFORMANCE OF THIS AND OTHER TRADES. PROPOSALS SHALL INCLUDE CONSIDERATIONS FOR ANY AND ALL REQUIRED CHANGES. THE INTENT OF THIS DRAWING IS TO RELATE THE GENERAL EXTENT OF DEMO REQUIRED AND NOT TO INDICATE ALL DEVICES, REMOVALS, RECONNECTIONS, OR ADDITIONAL WORK REQUIRED.
- WHERE AN EXISTING FIXTURE OR DEVICE IS REMOVED BUT THE CIRCUIT(S) AND BOX ARE TO REMAIN TO MAINTAIN CIRCUIT CONTINUITY, THEN THE CONTRACTOR IS TO PROVIDE AN APPROPRIATE BLANK COVER PLATE ON THE BOX TO MATCH THE COVER PLATES ON ADJACENT DEVICES IN THE AREA.

DEMO PLAN LEGEND:	
---	DEMOLISHED ITEM PER KEYNOTES
---	EXISTING TO REMAIN
XXXX	REMOVE FLOORING AND RELATED WALL BASE IN THEIR ENTIRETY. PREPARE FLOOR AS REQUIRED FOR RECEIVING NEWLY INDICATED FLOOR MATERIALS SELECTED BY OWNER.

NOTE:  
REMOVE & REPLACE ALL DAMAGED  
CORNER GUARDS THROUGHOUT PROJECT

NOTE:  
COORDINATE WITH OWNER THE  
POTENTIAL FOR A PERIMETER  
FOUNDATION DRAIN SYSTEM TO BE  
INSTALLED AROUND ENTIRE PROJECT

DEMO FLOOR PLAN KEYNOTES:

- 1 = REMOVE WALL AND ALL RELATED COMPONENTS IN ITS ENTIRETY. PATCH AND PREPARE EXPOSED SURFACES TO RECEIVE NEW FINISHES.
- 2 = REMOVE DOOR/FRAME/ TRIMS/ THRESHOLD AND ALL RELATED COMPONENTS IN THEIR ENTIRETY. VERIFY WITH OWNER SALVAGE DOOR FOR REINSTALL. TAKE CARE NOT TO DAMAGE THE SALVAGEABLE ITEMS WHEN DISMANTLING.
- 3 = REMOVE EXISTING CASEWORK / COUNTER AND ALL RELATED COMPONENTS IN THEIR ENTIRETY.
- 4 = REMOVE PORTIONS OF WALL AS REQUIRED FOR INSTALLATION OF NEW DOOR/OPENING PER PLAN. PROVIDE JAMB/HEAD FRAMING AS NEEDED.
- 5 = REMOVE EXISTING STAIRS / COLUMNS AND ALL RELATED COMPONENTS IN THEIR ENTIRETY.
- 6 = REMOVE EXISTING TOILET, CAP RELATED PLUMBING. VERIFY WITH OWNER SALVAGE OF FIXTURE.
- 7 = REMOVE EXISTING SHOWER, CAP RELATED PLUMBING. VERIFY WITH OWNER SALVAGE OF FIXTURE.
- 8 = REMOVE EXISTING APPLIANCE. CAP RELATED UTILITY AS REQUIRED. VERIFY WITH OWNER SALVAGE OF APPLIANCE.
- 9 = SALVAGE EXISTING SINK, COUNTER, CASEWORK AND ALL ASSOCIATED ITEMS FOR REINSTALL DOWNSTAIRS.
- 10 = DEMOLISH ENTIRE SECOND STORY. CONFIRM WITH OWNER ITEMS TO BE SALVAGED. PROTECT THE REST OF THE EXISTING STRUCTURE DURING DEMOLITION.
- 11 = DEMO CEILING STRUCTURE AS REQUIRED FOR INSTALLATION OF NEW SKYLIGHTS PER PLAN.
- 12 = REMOVE EXISTING WINDOW. DEMO EXISTING WALL AS NEEDED FOR NEW LARGER WINDOW OPENING.
- 13 = REMOVE AND REPLACE WATER DAMAGED SUBFLOOR / STRUCTURE THIS AREA AS REQUIRED.



1460 VISTA AVE  
ARLID'S HOUSE  
REMODEL

DEMOLITION FLOOR  
PLANS

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## WALL HEIGHTS

X		WALL UP TO STRUCTURE

## WALL TYPE GENERAL NOTES

- PROVIDE MOISTURE/ MOLD RESISTANT GYP. BD. ON ALL WALLS EXPOSED TO MOISTURE & BEHIND ALL PLUMB. FIXTURES.
- VERIFY w/ TENANT WHICH WALLS ARE TO HAVE SOUND BATT INSULATION U.O.N.
- TYPE 'X' GYP. BOARD IS NOT FOR "FIRE RATING PROTECTION" U.O.N.
- EXTEND SOUND BATT INSULATION IN WALLS TO TOP OF STUD WALLS U.N.O.
- NOT USED
- SSMA 350 S 125 - 43  
MAT'L THICKNESS  
FLANGE WIDTH  
STYLE  
MEMBER DEPTH  
STEEL STUD MFR. ASSOCIATION
- ALL INTERIOR FINISH TYPES AND LOCATIONS TO BE VERIFIED WITH BUILDING OWNER PRIOR TO ORDERING.
- PROVIDE WOOD BLOCKING IN WALLS AS REQ'D. FOR INSTALLATION OF ANY WOOD CHAIR RAILS, BASE, PANELING, CROWN MOLDING, SHELVING AND ANY RUNNING TRIMS REQ'D. BY TENANT.
- ALL NEW NON-FULL HEIGHT INTERIOR PARTITION WALLS SHALL BE BRACED TO THE FLOOR/CEILING STRUCTURE PER BRACE DETAIL.
- INSULATION:  
ALL INSULATION MATERIALS, INCLUDING FACINGS, SUCH AS VAPOR BARRIERS OR BREATHER PAPERS INSTALLED WITHIN FLOOR-CEILING ASSEMBLIES, WALLS, CRAWL SPACES OR ATTICS, SHALL HAVE A FLAME-SPREAD RATING NOT TO EXCEED 25 AND A SMOKE DENSITY NOT TO EXCEED 450 WHEN TESTED IN ACCORDANCE WITH IBC, CHAPTER 8.  
WHERE APPLICABLE WHEN SUCH MATERIALS ARE INSTALLED IN CONCEALED SPACES OF TYPE V CONSTRUCTION AND ARE PROVIDED SO THAT THE FACING IS INSTALLED IN SUBSTANTIAL CONTACT WITH THE UNEXPOSED SURFACE OF THE CEILING, FLOOR OR WALL FINISH, THE FLAME-SPREAD AND SMOKE-DEVELOPED LIMITATIONS DO NOT APPLY TO FACINGS.
- ALL "O.C." STUD SPACING FOR WALLS THAT ARE TO RECEIVE CERAMIC TILE TO BE A MAX 16" O.C.
- AT FULL HEIGHT FRAMED WALLS, EXTEND GWB, 6" ABOVE FINISH CEILING HEIGHT UNLESS OTHERWISE NOTED
- WHERE CERAMIC TILE OCCURS ON WALLS, REPLACE 5/8" GYP. WALL BOARD W/ 5/8" CEMENTITIOUS BACKER BOARD. TILE WALL APPLICATION TO BE PER THE FOLLOWING:
  - CERAMIC TILE
  - DRYSET OR LATEX PORTLAND CEMENT BOND COAT
  - MEMBRANE (IN WET AREAS)IT WILL BE THE RESPONSIBILITY OF THE TILE SUB-CONTRACTOR / INSTALLER TO INSTALL ALL THE WALL TILES AS REQUIRED FOR PROPER INSTALLATION TO STUD WALL ASSEMBLIES

