

NOTICE OF DECISION

PLANNING DIVISION
555 LIBERTY ST. SE, RM 305
SALEM, OREGON 97301
PHONE: 503-588-6173
FAX: 503-588-6005



Si necesita ayuda para comprender esta información, por favor llame 503-588-6173

DECISION OF THE PLANNING ADMINISTRATOR

CLASS 1 SITE PLAN REVIEW

APPLICATION NO.: 25-105855-PLN

NOTICE OF DECISION DATE: April 3, 2025

REQUEST: A Class 1 Site Plan Review for a change of use from *retail sales* to *eating and drinking establishments* for an approximately 3,000 square foot building located in a shopping center. The subject property is 4.91 acres in size, zoned MU-III (Mixed Use-III), and located at 4635 Commercial Street SE (Marion County Assessor's Map and Tax Lot Number: 083W10DA / 2800).

APPLICANT: Mario Ochoa, GWA Architects, on behalf of Iskum II LLC

LOCATION: 4635 Commercial Street SE

FINDINGS: The findings are in the attached Decision dated April 3, 2025.

DECISION: The **Planning Administrator APPROVED** the application based upon the submitted materials and the findings as presented in the decision.

The rights granted by the attached decision, which are effective as of the date of this decision, must be exercised by April 3, 2029, or this approval shall be null and void.

Case Manager: Quincy Miller, Planner I, gmill@cityofsalem.net, (503) 584-4676

This decision is final; there is no local appeal process. Any person with standing may appeal this decision by filing a "Notice of Intent to Appeal" with the Land Use Board of Appeals, 775 Summer St NE, Suite 330, Salem OR 97301, **not later than 21 days** after **April 3, 2025**. Anyone with questions regarding filing an appeal with the Oregon Land Use Board of Appeals should contact an attorney.

The following items are submitted to the record: 1) All materials and evidence submitted by the applicant, including any applicable professional studies; and 2) All materials, evidence, and comments from City Departments and public agencies. The application materials are available on the City's online Permit Application Center at <https://permits.cityofsalem.net>. To view the materials without registering, you may use the search function and enter the permit number listed here: 25 105855.

<http://www.cityofsalem.net/planning>

BEFORE THE PLANNING ADMINISTRATOR OF THE CITY OF SALEM

DECISION

IN THE MATTER OF APPROVAL OF	) FINDINGS & ORDER
CLASS 1 SITE PLAN REVIEW	)
25-105855-PLN	)
4635 COMMERCIAL STREET SE	) APRIL 3, 2025

In the matter of the application for a Class 1 Site Plan Review, the Planning Administrator, having received and reviewed the evidence and application materials, makes the following findings and adopts the following order as set forth herein.

REQUEST

A Class 1 Site Plan Review for a change of use from *retail sales* to *eating and drinking establishments* for an approximately 3,000 square foot building located in a shopping center.

PROCEDURAL FINDINGS

1. On March 14, 2025, an application for a Class 1 Site Plan Review was submitted for property located at 4635 Commercial Street SE.
2. On March 27, 2025, the application was deemed complete.

SUBSTANTIVE FINDINGS

1. Proposal

The proposed Class 1 Site Plan Review affects property located at 4635 Commercial Street SE (**Attachment A**). The Class 1 Site Plan Review proposes interior tenant improvements and a change of use from a *retail sales* use to an *eating and drinking establishment* use. The proposed development plans are included as **Attachment B**.

DECISION CRITERIA FINDINGS

2. Analysis of Class 1 Site Plan Review Approval Criteria

The purpose of Site plan review is to provide a unified, consistent, and efficient means to review for development activity that requires a building permit, to ensure that such development meets all applicable standards of the UDC, including, but not limited to, standards related to access, pedestrian connectivity, setbacks, parking areas, external refuse storage areas, open areas, landscaping, and transportation and utility infrastructure.

Pursuant to SRC 220.005(b)(1), Class 1 Site Plan Review is required for any development that requires a building permit, that does not involve a land use decision or limited land use decision, as those terms are defined in ORS 197.015, and that involves a change of use or change of occupancy where only construction or improvements to the interior of the building or structure are required.

SRC 220.005(f)(1) provides that an application for Class 1 Site Plan Review shall be granted if:

(a) The application involves only a change of use or a change of occupancy, and there is no pending application for an associated land use decision or limited land use decision;

Finding: The applicant is requesting an interior only tenant improvement and change of use. There are no associated land use or limited land use decisions with this request.

(b) Only construction or improvements to the interior of the building or structure will be made;

Finding: The scope of work for the project only includes interior improvements to the existing building.

(c) The new use or occupancy will not require exterior improvements to the building or structure or alteration to existing parking, landscaping, or buffer yards.

Finding: Modification to the exterior of the site is not in the scope of work for the proposed establishment of use.

(d) Only clear and objective standards which do not require the exercise of discretion or legal judgment are applicable to the site plan review application; and

Finding: Only clear and objective standards apply to the proposed development. Complete findings are included in the section below.

(e) The application meets all applicable standards of the SRC.

Finding: The subject property is zoned MU-III (Mixed Use-III). Development of the property is therefore subject to the use and development standards of the MU-III zone (SRC Chapter 535) and all other applicable standards of the UDC. The proposal conforms to SRC Chapter 535 and all other applicable development standards of the UDC as follows:

Development Standards – MU-III (Mixed Use-III) Zone:

SRC 535.010(a) – Uses:

The permitted (P), special (S), conditional (C), and prohibited (N) uses in the MU-III zone are set forth in Table 535-1.

Finding: The proposed development includes a change of use from *retail sales* to an *eating and drinking establishment* use. The proposed use is permitted in the MU-III zone, meeting the standard.

Off-Street Parking and Driveways

SRC 806.015 – Amount Off-Street Parking.

(a) Maximum Off-Street Parking. Except as otherwise provided in this section, and unless otherwise provided under the UDC, off-street parking shall not exceed the amounts set

forth in Table 806-1. For the purposes of calculating the maximum amount of off-street parking allowed, driveways shall not be considered off-street parking spaces.

Finding: No modification to the existing off-street parking area is proposed for the development. Therefore, this standard is not applicable.

Bicycle Parking

SRC 806.045 – General Applicability.

- (a) Bicycle parking shall be provided as required under this chapter for each proposed new use or activity; any change of use or activity; or any intensification, expansion, or enlargement of a use or activity.
- (b) *Applicability to change of use of existing building in Central Business District (CB) zone.* Notwithstanding any other provision of this chapter, the bicycle parking requirements for a change of use of an existing building within the CB zone shall be met if there are a minimum of eight bicycle parking spaces located within the public right-of-way of the block face adjacent to the primary entrance of the building. If the minimum number of required bicycle parking spaces are not present within the block face, the applicant shall be required to obtain a permit to have the required number of spaces installed. For purposes of this subsection, "block face" means the area within the public street right-of-way located along one side of a block, from intersecting street to intersecting street.
- (c) *Applicability to nonconforming bicycle parking area.* When bicycle parking is required to be added to an existing bicycle parking area that has a nonconforming number of spaces, the number of spaces required under this chapter for any new use or activity, any change of use or activity, or any intensification, expansion, or enlargement of a use or activity shall be provided, in addition to the number of spaces required to remedy the existing deficiency.

SRC 806.050 – Proximity of Bicycle Parking to use or Activity Served.

Bicycle parking shall be located on the same development site as the use or activity it serves.

SRC 806.055 – Amount of Bicycle Parking.

Unless otherwise provided under the UDC, bicycle parking shall be provided in amounts not less than those set forth in Table 806-9.

Finding: As the proposed development includes a change of use, the bicycle parking standards of SRC 806.045 apply. Per Table 806-9 in SRC 806.055, a *shopping center* requires the greater of four spaces or one space per 5,000 square feet. For the approximately 68,700 square feet located in the shopping center, this requires a minimum of 14 bicycle parking spaces. As there are 22 bicycle parking spaces located on the development site, this standard is met.

SRC 806.060 – Bicycle Parking Development Standards

Unless otherwise provided under the UDC, bicycle parking areas shall be developed and maintained as set forth in this section.

(a) Location.

