CODES & REGULATIONS:

ASHRAE 2022-90.1 (RESIDENTIAL - CLIMATE ZONE: 4C)				
REQUIRED	PROPOSED			
R-49				
EXISTING TO REMAIN				
EXISTING TO REMAIN				
EXISTING TO REMAIN				
EXISTING TO REMAIN				
U-0.370				
U-0.310				
MAX U VALUE: 0.36/ MAX SHGC: 0.38/ MIN VT: 1.10				
MAX U VALUE: 0.45/ MAX SHGC: 0.33/ MIN VT: 1.10				
	REQUIRED R-49 EXISTING TO REMAIN EXISTING TO REMAIN EXISTING TO REMAIN EXISTING TO REMAIN U-0.370 U-0.310 MAX U VALUE: 0.36/ MAX SHGC: 0.38/ MIN VT: 1.10 MAX U VALUE: 0.45/ MAX			

BUILDING INFORMATION:

		FIRE				AREA -	AREA -	AREA -	AREA
BUILDING #	CONSTRUCTION TYPE	SUPPRESSION	OCCUPANCY	STORIES	HEIGHT	LEVEL 1	LEVEL 2	LEVEL 3	TOTAL
BUILDING 1 (2921)	V-1-HR (W/ 1-HR SEPARATION AT	NFPA 13	B, A-3, R-1	2	32 FT	4,310 SF	3,920 SF	_	8,230 SF
BOILDING 1 (2921)	DWELLING UNITS)	NI FA 13	D, A-3, IX-1	۷	3211	4,310 31	3,920 31	_	0,230 31
BUILDING 2 (2991)	V-1-HR (W/ 1-HR SEPARATION AT DWELLING UNITS)	NFPA 13-R	R-1	3	33 FT	3,280 SF	3,240 SF	1,940 SF	8,460 SF
BUILDING 3 (2981)	V-N (W/ 1-HR SEPARATION AT DWELLING UNITS)	-	R-1	2	25 FT	4,070 SF	3,850 SF	-	7,920 SF
BUILDING 4 (2951)	V-N (W/ 1-HR SEPARATION AT DWELLING UNITS)	-	R-1	2	25 FT	4,070 SF	3,850 SF	-	7,920 SF
BUILDING 5 (2971)	V-N (W/ 1-HR SEPARATION AT DWELLING UNITS)	-	R-1	2	28 FT	1,920 SF	1,890 SF	-	3,810 SF
BUILDING 6 (2931)	V-1-HR (W/ 1-HR SEPARATION AT DWELLING UNITS)	NFPA 13-R	R-1	3	33 FT	3,280 SF	3,240 SF	1,940 SF	8,460 SF
BUILDING 7 (2941)	V-N (W/ 1-HR SEPARATION AT DWELLING UNITS)	-	R-1	2	27 FT	2,060 SF	1,900 SF	-	3,960 SF
BUILDING 8 (2911)	V-N (W/ 1-HR SEPARATION AT DWELLING UNITS)	-	R-1	2	25 FT	4,070 SF	3,850 SF	-	7,920 SF
BUILDING 9 (2961)	V-N	-	В	1	12 FT	220 SF	_	_	220 SF

- BUILDING INFORMATION BASED ON CITY OF SALEM APPROVED CONSTRUCTION DOCUMENTS DATED 04/15/2004 AS NOTED ABOVE, ONLY BUILDINGS 1, 2 & 6 ASSUMED TO HAVE 1-HR FIRE RATED EXTERIOR WALLS WITH EXTERIOR RATED GYPSUM BOARD PER CITY
- OF SALEM APPROVED CONSTRUCTION DOCUMENTS DATED 04/15/2024. ALL UNIT DEMISING AND SEPARATING FLOOR/CEILING ASSEMBLIES ASSUMED TO BE 1-HOUR RATED PER CITY OF SALEM APPROVED CONSTRUCTION
- DOCUMENTS DATED 04/15/2024.

UNIT INFORMATION:

UNIT ID	ACCESSIBILITY	UNIT TYPE	# BEDROOMS	# OF UNITS
1.1	*ADA	FLAT	1	1
1.2	-	FLAT	1	2
1.3	-	FLAT	1	1
2.1	*ADA	FLAT	2	2
2.2	-	FLAT	2	1
2.3	-	FLAT	2	1
2.4	-	TOWNHOME	2	12
2.5	-	TOWNHOME	2	6
2.6	-	TOWNHOME	2	2
3.1	*ADA	FLAT	3	1
3.2	-	TOWNHOME	3	14
3.3	-	TOWNHOME	3	1
4.1	-	TOWNHOME	4	4

*ADA UNIT NOTED ON CITY OF SALEM APPROVED CONSTRUCTION DOCUMENTS DATED 04/15/2004.

FARMWORKER HOUSING DEVELOPMENT CORPORATION

OWNER/ DEVELOPER

1274 5TH STREET, SUITE 1-A

WOODBURN, OREGON 97071 CONTACT: CARMEN FERNANDEZ

NELSON CAPITOL CPM, LLC

DEVELOPMENT CONSULTANT

PHONE: (503) 981-1618

BEND, OREGON 97709

PHONE: (503) 539-6712

LMC CONSTRUCTION

PHONE: (503) 646-0521

ARCHITECT

19200 SW TETON AVENUE

TUALATIN, OREGON 97062

CONTACT: KYLE ANDERSON

CARLETON HART ARCHITECTURE PC

AND SELECT INTERIOR UNIT FINISHES.