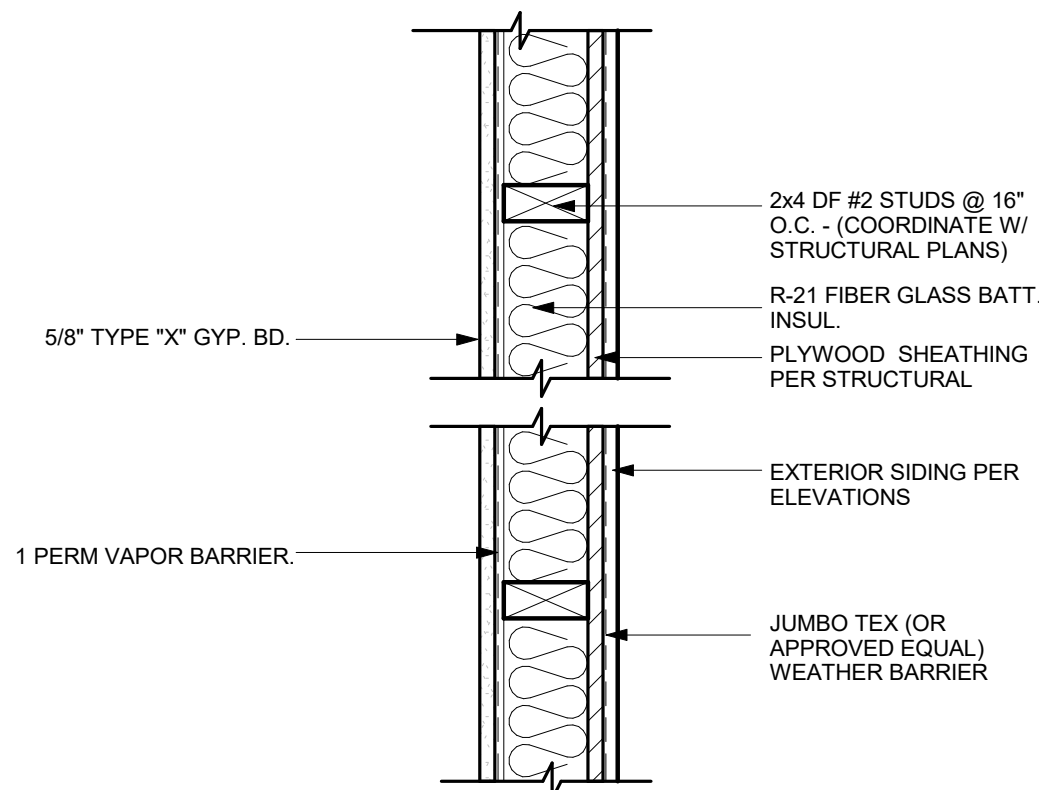
NOTE:  
ALL ASSEMBLIES THIS SHEET MUST BE INSTALLED PER ASSEMBLY NUMBER LISTED ON DRAWING. ANY SUBSTITUTIONS TO ASSEMBLIES MUST BE SUBMITTED TO ARCHITECT FOR REVIEW AND APPROVAL. SUBJECT TO LOCAL APPROVAL.

NOTE:  
WEATHER RESISTIVE BARRIER TO BE PLACED OVER ALL NEW EXTERIOR SHEETING VERTICAL AND HORIZONTAL SURFACES INCLUDING ALL JAMB, SILL AND HEAD OPENINGS PROVIDING A WEATHER / MOISTURE TIGHT BARRIER.

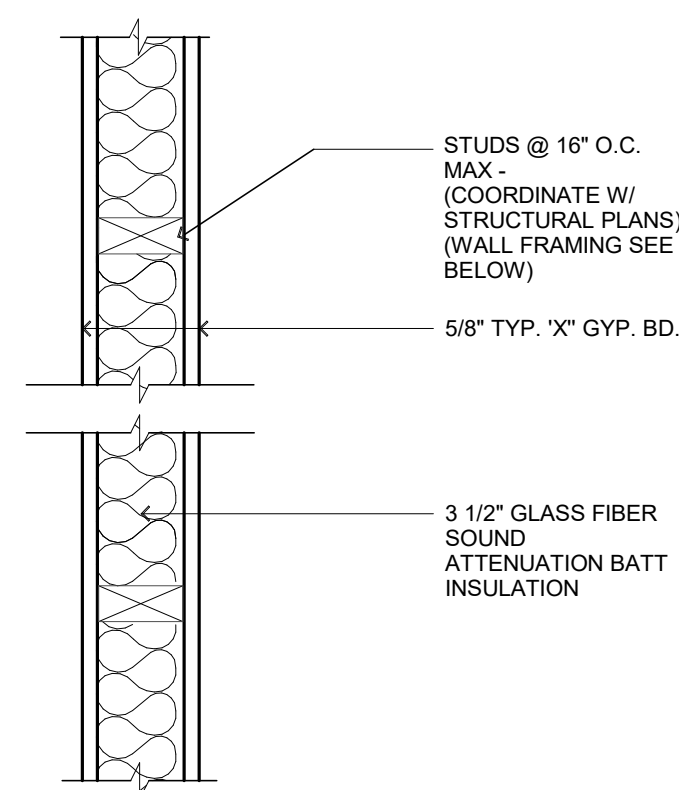
NOTE:  
ALL SHEET METAL COPINGS AND FLASHINGS TO BE FABRICATED AS RECOMMENDED BY THE ARCHITECTURAL SHEET METAL MANUAL 7TH EDITION. SUBMIT SHOP DRAWING FOR ALL SHEET METAL COPING AND FLASHINGS TO ARCHITECT FOR REVIEW AND APPROVAL.

SHEET METAL FLASHING NOTE:  
THE SHEET METAL ASSEMBLIES PROVIDED SHALL BE WARRANTED AS A COMPLETE WEATHER BARRIER SYSTEM INCLUDING MOISTURE PENETRATION. SHEET METAL REPRESENTATIONS ON THESE DOCUMENTS ARE FOR LOCATION AND AESTHETIC EFFECT ONLY AND ARE NOT INTENDED AS APPLICATION DETAILS. FABRICATOR AND INSTALL ARE RESPONSIBLE FOR JOINT, CAULKING, FLASHING, CONNECTIONS TO DISSIMILAR MATERIALS, COMPATIBILITY WITH DISSIMILAR MATERIALS AND ALL OTHER APPLICATION AND CONNECTION DETAILS NEEDED FOR PRODUCT PERFORMANCE AS A COMPLETE WEATHER BARRIER WITH NO SUBSTRATE DAMAGE SYSTEM. ALL SHEET METAL COPINGS / FLASHING / TRIMS ARE TO BE FABRICATED AS RECOMMENDED BY THE ARCHITECTURAL SHEET METAL MANUAL 7TH EDITION IT WILL BE THE RESPONSIBILITY OF THE FABRICATOR / INSTALLER TO SUBMIT SHOP DRAWING FOR ALL SHEET METAL WORK TO ARCHITECT FOR REVIEW / APPROVAL PRIOR TO FABRICATION.

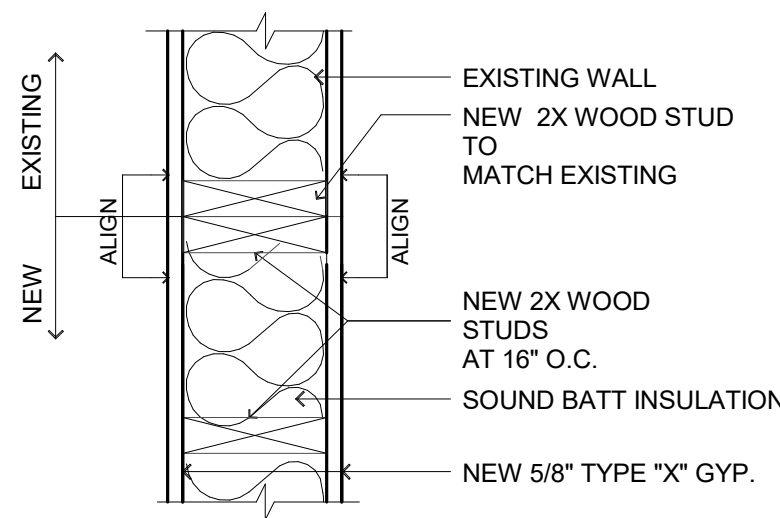
CEMENT BRD. SIDING NOTE:  
CEMENT BRD. SIDING SYSTEM INCLUDING DETAILING IS TO BE PER PRODUCT MANUFACTURER'S SPECIFICATIONS. CEMENT BRD. SIDING SYSTEM PROVIDED SHALL BE WARRANTED AS A COMPLETE WEATHER BARRIER SYSTEM INCLUDING MOISTURE PENETRATION. CEMENT BRD. SIDING SYSTEM REPRESENTATIONS ON THESE DOCUMENTS ARE FOR LOCATION AND AESTHETIC EFFECT ONLY AND ARE NOT INTENDED AS APPLICATION DETAILS. MANUFACTURER AND INSTALLER ARE RESPONSIBLE FOR JOINT, CAULKING, FLASHING, CONNECTIONS TO DISSIMILAR MATERIALS, COMPATIBILITY WITH DISSIMILAR MATERIALS AND ALL OTHER APPLICATION AND CONNECTION DETAILS NEEDED FOR PRODUCT PERFORMANCE AS A COMPLETE WEATHER BARRIER WITH NO SUBSTRATE DAMAGE SYSTEM.