- (1) Short-term bicycle parking.* Short-term bicycle parking shall be located outside a building within a convenient distance of, and clearly visible from, the primary building entrance. In no event shall bicycle parking be located more than 50 feet from the primary building entrance, as measured along a direct pedestrian access route.

Finding: No additional bicycle parking spaces are proposed for the development. Therefore, this standard is not applicable.

- (b) Access.* Bicycle parking areas shall have direct and accessible access to the public right-of-way and the primary building entrance that is free of obstructions and any barriers, such as curbs or stairs, which would require users to lift their bikes in order to access the bicycle parking area.

Finding: No additional bicycle parking spaces are proposed for the development. Therefore, this standard is not applicable.

(c) Dimensions. All bicycle parking areas shall meet the following dimension requirements:

- (1) Bicycle parking spaces.* Bicycle parking spaces shall conform to the minimum dimensions set forth in Table 806-10.
- (2) Access aisles.* Bicycle parking spaces shall be served by a minimum four-foot-wide access aisle. Access aisles serving bicycle parking spaces may be located within the public right-of-way.

Finding: No additional bicycle parking spaces are proposed for the development. Therefore, this standard is not applicable.

- (d) Surfacing.* Where bicycle parking is located outside a building, the bicycle parking area shall consist of a hard surface material.

Finding: No additional bicycle parking spaces are proposed for the development. Therefore, this standard is not applicable.

(e) Bicycle Racks. Where bicycle parking is provided in racks, the racks may be floor, wall, or ceiling racks. Bicycle racks shall meet the following standards.

- (1)* Racks must support the bicycle frame in a stable position, in two or more places without damage to wheels, frame, or components.
- (2)* Racks must allow the bicycle frame and at least one wheel to be locked to the rack with a high security, U-shaped shackle lock;
- (3)* Racks shall be of a material that resists cutting, rusting, and bending or deformation; and
- (4)* Racks shall be securely anchored.
- (5)* Examples of types of bicycle racks that do, and do not, meet these standards are shown in Figure 806-11.

Finding: No additional bicycle parking spaces are proposed for the development. Therefore, this standard is not applicable.

Off-Street Loading Areas

SRC 806.065 – General Applicability.

- (a) Off-street loading areas shall be provided and maintained for each proposed new use or activity; any change of use or activity, when such change of use or activity results in a greater number of required off-street loading spaces than the previous use or activity; or any intensification, expansion, or enlargement of a use or activity.
- (b) *Applicability to nonconforming off-street loading area.* When off-street loading is required to be added to an existing off-street loading area that has a nonconforming number of spaces, the number of spaces required under this chapter for any new use or activity, any change of use or activity, or any intensification, expansion, or enlargement of a use or activity shall be provided, in addition to the number of spaces required to remedy the existing deficiency.

SRC 806.070 – Proximity of Off-Street Loading Areas to use or Activity Served.

Off-street loading shall be located on the same development site as the use or activity it serves.

SRC 806.075 – Amount of Off-Street Loading.

Unless otherwise provided under the UDC, off-street loading shall be provided in amounts not less than those set forth in Table 806-11.

Finding: No additional off-street loading spaces are required for the proposed change of use.

3. Conclusion

Based on the conformance with the preceding requirements the Planning Administrator certifies that the proposed Class 1 Site Plan Review is in conformance with the UDC and the approval criteria provided in SRC 220.005(f)(1), provided compliance occurs with any applicable items noted above.

Please Note: Findings included in this decision by the direction of the Salem Fire Department are based on non-discretionary standards. Fire Code related findings are intended to inform the applicant of the clear and objective Fire Prevention Code standards of SRC Chapter 58 that will apply to this development proposal on application for building permit(s). Additional or different Fire Prevention Code standards may apply based on the actual building permit application submitted.

If a building permit application has not already been submitted for this project, please submit a copy of this decision with your building permit application for the work proposed.

IT IS HEREBY ORDERED

The proposed Class 1 Site Plan Review is consistent with the provisions of SRC Chapter 220 and is hereby **APPROVED** subject to the applicable standards of the Salem Revised Code and the findings contained herein.

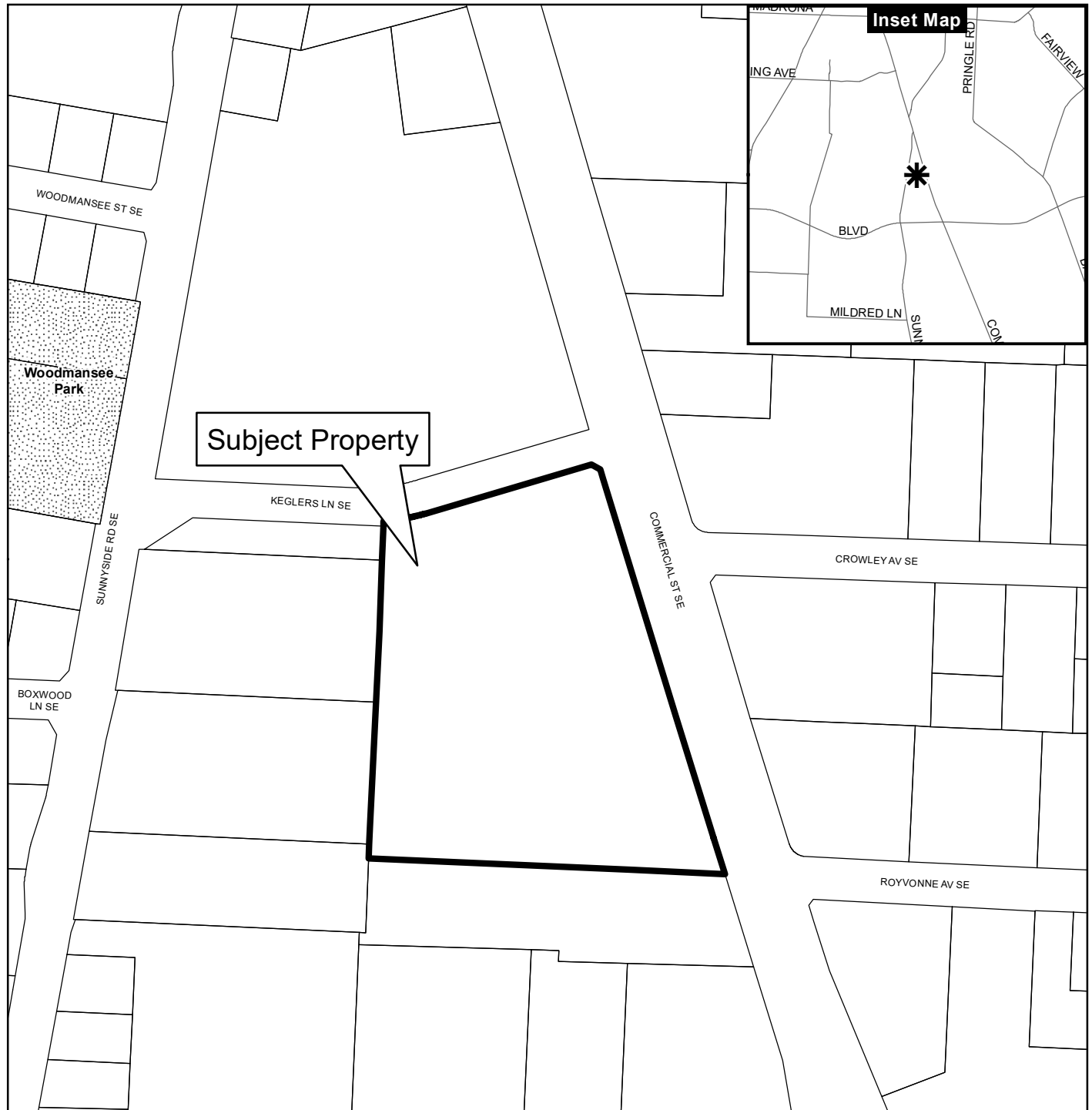


Quincy Miller, AICP, Planner I, on behalf
of Lisa Anderson-Ogilvie, AICP
Planning Administrator

Attachments: A. Vicinity Map
 B. Proposed Site Plan

Vicinity Map

4635 Commercial Street SE



Legend

- | | |
|-----------------------|---------------------------|
| Taxlots | Outside Salem City Limits |
| Urban Growth Boundary | Historic District |
| City Limits | Schools |

Parks

CITY OF Salem
AT YOUR SERVICE
Community Planning and Development

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0 100 200 400 Feet



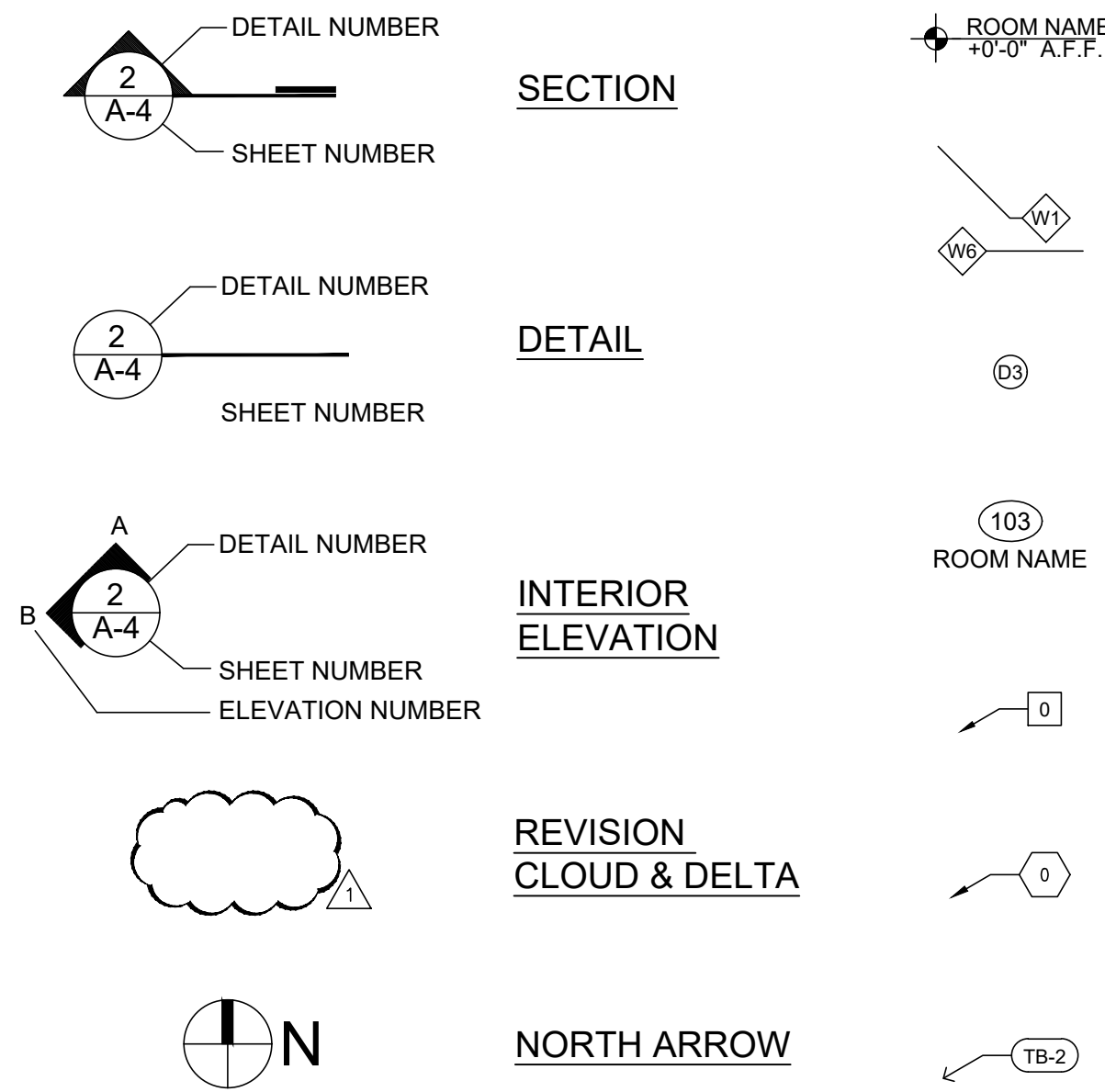
MOUNTAIN MIKE'S PIZZA

4635 COMMERCIAL ST SE, SALEM, OR 97302

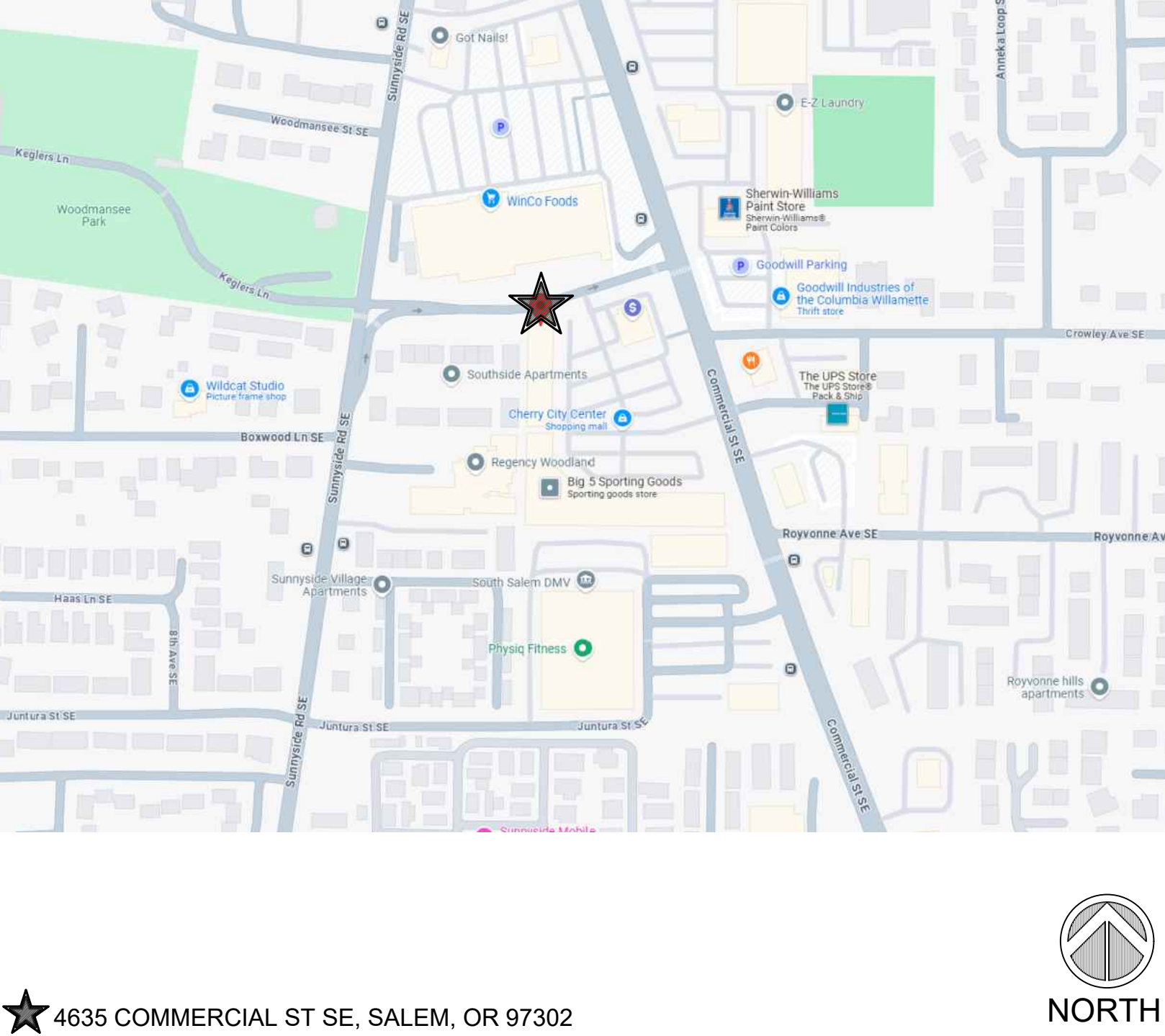
GENERAL NOTES

- ALL WORK, INCLUDING MATERIALS AND WORKMANSHIP, SHALL CONFORM TO THE REQUIREMENTS OF LOCAL CODES, LAWS, AND ORDINANCES AND AS SPECIFIED BY ALL GOVERNING AUTHORITIES WHERE APPLICABLE. REFERENCE IS TO THE LATEST ACCEPTED EDITION OR REVISION. IN THE EVENT OF CONFLICT WITH CODE REQUIREMENTS, THAT CODE REQUIREMENT OR NOTE WHICH ESTABLISHES THE HIGHER STANDARD SHALL TAKE PRECEDENCE.
- THE INTENTION OF THE CONTRACT DOCUMENTS IS TO INCLUDE ALL LABOR AND MATERIALS, EQUIPMENT, AND TRANSPORTATION NECESSARY FOR THE COMPLETE AND PROPER EXECUTION OF THE WORK.
- THE CONTRACTOR SHALL VISIT THE JOB SITE PRIOR TO BIDDING ANY PORTION OF THE WORK. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO BEGINNING WORK. SHOULD ANY CONDITION ARISE WHERE THE INTENT OF THE DRAWINGS IS IN DOUBT OR WHERE THERE IS A DISCREPANCY BETWEEN THE CONTRACT DOCUMENTS AND THE FIELD CONDITIONS, OR WITHIN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING IMMEDIATELY FOR CLARIFICATION.
- DIMENSIONS ARE FROM FACE OF WALL OR TO CENTER OF WALL AS INDICATED ON DRAWINGS, UNLESS NOTED OTHERWISE.
- WRITTEN DIMENSIONS TAKE PRECEDENCE. DO NOT SCALE DRAWINGS. WALLS NOT DIMENSIONED ARE TO ALIGN WITH EXISTING WALLS OR BE ABUTTED OR APPLIED TO EXISTING WALLS PER DRAWINGS. DOORS NOT DIMENSIONED AND SHOWN JAMB TIGHT SHALL BE SET 3" FROM PERPENDICULAR WALL TO OUTER EDGE OF DOOR JAMB.
- REFERENCE TO ANY DETAIL OR DRAWING IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT THE APPLICATION OF SUCH DETAILS OR DRAWINGS.
- THE DESIGN, ADEQUACY AND SAFETY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC., IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE AND PROVIDE NECESSARY BRACING PRIOR TO THE APPLICATION OF ALL SHEAR WALLS, ROOF AND FLOOR DIAPHRAGMS, AND FINISH MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
- THE STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS, AS WELL AS THE DRAWINGS OF OTHER CONSULTANTS, ARE SUPPLEMENTARY TO THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CHECK WITH THE ARCHITECTURAL DRAWINGS BEFORE THE INSTALLATION OF WORK SHOWN ON THE DRAWINGS OF CONSULTANTS. THE CONTRACTOR SHALL BRING ANY DISCREPANCY BETWEEN THE ARCHITECTURAL DRAWINGS AND THE DRAWINGS OF THE CONSULTING ENGINEERS TO THE ATTENTION OF THE ARCHITECT IN WRITING FOR CLARIFICATION. ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS AND NOT BROUGHT TO THE ARCHITECT'S ATTENTION SHALL BE CORRECTED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE AND AT NO EXPENSE TO THE OWNER OR ARCHITECT.
- PRIOR TO PERFORMANCE OF WORK, THE CONTRACTOR SHALL REQUIRE EACH SUBCONTRACTOR TO NOTIFY THE CONTRACTOR OF ANY WORK CALLED OUT IN THE DRAWINGS FOR HIS TRADE THAT CANNOT BE FULLY GUARANTEED.