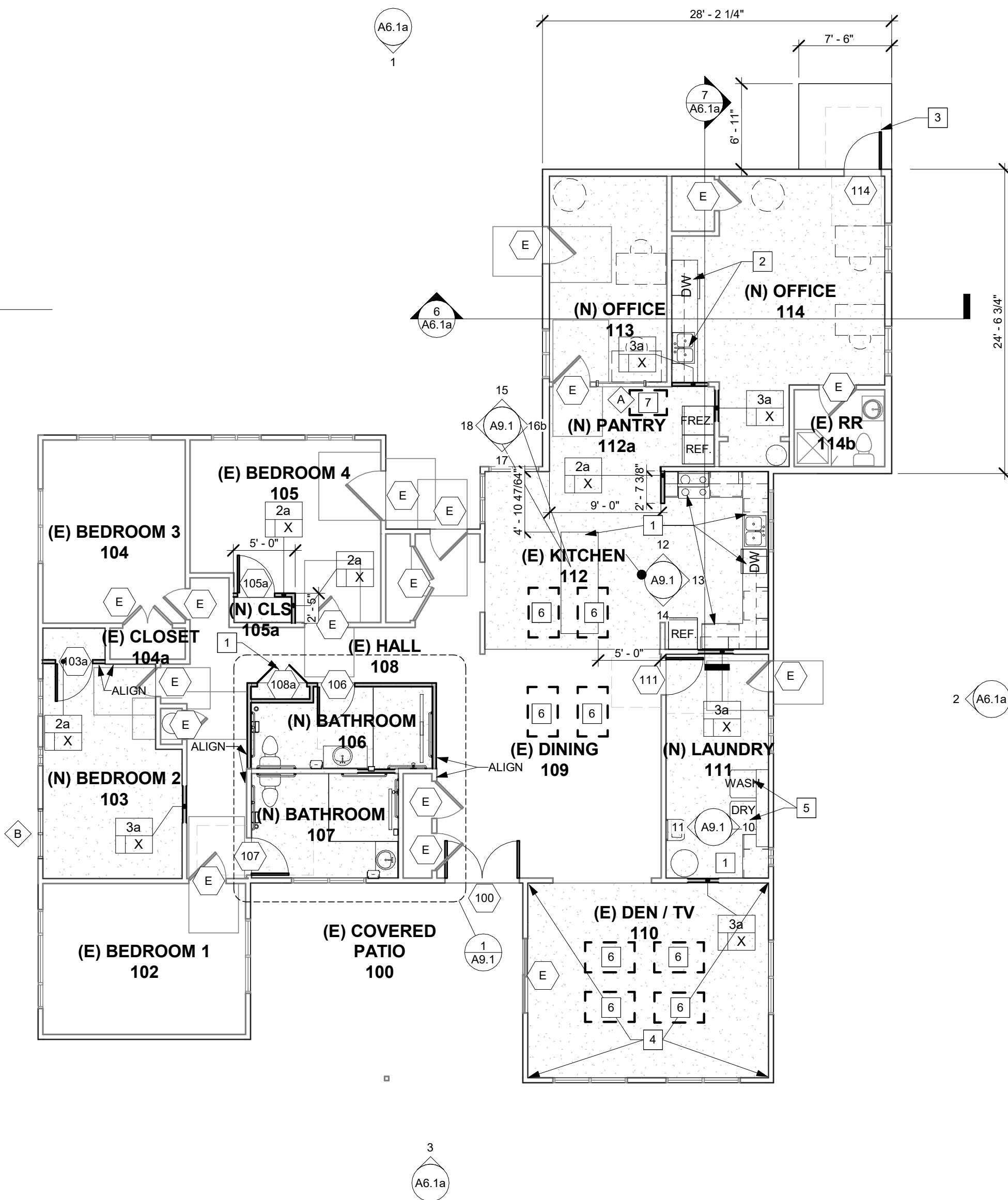
**1a** 2X4 #2 D.F. WOOD STUDS @ 16" O.C.  
EXT. WALL ASSEMBLY



**2a** 2x4 DF #2- NON BR'G  
DRYWALL JOINTS STAGGERED 16" ON EA. SIDE AND ON OPPOSITE SIDE



**3a** INFILL AT EXISTING WALL



**1** NEW FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"

## NEW FLOOR PLAN GENERAL NOTES:

- ALL ELECTRICAL AND DATA OUTLETS TO BE MOUNTED 15" A.F.F. UNLESS OTHERWISE NOTED. (U.N.O.) REFER TO ELECTRICAL DRAWINGS FOR LOCATIONS
- ALL JAMB FRAMING AT HINGE SIDE OF DOOR TO BE 4 1/2" FROM FACE OF STUD (U.N.O.)
- ALL DIMENSIONS TO FACE OF STUD, (U.N.O.)
- SEE SHEET G2 SERIES SHEETS FOR FIRE EXTINGUISHER LOCATIONS. VERIFY APPROVED LOCATION WITH FIRE MARSHAL PRIOR TO ORDERING.
- NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR QUESTIONABLE DIMENSIONS FOR CLARIFICATION PRIOR TO PROCEEDING WITH AREA OF REQUIRED WORK.
- VERIFY LOCATION OF ALL WD, 2X BLOCKING REQ'D. FOR TENANT EQUIPMENT, ACCESSORIES, CASEWORK, WHITE BOARDS AND LOCKERS REFER TO CASEWORK DRAWINGS AND FF&E PLANS.

### FLOOR PLAN KEYNOTES:

- = NEW CASEWORK, SINK, APPLIANCE PER PLAN COORDINATE W/ MECHANICAL, ELECTRICAL AND PLUMBING AS NEEDED
- = CASEWORK, SINK AND APPLIANCE REINSTALLED FROM SALVAGED SECOND FLOOR CASEWORK. COORDINATE W/ MECHANICAL, ELECTRICAL AND PLUMBING AS NEEDED
- = NEW CONCRETE PATH TO TIE INTO EXISTING SIDEWALK
- = WD. PANELING TO BE REMOVED OR COVERED WITH GYP. BD. COVER WOOD PANEL CEILING WITH GYP BD.
- = RELOCATED WASHER & DRYER
- = NEW SKYLIGHT ABOVE
- = NEW ATTIC 24" x 36" ACCESS HATCH

NOTE:  
ADD CORNER GUARDS AS NEEDED  
COORDINATE WITH OWNER FOR LOCATION / TYPE

NOTE:  
ALL INTERIOR FINISHES SELECTION TO BE COORDINATED WITH OWNER

### FLOOR PLAN LEGEND:

- NEW CONSTRUCTION
- EXISTING CONSTRUCTION
- DESIGNATES WALL TYPES, SEE G3 SERIES FOR WALL ASSEMBLIES
- DOOR TAG, SEE A8.1 FOR DOOR SCHEDULE.
- WINDOW TAG, SEE xxx FOR WINDOW SCHEDULE. 1 = WINDOW GLAZING DESIGNATION (TEMPERED).
- FIRE EXTINGUISHER CABINET, SEE 1/A7.1
- ELEVATION MARKER  
DETAIL NUMBER (VARIES)  
SHEET NUMBER
- SECTION MARKER  
DETAIL NUMBER  
SHEET NUMBER
- DETAIL CALLOUT  
DETAIL NUMBER  
SHEET NUMBER
- PRIMARY AREA OF WORK



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FIRST FLOOR PLAN

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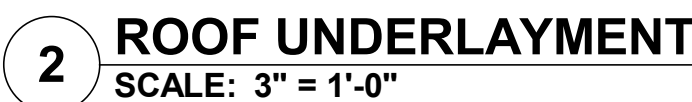
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**NOTE:**  
WEATHER RESISTIVE BARRIER TO BE PLACED OVER ALL NEW EXTERIOR SHEATHING VERTICAL AND HORIZONTAL SURFACES INCLUDING ALL JAMB, SILL AND HEAD OPENINGS PROVIDING A WEATHER / MOISTURE TIGHT BARRIER.

**NOTE:**  
USE APPROVED ROOF PENETRATION DETAILS PER ROOFING MANUFACTURER'S SPECIFICATIONS FOR ALL MECHANICAL AND PLUMBING PENETRATIONS.

PER SECTION 1209.3 MECH. APPLIANCES  
ACCESS TO MECHANICAL APPLIANCES INSTALLED IN UNDER-FLOOR AREAS, IN  
ATTIC SPACES AND ON ROOFS OR ELEVATED STRUCTURES SHALL BE IN  
ACCORDANCE WITH THE INTERNATIONAL MECHANICAL CODE

PER SECTION 718.2.3 CONNECTIONS BETWEEN HORIZ. AND VERT. SPACES  
FIRELOCKING SHALL BE PROVIDED AT INTERCONNECTIONS BETWEEN CONCEALED  
VERTICAL STUD WALL OR PARTITION SPACES AND CONCEALED HORIZONTAL  
SPACES CREATED BY AN ASSEMBLY OF FLOOR JOISTS OR TRUSSES, AND  
BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCURS AT  
SOFFITS, DROP CEILING, COVE CEILINGS AND SIMILAR LOCATIONS.

**718.4.1 DRAFT STOPPING MATERIALS**

MATERIALS UTILIZED FOR DRAFT STOPPING OF ATTIC SPACES SHALL COMPLY WITH SECTION 718.3.1.

**EXCEPTIONS:**  
THE NET FREE CROSS-VENTILATION AREA SHALL BE PERMITTED TO BE REDUCED TO 1/300 PROVIDED THAT BOTH OF THE FOLLOWING CONDITIONS ARE MET:

- A CLASS I OR II VAPOR RETARDER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING.
- NOT LESS THAN 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NOT MORE THAN 3 FT (914mm) BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE MEASURED VERTICALLY, WITH THE BALANCE OF VENTILATION PROVIDED BY EAVE OR CORNICE VENTS.

**NOTE:**  
ROOFING PRODUCTS MUST MEET ALL LOCAL "WIND" REQUIREMENTS AND AHJ REQUIREMENTS INSTALLATION MUST BE PER MANUFACTURES GUIDLINES. NO ROOFING "STAPLES" ARE ALLOWED "NAILS ONLY" UNLESS OTHERWISE "REQUIRED" BY MANUFACTURE OR AHJ. MUST SUBMIT REQUIREMENTS OF STAPLE INSTALLATION TO ARCHITECT BEFORE PROCEEDING WITH WORK.