- CONTRACTOR SHALL VERIFY THE LOCATION AND SIZE OF ALL OPENINGS WITH ALL DRAWINGS AND MANUFACTURED ITEMS WHERE APPLICABLE.
- THE ARCHITECT SHALL NOT HAVE CONTROL OVER OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, SINCE THESE ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY UNDER THE CONTRACT FOR CONSTRUCTION. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S SCHEDULES OR FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE ARCHITECT SHALL NOT HAVE CONTROL OVER OR CHARGE OF ACTS OR OMISSION OF THE CONTRACTOR, SUBCONTRACTORS, OR THEIR AGENTS OR EMPLOYEES, OR OF ANY OTHER PERSONS PERFORMING PORTIONS OF THE WORK.
- THE CONTRACTOR HEREIN AGREES TO REPAIR OR REPLACE ANY OR ALL WORK, TOGETHER WITH ANY OTHER ADJACENT WORK WHICH MAY BE DISPLACED IN CONNECTION WITH SUCH REPLACEMENT, THAT MAY PROVE TO BE DEFECTIVE IN WORKMANSHIP OR MATERIALS WITHIN A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE, ORDINARY WEAR AND UNUSUAL ABUSE OR NEGLECT EXCEPTED.
- CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES, LANDSCAPING, MATERIALS, ETC., DURING CONSTRUCTION. CONTRACTOR SHALL PATCH AND REPAIR ALL SURFACES DISRUPTED OR DAMAGED DURING CONSTRUCTION TO MATCH EXISTING ADJACENT SURFACES.
- THE CONTRACTOR SHALL ON A DAILY BASIS KEEP THE PREMISES FREE FROM ALL ACCUMULATIONS OF WASTE MATERIAL OR RUBBISH CAUSED BY HIS EMPLOYEES, SUBCONTRACTORS, OR WORK, AND AT THE COMPLETION OF THE WORK SHALL REMOVE ALL RUBBISH, DEBRIS, EQUIPMENT, AND SURPLUS MATERIALS FROM IN AND ABOUT THE BUILDING AND LEAVE THE PREMISES "BROOM CLEAN".
- ANY DEVIATION FROM THE CONSTRUCTION DOCUMENTS OR SPECIFICATIONS BY THE CONTRACTOR OR OWNER WITHOUT THE ARCHITECT'S APPROVAL IN WRITING RELEASES THE ARCHITECT OF RESPONSIBILITY AND LIABILITY IN CONNECTION WITH ALL WORK SO INVOLVED.
- CLARIFICATIONS ON AND/OR INCONSISTENCIES WITH THE DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORK. ADDITIONAL CHARGES WILL NOT BE GRANTED BASED ON CLAIMS OF INCOMPLETE, INACCURATE, OR INCONSISTENT DRAWINGS AND SPECIFICATIONS.
- THE ARCHITECT SHALL REVIEW OR TAKE OTHER APPROPRIATE ACTION UPON CONTRACTOR'S SUBMITTALS SUCH AS SHOP DRAWINGS, PRODUCT DATA AND SAMPLES, BUT SHALL DO SO ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH INFORMATION GIVEN AND THE DESIGN CONCEPT EXPRESSED IN THE CONTRACT DOCUMENTS. REVIEW OF SUCH SUBMITTALS IS NOT CONDUCTED FOR THE PURPOSE OF DETERMINING THE ACCURACY AND COMPLETENESS OF OTHER DETAILS SUCH AS DIMENSIONS AND QUANTITIES OR FOR SUBSTANTIATING INSTRUCTIONS FOR INSTALLATION OR PERFORMANCE OF EQUIPMENT OF SYSTEMS, ALL OF WHICH REMAIN THE RESPONSIBILITY OF THE CONTRACTOR. THE ARCHITECT'S REVIEW SHALL NOT CONSTITUTE ACCEPTANCE OF SAFETY PRECAUTIONS OR, UNLESS OTHERWISE SPECIFICALLY STATED BY THE ARCHITECT, OF ANY CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES.

SYMBOLS



VICINITY MAP



SHEET INDEX

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T-1.2	GENERAL NOTES
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A-1.0	FLOOR PLAN, FINISH WALL AND DOOR SCHEDULES & NOTES
A-1.0A	ROOM FINISH, WALL, AND DOOR SCHEDULES & NOTES
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SHEET NO. 1	ACCUREX
SHEET NO. 2	ACCUREX
SHEET NO. 3	ACCUREX
SHEET NO. 4	ACCUREX
SHEET NO. 5	ACCUREX

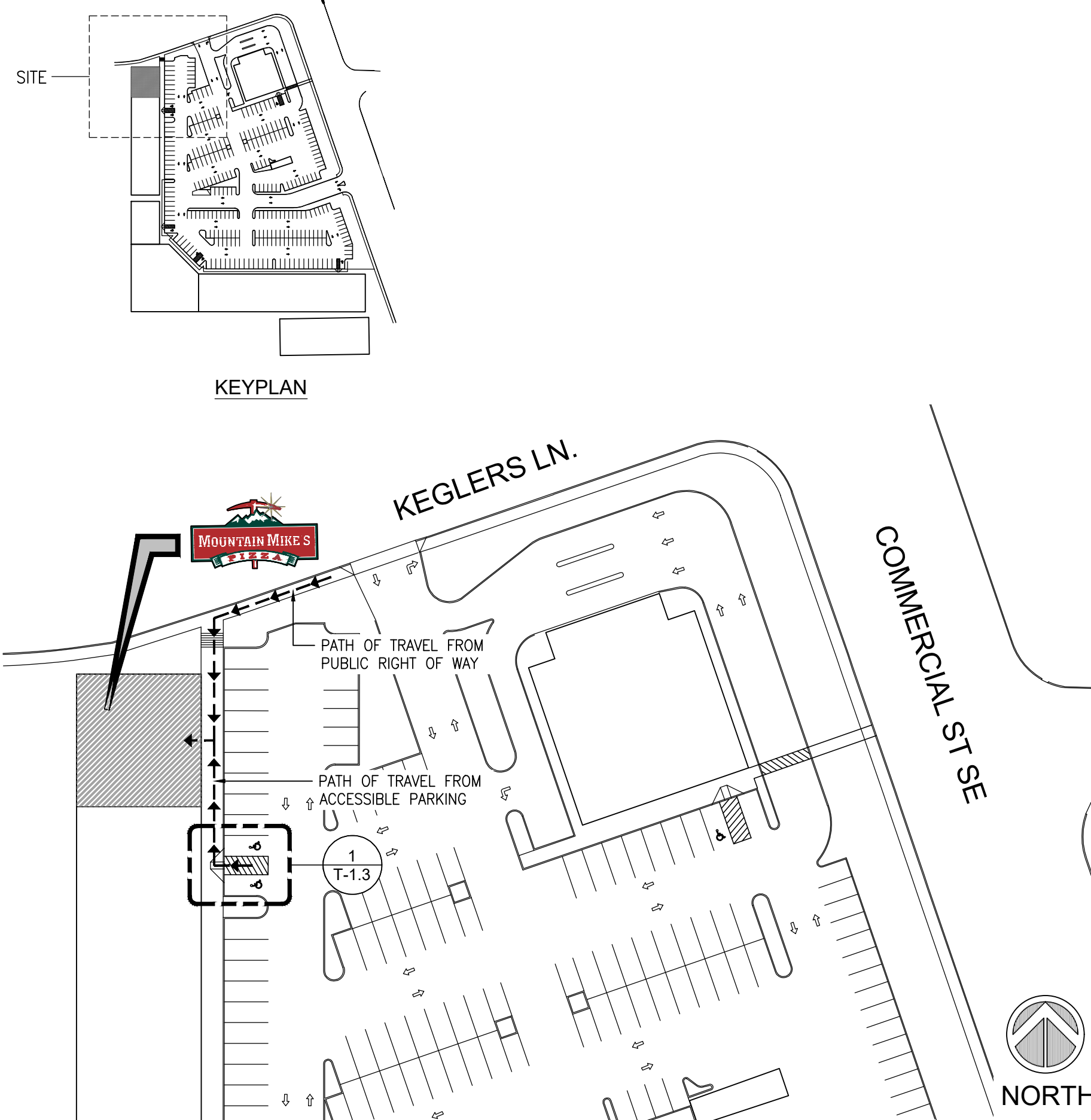
ABBREVIATIONS

A.C.	ASPHALTIC CONCRETE	MAX.	MAXIMUM
A.F.F.	ABOVE FINISHED FLOOR	MIN.	MINIMUM
AC.T.	ACOUSTICAL TILE	M.B.	MARKER BOARD
ADMIN.	ADMINISTRATION	MET.	METAL
BLD'G	BUILDING	(N)	NEW
B.N.	BULL NOSE	N.I.C.	NOT IN CONTRACT
B.L.	BUILDING LINE	NO.	NUMBER
C.B.	CHALK BOARD	O.C.	ON CENTER
CEM.	CEMENT	O.D.	OUTSIDE DIAMETER
CEM. PLAS.	CEMENT PLASTER	OPEN'G	OPENING
C.F.	CUBIC FEET	OPP.	OPPOSITE
CL'G	CEILING	PL	PLATE
CLSR'M	CLASSROOM	PLYWD	PLYWOOD
CLR	CLEAR	PR.	PAIR
CMU	CONCRETE MASONRY UNIT	REQ.	REQUIRED
CONC.	CONCRETE	S.F.	SQUARE FEET
C.T.	CERAMIC TILE	SHT	SHEET
DET.	DETAIL	SIM.	SIMILAR
DETS	DETAILS	S.S., ST.S.	STAINLESS STEEL
DIA	DIAMETER	S.	STANDARD
(E)	EXISTING	STRUC.	STRUCTURAL
EXIST'G	EXISTING	T.O.	TOP OF
EL.	ELEVATION	T.A.	TOP OF ASPHALT PAVING
ELEV.	ELEVATION, ELEVATOR	T.B.	TACK BOARD
E.P.	ELECTRICAL PANEL	T.C.	TOP OF CONC., T.O. CURB
EQ.	EQUAL	T.W.	TOP OF WALL
F.G.	FINISH GRADE	TYP.	TYPICAL
F.H.C.	FIRE HOSE CABINET	U.N.O.	UNLESS NOTED OTHERWISE
FIN.	FINISH, FINISHED	V.C.T.	VINYL COMBINATION TILE
FLR	FLOOR	VERT.	VERTICAL
FTG	FOOTING	VEST.	VESTIBULE
GA.	GAUGE	W/	WITH
GALV	GALVANIZED	W/O	WITHOUT
GYP. BD.	GYPSPUM BOARD	W.I.	WROUGHT IRON
HORIZ.	HORIZONTAL		
I.C.	INTERCOM		
I.D.	INSIDE DIAMETER		
INFO.	INFORMATION		