## 6 EXTERIOR EAVE BLOCKING



1. (1) - 4" DIA. PLUMBING VENT PERMITTED
2. (1) - 2" DIA. PLUMBING VENT PERMITTED
3. BASKET WEAVE ALL VALLEYS
4. ALL CONTINUOUS GUTTERS TO MATCH EXISTING
5. PROVIDE WATERPROOFING UNDERLAYMENT - OWENS CORNING WEATHERLOCK MAT.  
WATER PROOFING UNDERLAYMENT SYSTEM OR APPROVED EQUAL - SUBMIT  
SUBSTITUTIONS TO ARCHITECT FOR REVIEW AND APPROVAL. PROGE  
WEATHERLOCK WATERPROOFING UNDERLAYMENT AT ALL VALLEYS, ROOF  
PENETRATIONS AND UP WALLS A MIN. OF 36" WHERE WALL MEETS ROOF OCCURS.
6. SEE EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION

- 1 = NEW ROOF W/ ARCH. COMP. SHINGLE ROOFING TO MATCH (E)
- 2 = NEW GUTTER AND DOWNSPOUT, STYLE TO MATCH (E)  
BUILDING. CONNECT NEW DOWNSPOUTS TO (E)  
STORM LINE.
- 3 = EXISTING ROOF - NO WORK PROPOSED
- 4 = NEW D.P.S. TO CONNECT TO EXISTING RAINDRAIN  
PIPING. CONTRACTOR TO VERIFY LOCATION
- 5 = NEW 2'-0" X 3'-10" SKYLIGHT
- 6 = PROVIDE 22"x32" CUT OUT IN PLYWOOD AT HIGH  
POINT FOR ACCESS TO EXISTING ROOFING BELOW
- 7 = RIDGE VENTING

	ROOF SLOPE INDICATED ON PLAN
	DOWN SPOUT
D.S.	
	ROOF VENT. COLOR TO MATCH ROOFING
	KEY NOTE

ATTIC AREA = 686 SQ. FT.  
 $686 / 300 = 3$  SQ. FT. OF VENTILATION REQ.  
 $3 * 144 = 432$  SQ. IN. OF VENTILATION REQ.  
 $432 / 2 = 216$   
 216 SQ. IN. REQ. HIGH  
 216 SQ. IN. REQ. LOW

HIGH VENTING PROVIDED:  
 RIDGE VENTS (60 SQ.IN.) \* 4 = 240 SQ. IN.  
 LOW VENTING PROVIDED:  
 $455 \text{ LF OF SOFFIT VENTING} * 6.28 = 2,857 \text{ SQ.IN.}$

1460 VISTA AVE  
ARLID'S HOUSE  
REMODEL

# ROOF PLAN

DATE 3.28.25

REVISÉ DATE

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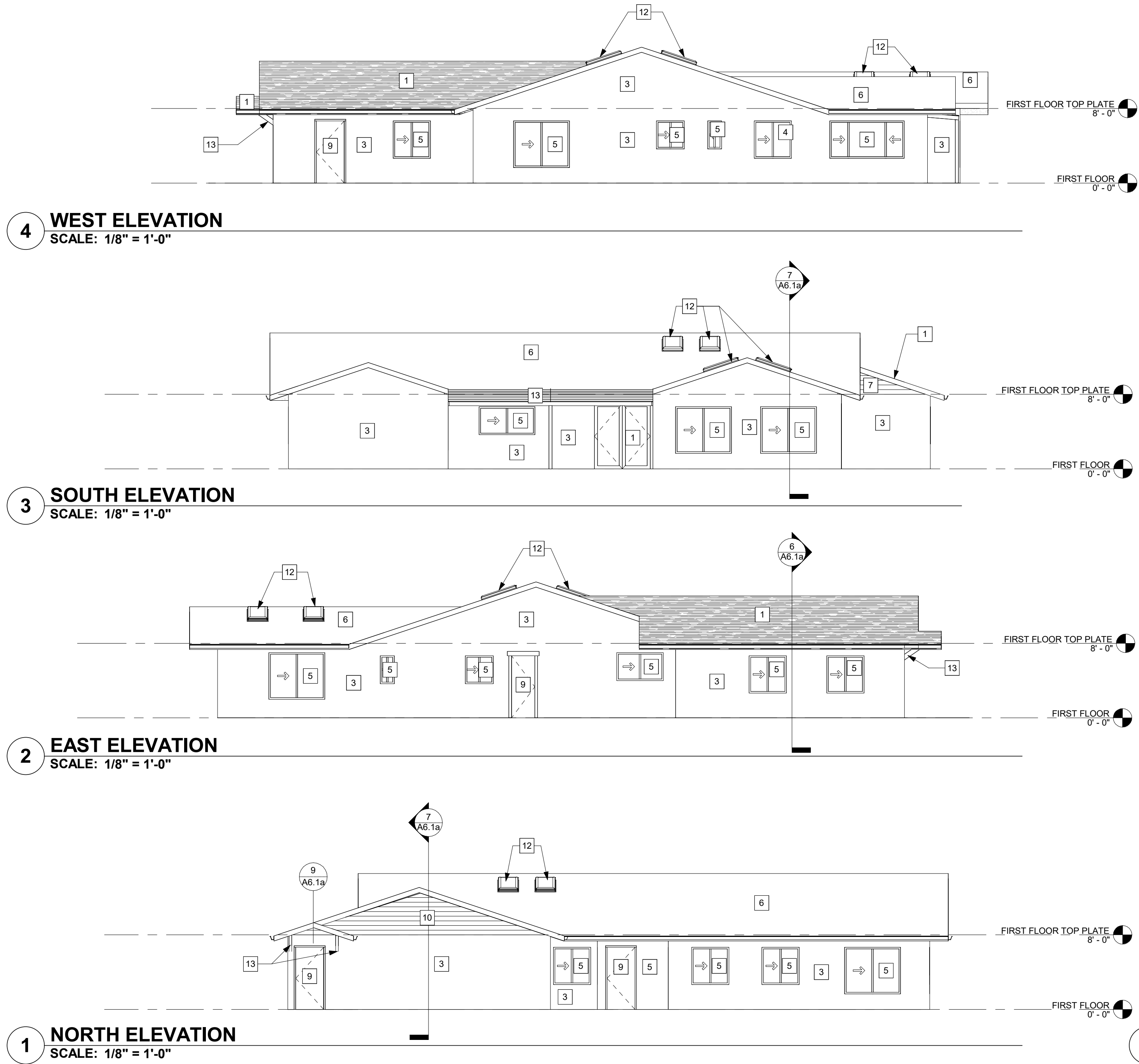
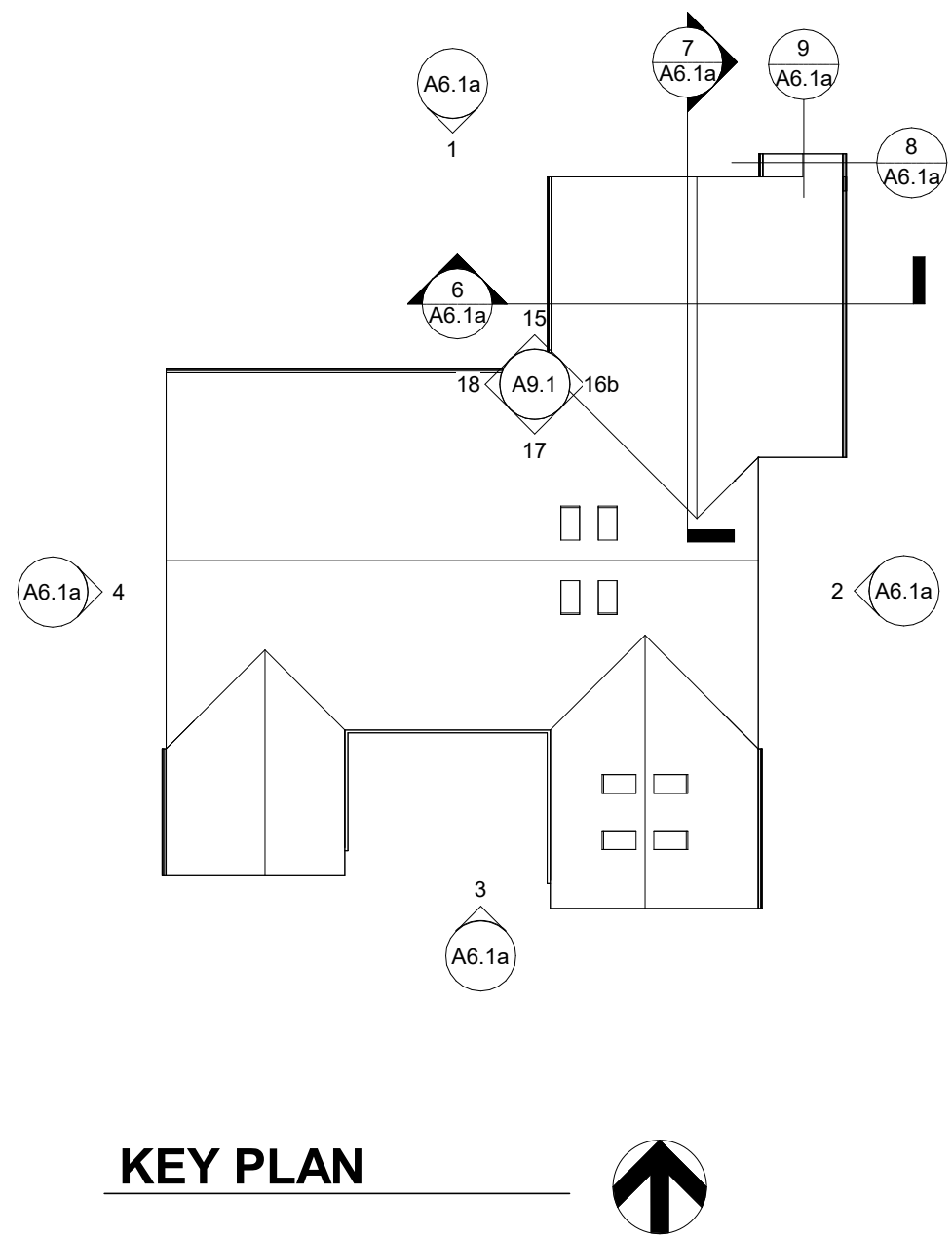
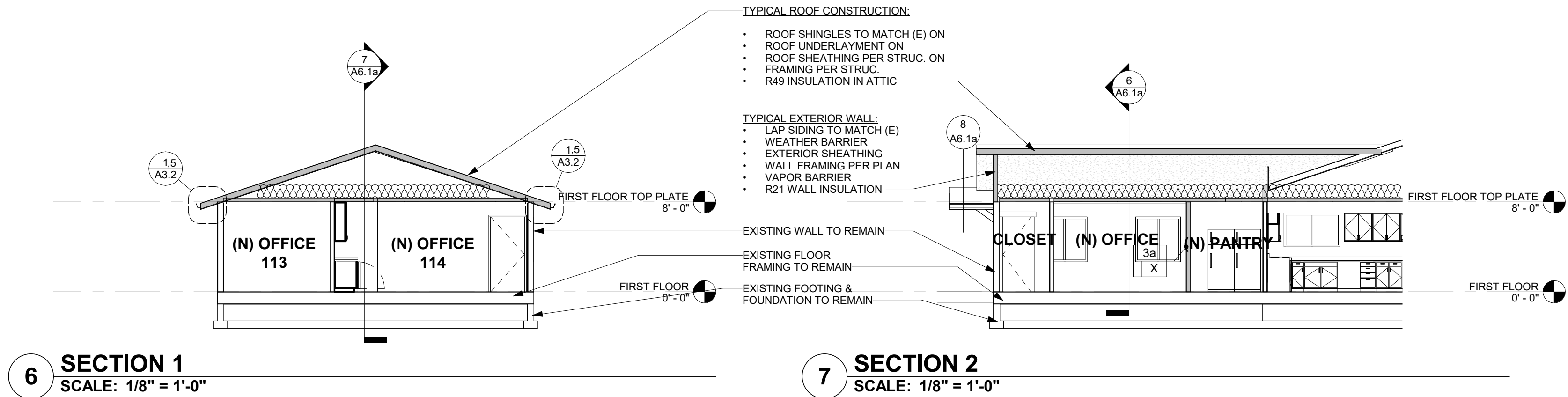
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**A5.2**

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- EXTERIOR ELEVATION GENERAL NOTES:**
1. SEE ROOF PLAN FOR ADDITIONAL INFORMATION
  2. ALL SIDING FINISHES TO BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS. SEE WALL TYPE GENERAL NOTES FOR ADDITIONAL INFORMATION
  3. PROVIDE CONTROL JOINTS AT ALL FLOOR LEVELS AND AS RECOMMENDED BY SIDING FINISH MANUFACTURER SPECIFICATIONS. ALL SIDING FINISH CONTRACTORS / INSTALLERS TO SUBMIT CONTROL JOINT / REVEAL LOCATION SHOP DRAWINGS INCLUDING DETAILS TO ARCHITECT FOR REVIEW / APPROVAL PRIOR TO ORDERING MATERIAL
  4. ALL EXTERIOR DOORS TO BE PAINTED TO MATCH ADJACENT EXTERIOR FINISH UNLESS NOTED OTHERWISE

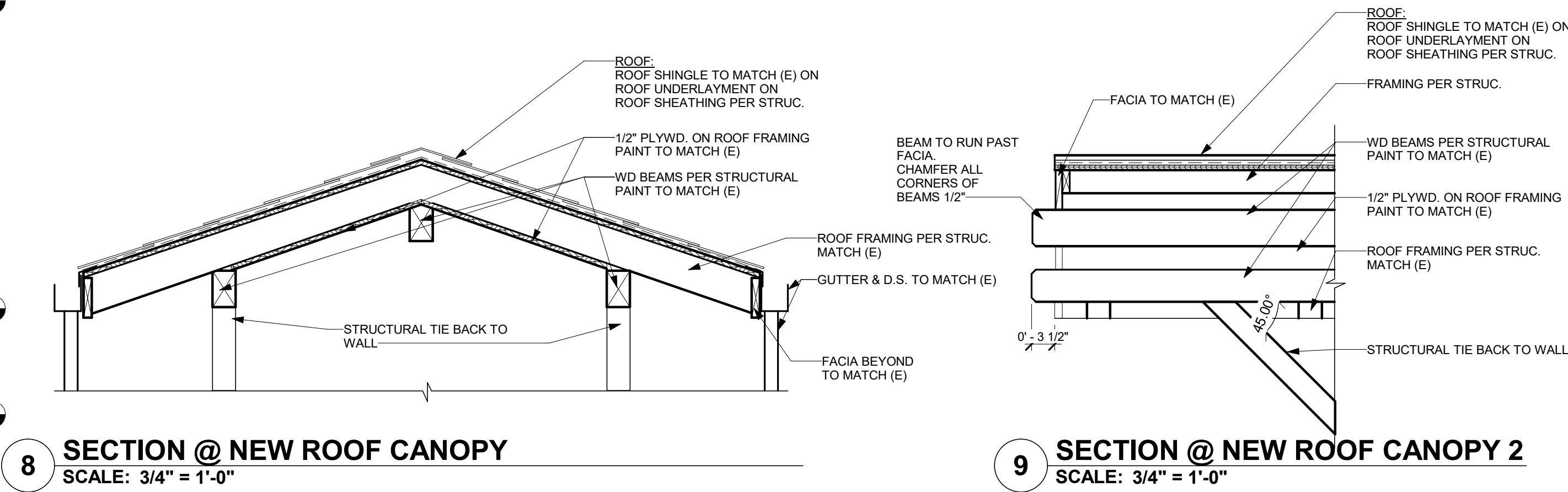
**CEMENT BOARD SIDING NOTE:**  
CEMENT BOARD SIDING SYSTEM INCLUDING DETAILING IS TO BE PER PRODUCT MANUFACTURER'S SPECIFICATIONS. CEMENT BOARD SIDING SYSTEM PROVIDED SHALL BE WARRANTED AS A COMPLETE WEATHER BARRIER SYSTEM INCLUDING MOISTURE PENETRATION. CEMENT BOARD SIDING SYSTEM REPRESENTATIONS ON THESE DOCUMENTS ARE FOR LOCATION AND AESTHETIC EFFECT ONLY AND ARE NOT INTENDED AS APPLICATION DETAILS. MANUFACTURER AND INSTALLER ARE RESPONSIBLE FOR JOINT, CAULKING, FLASHING, CONNECTIONS TO DISSIMILAR MATERIALS, COMPATIBILITY WITH DISSIMILAR MATERIALS AND ALL OTHER APPLICATION AND CONNECTION DETAILS NEEDED FOR PRODUCT PERFORMANCE AS A COMPLETE WEATHER BARRIER WITH NO SUBSTRATE DAMAGE SYSTEM

**NOTE:**  
ARCHITECTURAL COMPOSITION 25 YEAR TIMBERLINE ROOFING INCLUDING ALL RELATED EAVE, VALLEY, RAKE, SIDEWALL, FLASHINGS AND ACCESSORIES TO BE PER P.E.M.B. MFR.'S SPECIFICATIONS. MANUFACTURER APPROVED INSTALLER TO HAVE MIN. 5 YEAR INSTALLATION EXPERIENCE. MANUFACTURER / INSTALLER ARE RESPONSIBLE FOR JOINT / FLASHING AND CONNECTIONS TO DISSIMILAR MATERIALS, COMPATIBILITY W/ DISSIMILAR MATERIALS AND ALL OTHER APPLICATION AND CONNECTION DETAILS REQUIRED FOR PRODUCT PERFORMANCE AS A COMPLETE WEATHER TIGHT BARRIER WITH NOT SUBSTRATE DAMAGE. THE METAL ROOFING PANEL SYSTEM SHALL WARRANTED AS A COMPLETE WEATHER BARRIER INCLUDING A NON MOISTURE PENETRATING SYSTEM.