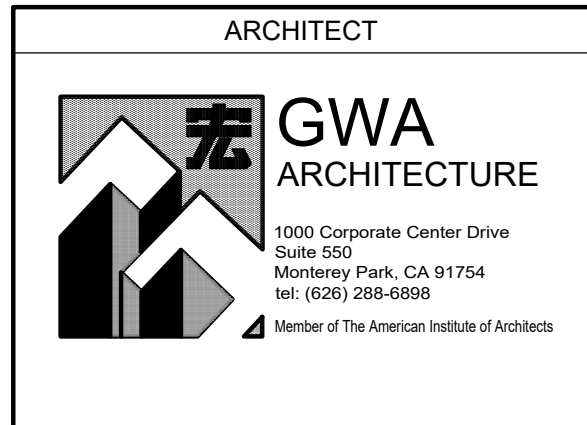
PROJECT SUMMARY

PROJECT ADDRESS: 4635 COMMERCIAL ST SE. SALEM, OR 97302	ARCHITECT / MEP: GWA ARCHITECTURE, INC. 1000 CORPORATE CENTER DR., SUITE 550 MONTEREY PARK, CA 91754 PH: (626) 288-6898 FAX: (626) 768-7101
PROJECT DESCRIPTION: INTERIOR TENANT IMPROVEMENT OF AN EXISTING SHELL FOR A NEW "MOUNTAIN MIKE'S PIZZA" RESTAURANT.	TENANT :
SCOPE OF WORK: WORK TO INCLUDE CONSTRUCTION OF NEW INTERIOR WALLS FOR CONFIGURATION OF KITCHEN AND DINING AREAS, NEW RESTAURANT KITCHEN EQUIPMENT, HOOD SYSTEM, INTERIOR FINISHES, CEILING SOFFIT AND LIGHTING THROUGHOUT, ELECTRICAL, MECHANICAL, & PLUMBING AS INDICATED ON PLANS, EXISTING PATIO AREA TO REMAIN PER SHELL BUILDING PLANS - NEW SEATING PER FLOOR PLAN	LANDLORD :
CODE ANALYSIS: 2021 INTERNATIONAL BUILDING CODE (IBC) 2021 INTERNATIONAL FIRE CODE (IFC) 2021 INTERNATIONAL PLUMBING CODE (IPC) 2021 INTERNATIONAL MECHANICAL CODE (IMC) 2021 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)	NUMBER OF INDOOR SEATS: 74 (INCL. 4 ACCESSIBLE)
CONSTRUCTION TYPE: V-B/SPRINKLERED	OCCUPANT LOAD (INTERIOR):
OCCUPANCY GROUP: A-2	PRIVATE ROOM 235 SQ.FT. / 15 = 16
BUILDING USE: RESTAURANT	ASSEMBLY (UNCONCENTRATED) 1,086 SQ.FT. / 15 = 73
NUMBER OF STORIES: 1	BOOTH SEATING (FIXED) 736 LIN.IN. / 24 = 31
TOTAL AREA: 2,964 SQ. FT.	(155 SQ.FT.)
(INTERIOR T.I. USABLE SPACE)	KITCHEN/PREP AREA 732 SQ.FT. / 200 = 4
	STORAGE AREA 102 SQ.FT. / 300 = 1
DEFERRED SUBMITTALS: - EXTERIOR & STOREFRONT SIGNAGE; UNDER A SEPARATE PERMIT BY 3RD PARTY SIGN VENDOR - HOOD FIRE SUPPRESSION SYSTEM UNDER SEPARATE PERMIT BY 3RD PARTY CONTRACTOR/ EQUIPMENT SUPPLIER; COORDINATE W/ G.C. - FIRE SPRINKLER SYSTEM MODIFICATION/FIRE ALARM UNDER A SEPARATE PERMIT BY THE G.C.	TOTAL OCCUPANT LOAD: 125 NO. OF EXITS REQUIRED: 3 NO. OF EXITS PROVIDED: 3

SITE PLAN



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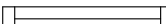
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KEYNOTES

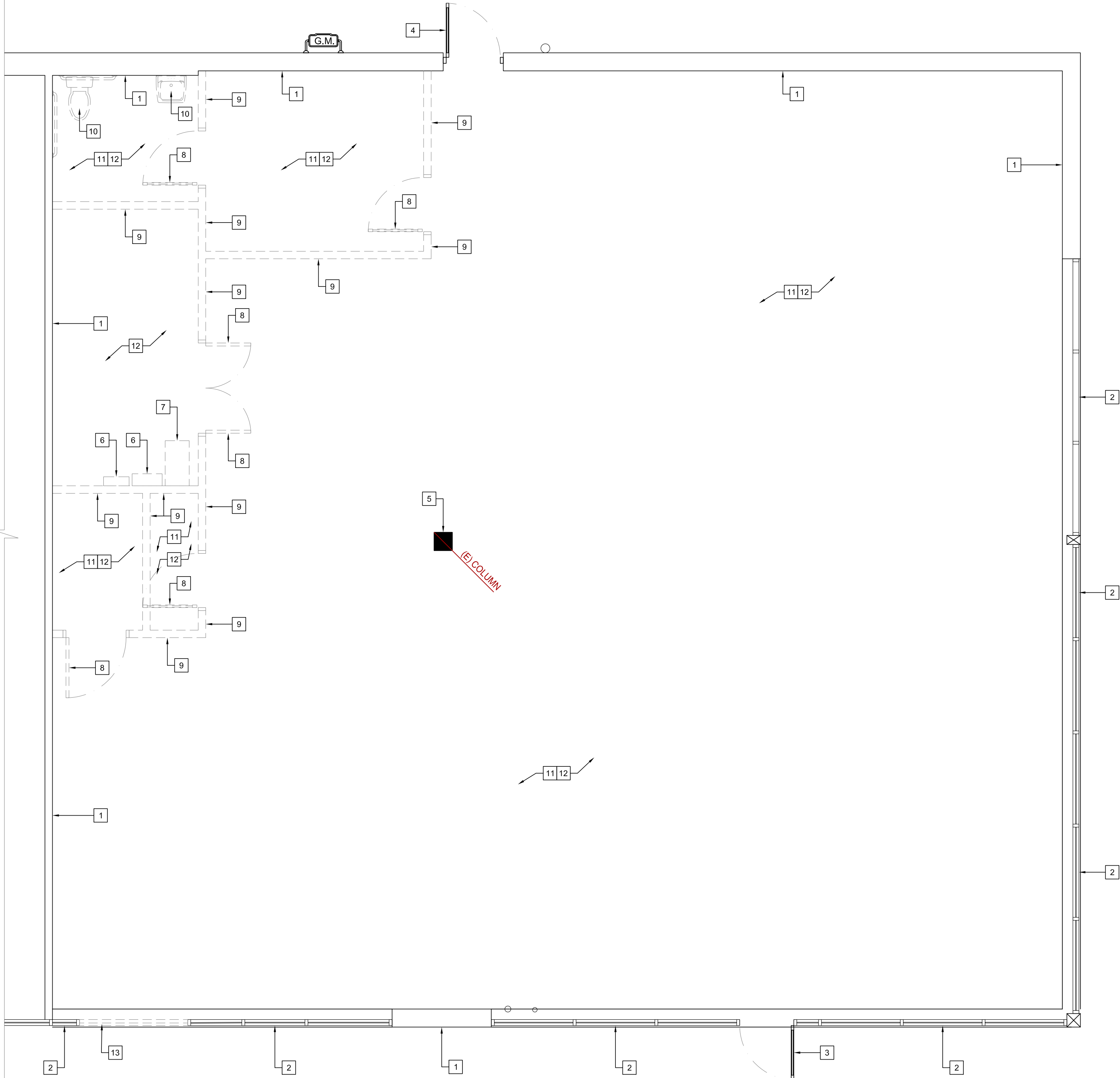
NO.	DESCRIPTION
1	(E) WALL TO REMAIN
2	(E) GLAZING/STOREFRONT WINDOW TO REMAIN
3	(E) STOREFRONT DOOR TO REMAIN
4	(E) REAR DOOR TO REMAIN
5	(E) COLUMN TO REMAIN AND PROTECT
6	(E) ELECTRICAL PANEL TO BE RELOCATED. SEE A-1.0 (KEYNOTE #11)
7	(E) ELECTRICAL TRANSFORMER TO BE REMOVED
8	(E) DOOR TO BE REMOVED
9	(E) WALL TO BE REMOVED
10	(E) PLUMBING FIXTURES TO BE REMOVED
11	(E) FLOORING TO BE REMOVED
12	(E) CEILING TO BE REMOVED
13	(E) STOREFRONT TO BE REMOVED AND REPLACED WITH NEW DOUBLE ENTRY DOOR. SEE SHEET A-1.0

WALL LEGEND

	EXISTING WALL TO REMAIN.
	EXISTING STOREFRONT WINDOW TO REMAIN.
	EXISTING WALL TO BE REMOVED.

GENERAL NOTES:

1. CONTRACTOR TO REMOVE ALL ABANDONED CONDUIT THROUGHOUT THE SPACE
2. CONTRACTOR SHALL REMOVE ALL DEBRIS FROM THE PREMISES. HAULING AND DISPOSAL SHALL BE IN ACCORDANCE TO LANDLORD, CITY/COUNTY REGULATIONS.
3. CONTRACTOR TO VISIT SITE PRIOR TO BID TO VERIFY EXISTING CONDITION.