**NOTE:**  
WEATHER RESISTIVE BARRIER TO BE PLACED OVER ALL NEW EXTERIOR SHEATHING VERTICAL AND HORIZONTAL SURFACES INCLUDING ALL JAMB, SILL AND HEAD OPENINGS PROVIDING A WEATHER / MOISTURE TIGHT BARRIER.

**KEY NOTES / COLORS:**

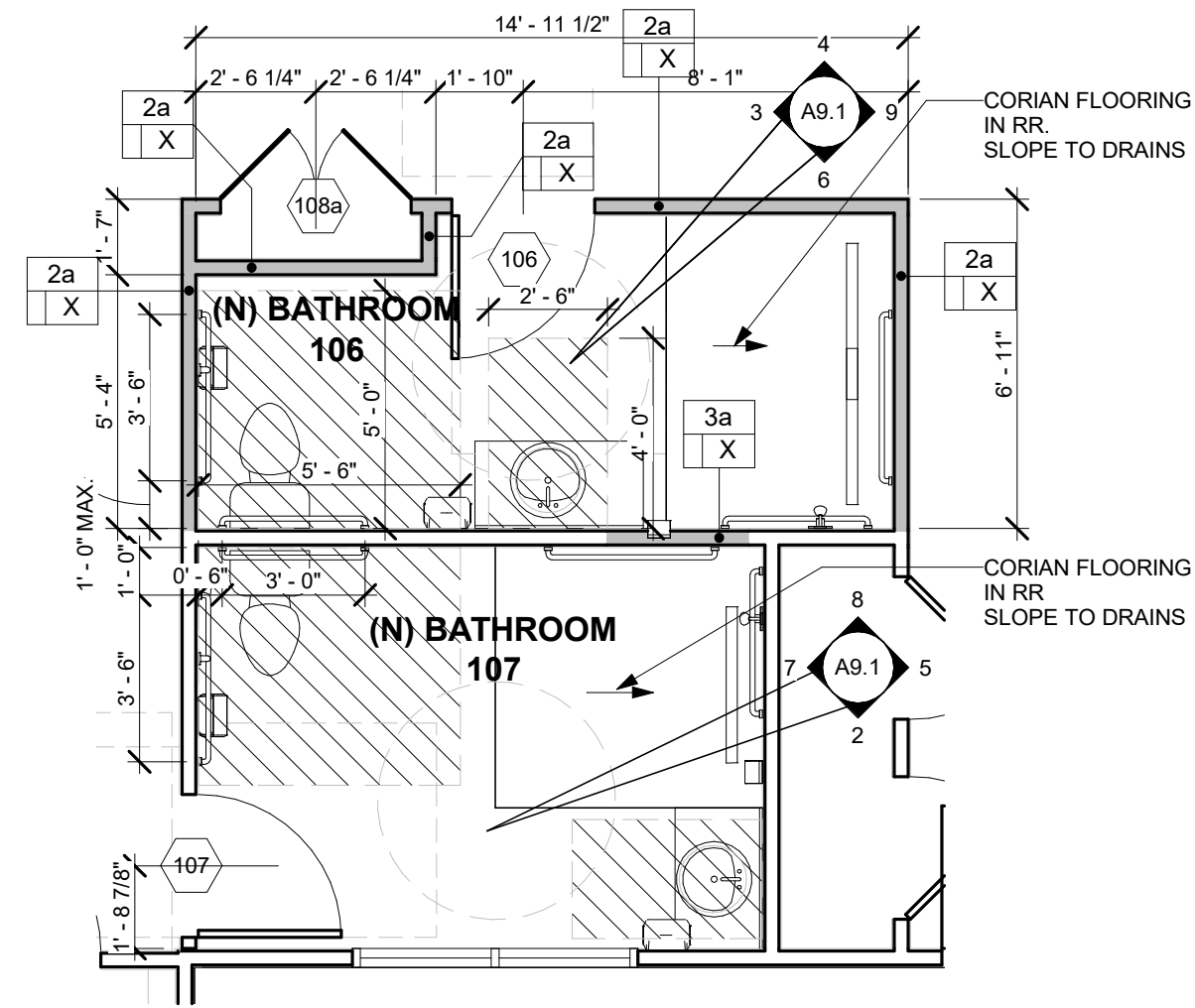
<b>1</b> = NEW ARCHITECTURAL COMP ROOFING COLOR: STYLE / COLOR TO MATCH EXISTING	<b>11</b> = EXISTING TRIM BOARD COLOR: EXISTING
<b>2</b> = NEW SHEET METAL GUTTER COLOR: STYLE / COLOR TO MATCH EXISTING	<b>12</b> = NEW SKYLIGHT PER PLAN COLOR: MATCH EXISTING
<b>3</b> = EXISTING LAP SIDING COLOR: EXISTING	<b>13</b> = STRUCTURAL BRACE PER STRUC. COLOR: MATCH EXISTING
<b>4</b> = NEW VINYL WINDOWS COLOR: EXISTING	<b>14</b> = EXISTING AWNING TO REMAIN COLOR: EXISTING
<b>5</b> = EXISTING VINYL WINDOWS COLOR: EXISTING	
<b>6</b> = EXISTING ARCHITECTURAL COMP ROOFING COLOR: EXISTING	
<b>7</b> = NEW CEMENT BOARD TRIM COLOR: STYLE / COLOR TO MATCH EXISTING	
<b>8</b> = NEW DOOR	
<b>9</b> = EXISTING DOOR	
<b>10</b> = NEW FIBER CEMENT BOARD LAP SIDING MFR: MATCH EXISTING COLOR: STYLE / COLOR TO MATCH EXISTING INSTALL PATTERN: MATCH EXISTING REVEAL: MATCH EXISTING FINISH TEXTURE: MATCH EXISTING	