DEMOLITION PLAN

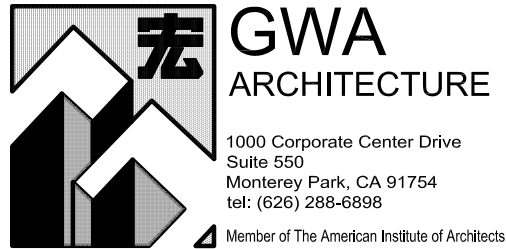
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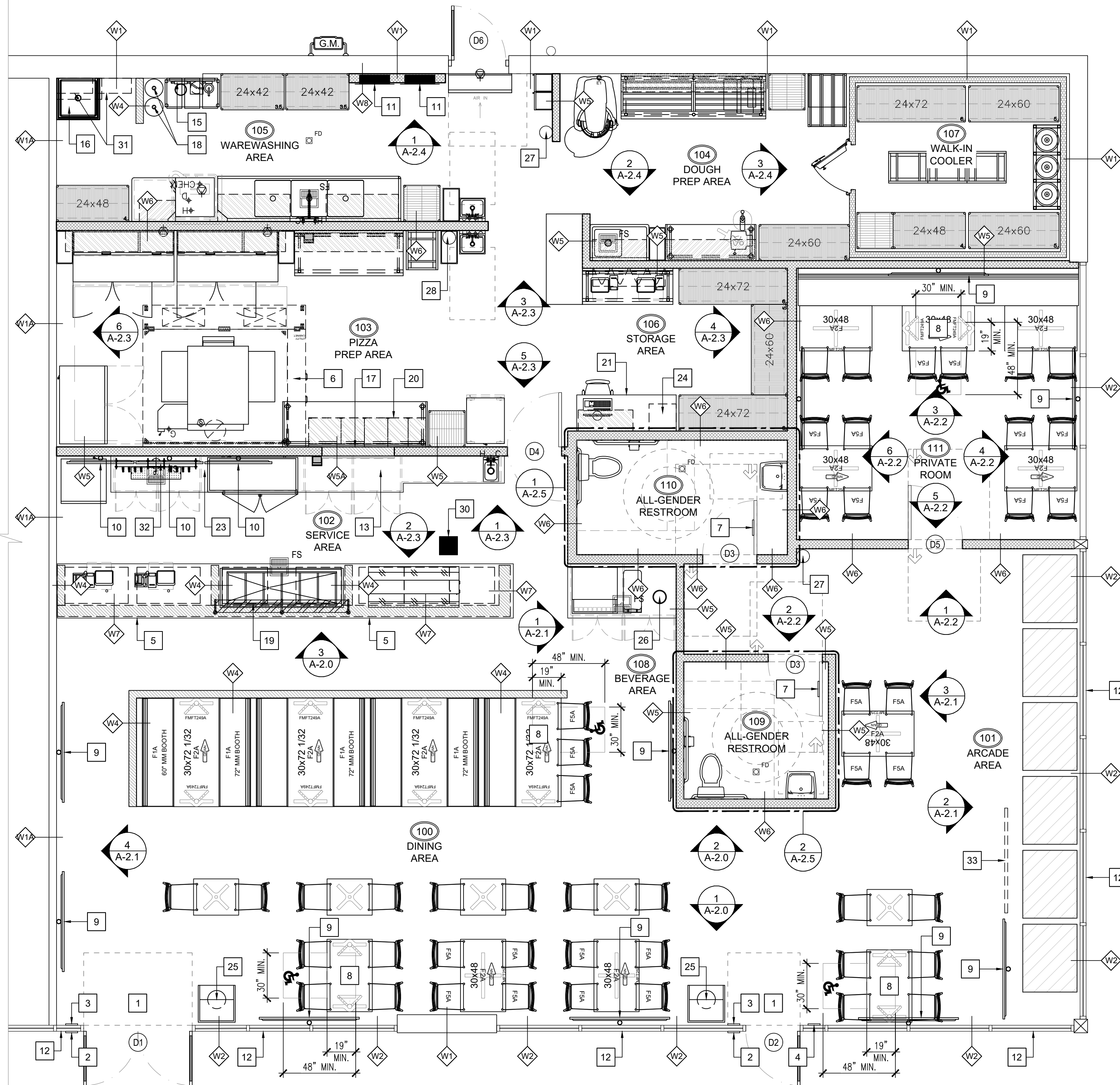
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DEMOLITION PLAN

SHEET NO

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KEY NOTES

- NO. DESCRIPTION
- 1 G.C. TO PROVIDE AND INSTALL SIGN "THIS DOOR TO REMAIN UNLOCKED WHILE THE BUILDING IS OCCUPIED".
 - 2 G.C. TO PROVIDE AND INSTALL SIGN OF INTERNATIONAL SYMBOL ACCESSIBILITY. DET 5/T-1.3
 - 3 TACTILE EXIT SIGN SEE DETAIL 4/T-1.3, PROVIDED AND INSTALLED BY THE G.C.
 - 4 G.C. TO PROVIDE AND INSTALL CAPACITY SIGN
 - 5 SERVICE COUNTER, FRONT FACE TO BE PONY WALL, COUNTER TO SIT ON LOW WALLS. REFER TO ENLARGED PLAN 1/A-3.4 AND DETAILS/ELEVATIONS ON SHEETS A-3.2, A-3.4 AND A-3.5. COUNTER AT 34" HIGH MAX A.F.F.
 - 6 NEW TYPE-I EXHAUST HOOD ABOVE, REFER TO MECHANICAL PLANS
 - 7 ACCESSIBLE RESTROOM DOOR SIGNAGE, SEE DETAIL 3/T-1.3, PROVIDED AND INSTALLED BY THE G.C.
 - 8 ACCESSIBLE SEATING @ 34" MAX. HEIGHT A.F.F. SEE DETAIL 9/T-1.3
 - 9 NEW SAMSUNG UN75CU7000 (75") LED TV TO BE WALL MOUNTED W/ BRACKETS OR MOUNTED ON TELESCOPING MOUNTS AT FRONT WINDOWS; REFER TO DETAIL 2/A-1.1 - TV SUPPLIED BY OWNER; MOUNTS & INSTALLATION BY LTGC; WALL CONDUITS AND PLYWOOD BACKING BY G.C.
 - 10 NEW SAMSUNG UN50CU7000 (65") LED MENU BOARD TO BE WALL MOUNTED WITH BRACKETS AND/OR WITH CEILING MOUNT - PROVIDE RECESSED POWER CONNECTION BOXES AND RECESSED DOUBLE JUNCTION FOR EACH MENU TV- GADGET ATTACHED TO MONITOR OF THE MENUS. G.C. TO PROVIDE BLOCKING TO THE ROOF FRAMING. REFER TO DETAIL 2/A-1.1 - TV SUPPLIED BY OWNER; MOUNTS & INSTALLATION BY LTGC; WALL CONDUITS AND PLYWOOD BACKING BY G.C.
 - 11 NEW ELECTRICAL PANEL; REFER TO ELECTRICAL SHEETS
 - 12 EXISTING STOREFRONT GLAZING (FIXED & NON-OPENABLE) W/ TEMPERED GLASS TO REMAIN.
 - 13 BACK SERVICE COUNTER MILLWORK WITH CABINETS BELOW @ 42" HIGH A.F.F.
 - 14 NOT USED
 - 15 NOT USED
 - 16 NUCO CO2 CONTROL PANEL - COORDINATE W/ CO2 VENDOR
 - 17 MOP SINK W/ VACUUM BREAKER/BACK FLOW PREVENTER W/ CHEMICAL SHELF AND BROOM RACK.
 - 18 NEW PASS-THRU WINDOW (48"W X 24"H); REFER TO INTERIOR ELEVATIONS & DETAIL 6/A-3.2 G.C. TO PROVIDE SUBWAY TILE FINISH W/ RONDEC 90 CORNER SCHLUTER TRIM ALL AROUND THE OPENING
 - 19 CO2 TANK, 50 LB MAX. CAPACITY - PROVIDED & INSTALLED BY SODA VENDOR (WALL-MOUNTED)
 - 20 SNEEZE GUARD - PROVIDED BY EQUIPMENT VENDOR/INSTALLED BY VENDOR; REFER TO DETAIL 2/A-3.2 & EQUIPMENT SCHEDULE FOR SPECS.
 - 21 METRO PIZZA BOX WIRE SHELF; G.C. TO PROVIDE 5/8" PLYWOOD BACKING. SEE DETAIL 1/A-3.2
 - 22 MANAGER'S STATION, REFER TO DETAIL 2/A-3.5.
 - 23 NOT USED
 - 24 18"x18" LOUVER VENT ON THE SIDE OF COUNTER
 - 25 SAFE
 - 26 TRASH RECEPTACLE - LANCASTER TABLE & SEATING 35 GAL. BLACK RECEPTACLE W/ SWING DOOR; PROVIDE PATIO TRASH RECEPTACLES AS REQUIRED FOR OUTDOOR WEATHER; VERIFY W/ OWNER
 - 27 TRASH GROMMET - 8"ØX2" POLISHED STAINLESS STEEL BY HARDWARE CONCEPT OR MOCKETT
 - 28 FIRE EXTINGUISHER "2A10BC" TYPE MOUNT @ 48" A.F.F.
 - 29 FIRE EXTINGUISHER "K" TYPE MOUNT @ 48" A.F.F.
 - 30 NOT USED.
 - 31 EXISTING STRUCTURAL COLUMN TO REMAIN; PROTECT IN PLACE. REFER TO FINISHES ON RENDERINGS
 - 32 TANKLESS WATER HEATER ABOVE PER PLUMBING SHEETS
 - 33 BEER "Y" TOWER; G.C. TO PROVIDE UNDERGROUND CHASE TO W.I.C. - TAP INSTALL BY EQUIPMENT SUPPLIER; REFER TO DETAIL 7/A-3.2
 - LED BULB GAMES SIGN G.F.C.I.; PROVIDE POWER 110V RECESSED RECEPTACLE (TYP.); CONTROLLED BY LIGHT SWITCH; G.C. TO VERIFY LOCATION AND SIGN DIMENSIONS PROVIDED BY OWNER INSTALLED BY G.C., REFER TO 1/A-2.1.