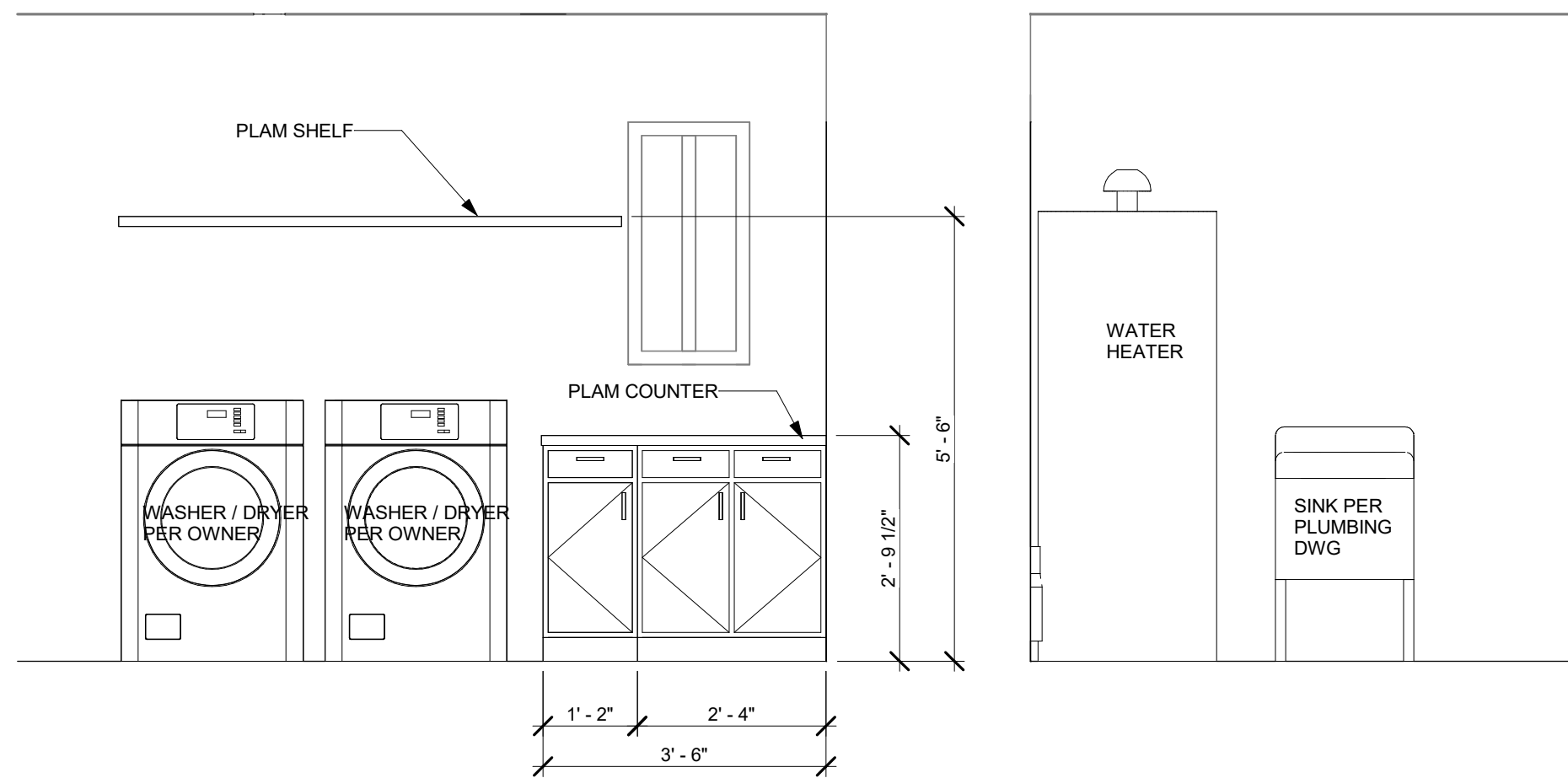
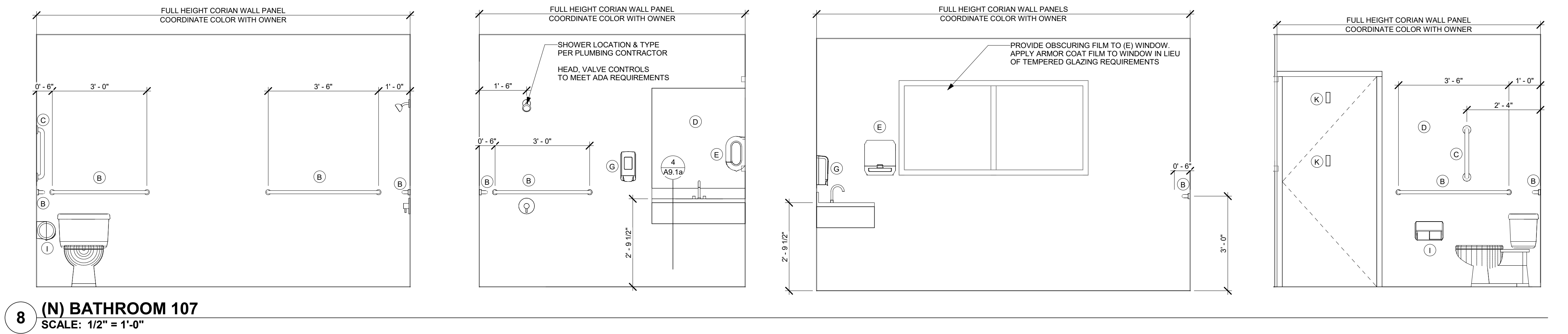
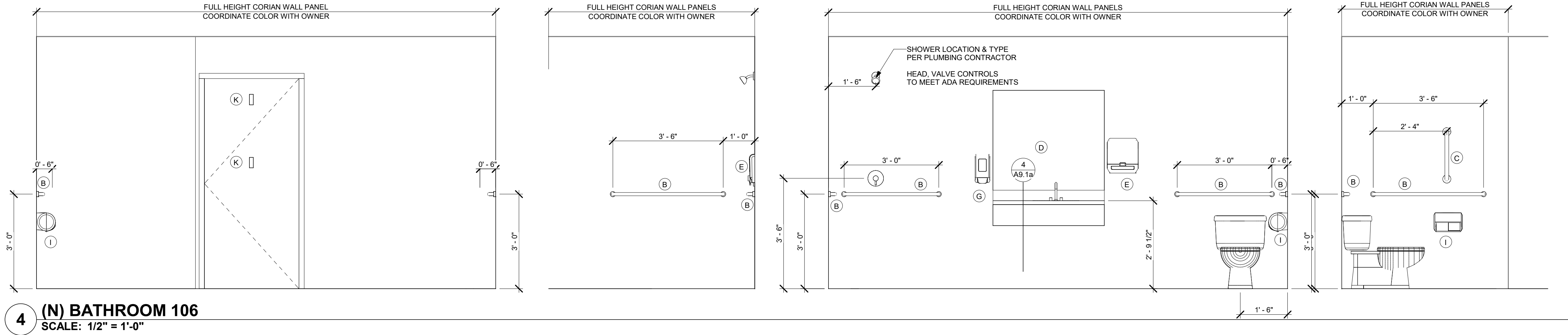