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1. CONSIDERATION WILL NOT BE GRANTED FOR ANY ALLEGED MISUNDERSTANDINGS OF THE AMOUNT OF WORK TO BE PERFORMED. TENDER OF PROPOSAL SHALL CONVEY FULL AGREEMENT TO THE ITEMS AND CONDITIONS INDICATED ON THE DRAWINGS. SHOULD THE CONTRACTOR FIND DISCREPANCIES OR OMISSIONS IN THE CONTRACT DOCUMENT OR BE IN DOUBT AS TO THE INTENT THEREOF, THE CONTRACTOR SHALL OBTAIN CLARIFICATION FROM THE ARCHITECT AND/OR THE OWNER'S REPRESENTATIVE PRIOR TO SUBMITTING HIS PROPOSAL FOR WORK.
2. THE G. C. SHALL FIELD VERIFY THE EXISTING EXPOSED SPACE CONDITIONS, DIMENSIONS AND COLUMN SPACING PRIOR TO CONSTRUCTION AND INFORM ARCHITECT IMMEDIATELY IF ANY DISCREPANCIES ARE FOUND BETWEEN DRAWINGS AND SITE CONDITIONS. ANY CHANGES OR REWORK DUE TO UNREPORTED DIFFERENCES SHALL BE AT 1. G. C.'S EXPENSE.
3. ALL COLUMNS IN THE LEASE SPACE TO HAVE AT LEAST 1-HOUR FIRE SURROUND OR FIRE RATING AS REQUIRED BY LOCAL CODE (5/8" TYPE 'X' GYP. BD. ON METAL STUD FRAMING FROM FLOOR TO DECK AND SEALED TIGHT.

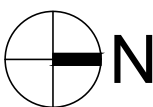
1. PROVIDE FIRE EXTINGUISHER AS REQUIRED BY FIRE DEPT. FIELD INSPECTOR.
2. EVERY EXIT DOOR SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
3. EXIT LIGHTING AND SIGNS: MINIMUM 6" X 3/4" LETTERS ON CONTRASTING BACKGROUND.
4. ANY DECORATION USED SHALL BE NON-COMBUSTIBLE OR FLAMEPROOFED IN AN APPROVED MANNER.
5. THE INSTALLATION OR OPERATION OF SPECIAL FIRE EXTINGUISHER SYSTEM MUST BE CHECKED AND APPROVED BY THE FIRE DEPT. PRIOR TO INSTALLATION.
6. PROVIDE OUTSIDE GAS SHUT-OFF VALVE CONSPICUOUSLY MARKED.
7. SEPARATE PLANS FOR ALL FIXED AND MOBILE FIRE PROTECTION EQUIPMENT, AND ALL FIRE ALARM SYSTEMS SHALL BE SUBMITTED TO THE FIRE MARSHALL FOR APPROVAL PRIOR TO INSTALLATION.
8. BUILDING OCCUPANT SHALL SECURE PERMITS REQUIRED BY THE FIRE DEPARTMENT FROM THE FIRE PREVENTION BUREAU PRIOR TO OCCUPANCY THIS BUILDING.
9. PLANS FOR THE FOLLOWING FIRE SPRINKLER ALTERATIONS SHALL BE SUBMITTED TO FIRE PREVENTION BUREAU FOR FIRE DEPARTMENT APPROVAL PRIOR TO INSTALLATION
10. ALL FIRE DEPARTMENT REQUIRED SUBMITTALS. A) FIRE SPRINKLER, B) HOOD SUPPRESSION, C) FIRE ALARM, D) REFRESHMENT CENTER CO2 SYSTEM (MAY REQUIRED ANNUAL FIRE PERMIT). 105.6.4, E) AS-BUILTS AT FIRE FINAL-3 HARD COPIES OF EACH PLAN PLUS AN ELECTRONIC PDF VERSION ON A THUMB DRIVE. (UNDER SEPARATE PERMIT BY THE GENERAL CONTRACTOR.)

1. ALL EQUIPMENT SHALL MEET NATIONAL SANITATION FOUNDATION DESIGN AND INSTALLATION REQUIREMENTS OR ITS EQUIVALENT.
2. LIGHT FIXTURES IN FOOD PREPARATION, OPEN FOOD STORAGE AND UTENSIL WASHING AREAS ARE TO BE PROTECTED AGAINST BREAKAGE THROUGH THE USE OF PLASTIC SHIELDS, PLASTIC SLEEVES, SHATTER PROOF BULBS AND/OR OTHER APPROVED DEVICES.
3. EXTERIOR DOORS SHALL BE SELF-CLOSING AND FIT TO A MAXIMUM 1/4" AT THE BASE AND SIDES.
4. PROVIDE PERMANENTLY MOUNTED SINGLE SERVICE SOAP AND TOWEL DISPENSERS AT ALL HAND WASH BASINS.
5. SEAL ALL CRACKS AND CREVICES IN COUNTERS, CABINETS, AROUND METAL FLASHING, SINK BACKSPLASHES AND AROUND PIPES AND CONDUITS WITH A NON-HARDENING SILICONE SEALANT.
6. QUARRY TILE TO BE "DAL TILE".
7. ALL WALL & DRYWALL CEILING ARE TO BE PAINTED W/ SAME PAINT AS INDICATED ON THE FINISH SCHEDULE.
8. ALL EXPOSED PIPES AND CONDUITS SHALL BE SPACED AT LEAST 1/2" FROM THE WALL.
9. ALL CABINETS SHALL BE LAMINATED INSIDE AND OUT.

1.	G.C. TO FIELD VERIFY EXISTING SITE CONDITION PRIOR TO BIDDING THE PROJECT.	
2.	G.C. TO PATCH, REPAIR & REFURBISH THE EXISTING WALL, FLOOR & CEILING FINISH AT THE KITCHEN, WASHING & STORAGE AREA AS NEEDED OR OWNER'S INSTRUCTION.	18 GA. STAINLESS STEEL WALL CAP
3.	G.C. TO FIELD VERIFY EXISTING SITE CONDITION PRIOR TO BIDDING THE PROJECT.	
4.	G.C. TO PATCH, REPAIR & REFURBISH THE EXISTING WALL, FLOOR & CEILING FINISH AT THE KITCHEN, WASHING & STORAGE AREA AS NEEDED OR OWNER'S INSTRUCTION.	
5.	G.C. TO PROVIDE AND INSTALL CUSTOM STAINLESS STEEL WALL CAPS & CORNER GUARDS.	18 GA. STAINLESS STEEL CORNER GUARD

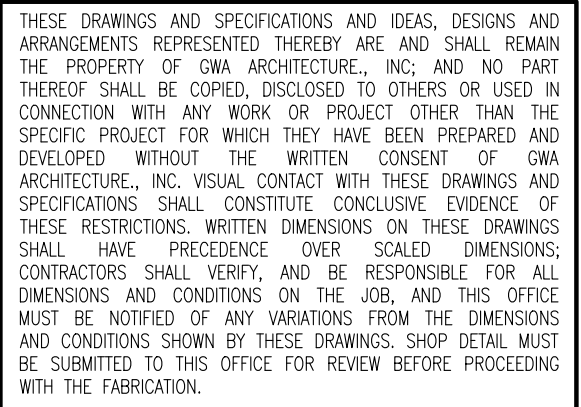


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