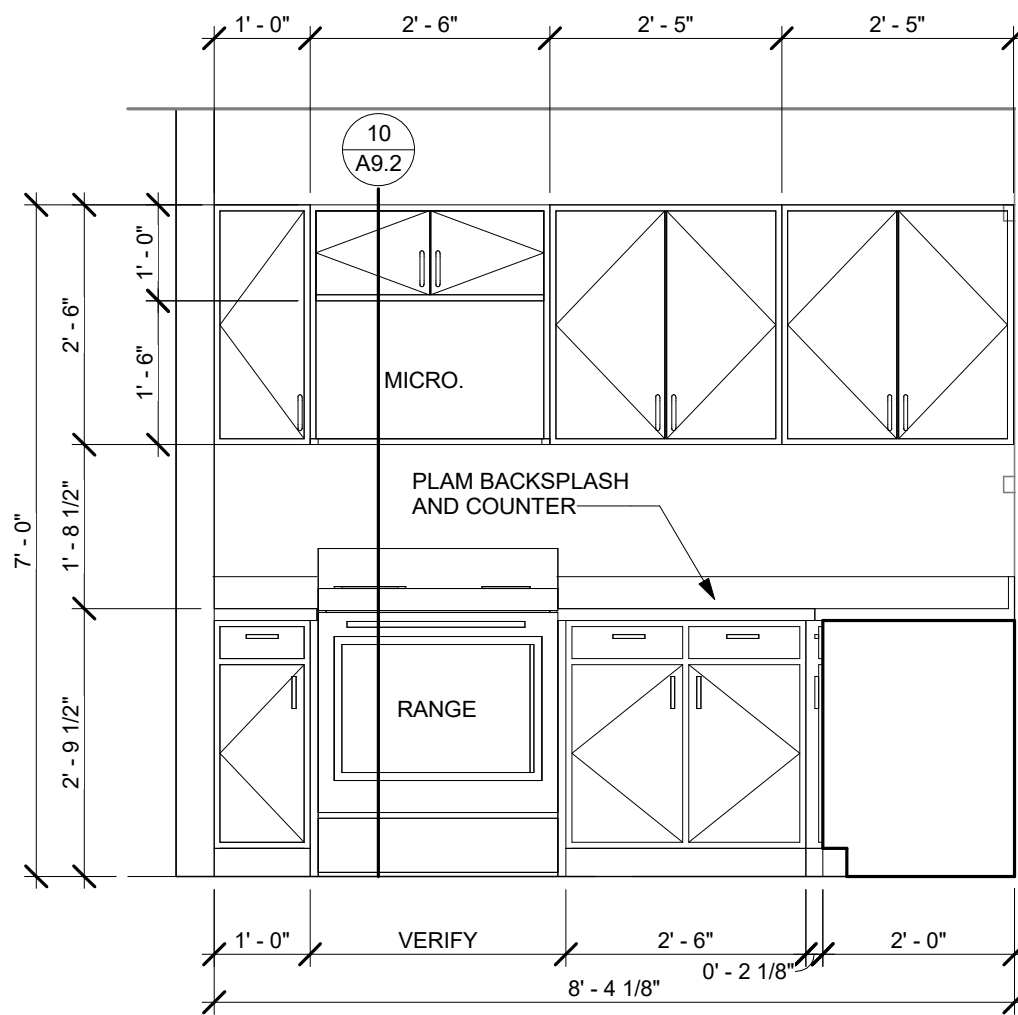




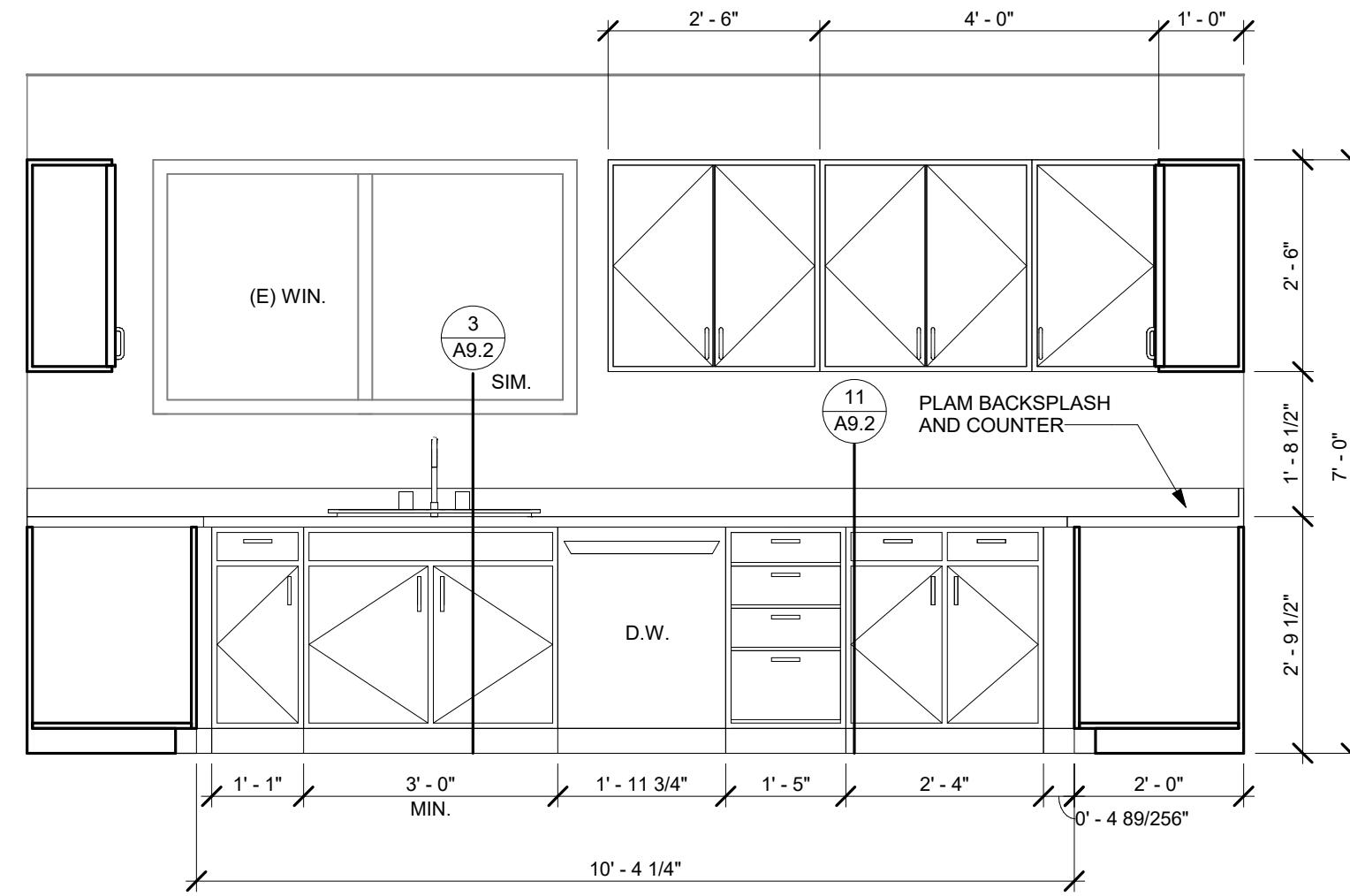
1 BATHROOM 106 PLAN  
SCALE: 1/4" = 1'-0"



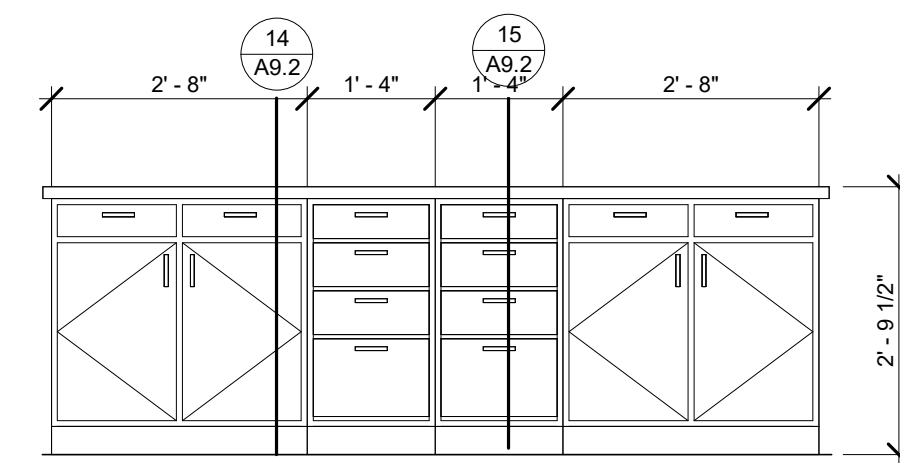
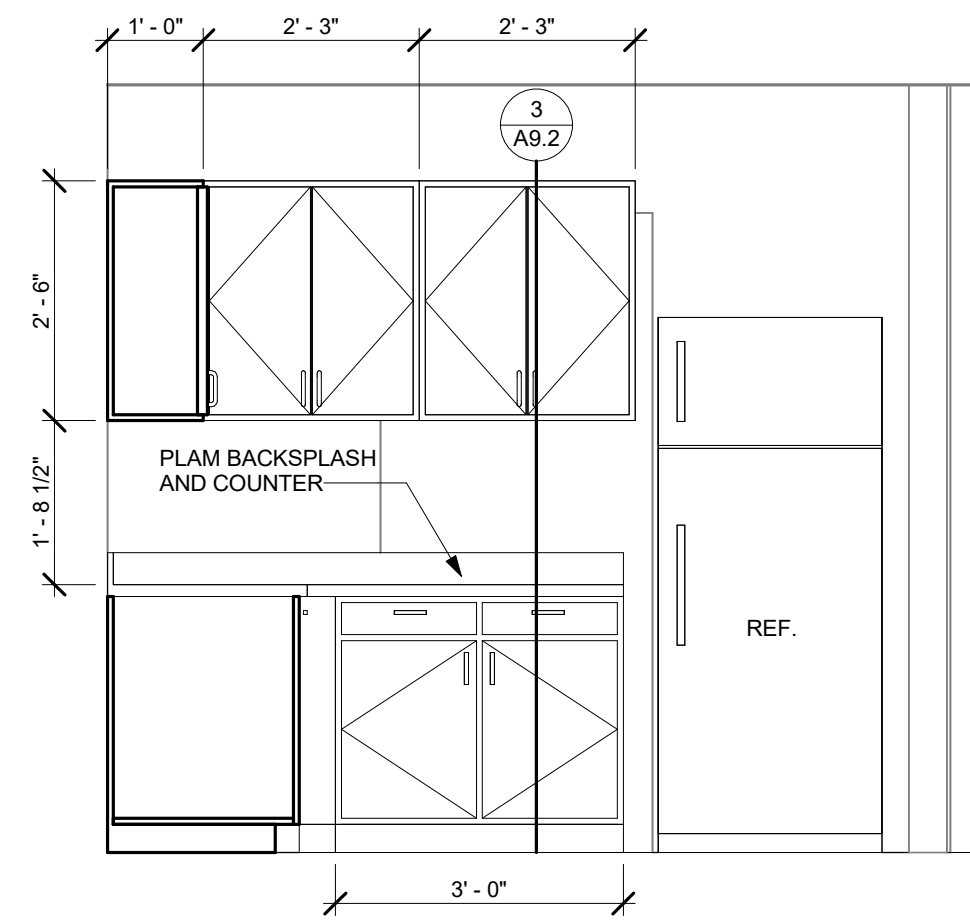
10 (N) LAUNDRY 111  
SCALE: 1/2" = 1'-0"



12 (E) KITCHEN 112  
SCALE: 1/2" = 1'-0"



15 (E) KITCHEN 112 ISLAND  
SCALE: 1/2" = 1'-0"



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RESTROOM PLANS AND  
DETAILS

DATE	3.28.25
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ALL ACCESSIBLE SUITE SHOWER ENCLOSURES TO HAVE GRAB BARS & SHOWER SEATS INSTALLED.

1. MOUNTING HEIGHT FOR ALL RESTROOM ACCESSORIES AND TOILET HEIGHT TO BE VERIFIED WITH OWNER AND APPROVED BY THE BUILDING DEPT. PRIOR TO ORDERING.
2. ALL ACCESSORIES ARE WALL MOUNTED UNLESS OTHERWISE NOTED.
3. PROVIDE WOOD BLOCKING IN WALLS AS NECESSARY TO RECEIVE CABINETS, WALL MOUNTED TELEVISIONS/MONITORS, AND OR WALL MOUNTED ACCESSORIES. BLOCKING TO BE 18 GAUGE METAL FRAMING MEMBERS, 2X FIRE-RATED, TREATED WOOD MIN. 16" OR GR. OR 2X 12" MIN. DEEP. WALL BRACING WILL DEPEND ON WEIGHT OF MOUNTED ITEMS AND MANUFACTURER RECOMMENDATIONS.

**NOTE:**  
SEE DETAIL 9/A9.1 FOR MIN. & MAX. MOUNTING HEIGHTS FOR ADA FIXTURES.

**FRONT ELEVATION**

Dimensions: 52" (width), 19" (height), 17" (height), 30" (NET) (depth), 30" MAX. (depth).

Labels: LAVATORY, LINE OF SINK & DRAIN PIPE BEYOND, PLAN, MIRROR, 2x4'S AT COUNTER PERIMETER & SIDES OF LAV, 2x BLOCKING, 2x2 CORNER CLEAT SECURED TO PLYWOOD BRACE & IN-WALL BLOCKING.

**NOTES**

1. SECURE END PANEL TO 2x4'S & 2x2'S W/ (8) 2" WOOD SCREWS SECURE 2x4'S & 2x2'S TO BLOCKING W/ 1/4"x5" LAGS AT 12" O.C.
2. INSULATE HOT WATER AND DRAIN PIPE.

**PLAN**

**ELEVATION**

Dimensions: 33 1/2" (height), 28 1/2" (height), 15" (height), 4-2" MAX. (height), 6" (width).

SCALE: 1/4" = 1'-0" ACCESSIBLE PROVISIONS-LAV-PUBLIC RM



SCALE: NOT TO SCALE



## RESTROOM AND ACCESSIBLE DETAILS

A9.1a

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