PROJECT DESCRIPTION:

THE PROJECT CONSISTS OF (9) EXISTING BUILDINGS WITH 48 DWELLING UNITS

ASSOCIATED PARKING, OPEN SPACES AND SITE INFRASTRUCTURE. THE SCOPE OF THIS PROJECT IS TO REPLACE IN KIND ALL EXTERIOR ENVELOPE COMPONENTS

(MIX OF 1, 2, 3 AND 4 BEDROOM UNITS), COMMUNITY SUPPORT SPACES.

ANY AND ALL MECHANICAL, ELECTRICAL, PLUMBING, RADON, AND FIRE

SUPPRESSION ARE SEPARATE AND NOT PART OF THE PERMITTING FOR THIS

630 SW 5TH AVENUE, SUITE #400

PORTLAND, OREGON 97204

CONTACT: KAYLA ZANDER

CONTACT: DOUG NELSON

GENERAL CONTRACTOR

PO BOX 2352

**NOTE: BUILDING INFORMATION BASED ON CITY OF SALEM APPROVED CONSTRUCTION DOCUMENTS DATED 04/15/2004.

CARLETON HART ARCHITECTURE

PRELIMINARY

NOT FOR

CONSTRUCTION

503. 243.2252 | www.carletonhart.com

DLONIA LIBERTAD 1I SADDLE CLUB ROAD
LEM, OREGON 97317

COVER PAGE/ GENERAL INFORMATION / SHEET INDEX

PROJECT NO.

03.31.25

REVISIONS: #\

ALLOWANCE SCOPE: PROJECT TEAM: **DRAWING INDEX:**

GENERAL	
G1.01	COVER PAGE/ GENERAL INFORMATION / SHEET INDEX
G1.02	ABBREVIATIONS / SYMBOLS & GENERAL NOTES

G3.01 ASSEMBLIES

DEMOLITION, TYPICAL FLOOR PLAN & ROOF PLAN

D2.02 **DEMOLITION - TYPICAL EXTERIOR ELEVATIONS**

ARCHITECTURAL

A1.01 ARCHITECTURAL SITE PLAN

BLDG 1 - FLOOR PLAN - LEVELS 1 & 2 BLDG 1 - ROOF PLAN BLDG 2 - FLOOR PLAN - LEVELS 1 & 2

BLDG 2 - FLOOR PLAN - LEVEL 3 & ROOF PLAN BLDGS 3, 4 & 8 - FLOOR PLAN - LEVELS 1 & 2 BLDGS 3, 4 & 8 - ROOF PLAN

BLDG 5 - FLOOR PLAN - LEVELS 1 & 2 & ROOF PLAN A2.08 BLDG 6 - FLOOR PLAN - LEVELS 1 & 2

BLDG 6 - LEVEL 3 & ROOF PLAN

BLDG 7 - FLOOR PLAN - LEVELS 1 & 2 & ROOF PLAN

BLDG 7 ROOF PLAN & BLDG 9 - FLOOR PLAN & ROOF PLAN

BLDG 1 - EXTERIOR ELEVATIONS BLDG 2 - EXTERIOR ELEVATIONS BLDGS 3, 4 & 8 - EXTERIOR ELEVATIONS BLDG 5 - EXTERIOR ELEVATIONS

BLDG 6 - EXTERIOR ELEVATIONS BLDG 7 & 9 - EXTERIOR ELEVATIONS

SITE DETAILS - TRASH ENCLOSURES

- BUILDING ENVELOPE/ STRUCTURAL ITEMS:

 1. EXTERIOR STRUCTURAL ROOF SHEATHING ASSUME 25% REPLACEMENT **EXTERIOR STRUCTURAL WALL SHEATHING - ASSUME 25% REPLACEMENT**
- EXTERIOR GYPSUM BOARD SHEATHING ASSUME 25% REPLACEMENT
- **BALCONY SUPPORT POST REPLACEMENT** ASSUME 25% REPLACEMENT
- **BALCONY RAILING REPLACEMENT** ASSUME 20% REPLACEMENT
- **CRAWLSPACE REPAIRS** SCOPE TBD
- RELOCATE OR BURY EXISTING SURFACE MOUNTED WIRING SCOPE TBD MURAL REPLACEMENT - FHDC TO COORDINATE NEW MURAL, GC TO HOLD
- ALLOWANCE FOR NEW MURAL IN BUDGET. ROOF VENTING REPLACEMENT - CONTRACTOR TO FIELD VERIFY & REPLACE
- STRUCTURAL REPAIRS SCOPE TBD COLUMNS & NEW METAL BRACKET CONNECTIONS
- **DRY ROT REPAIRS** SCOPE TBD
 - WALL FRAMING
 - TRUSSES **CAVITY INSULATION**

BUILDING INTERIOR ITEMS: ATTIC FIRE WALL REPAIR - SCOPE TBD

- DRYWALL REPAIRS FOR MEPF SCOPE & ETO SCOPE SCOPE TBD. (DRYWALL FOR KNOWN SCOPE FOR WINDOW AND DOOR REPLACEMENT AND NEW OFFICE WALL TO BE SEPARATE LINE ITEM IN BUDGET)
- **FLOORING** FULL FLOOR REPLACEMENT WHEN UNIT RESIDENTS ARE REQUIRED TO RELOCATE FOR OTHER SCOPE OF WORK (ASSUME 31 UNITS -CROSS REFERENCE A3.00)
- FLOORING UNDERLAYMENT REPAIRS SCOPE TBD
- WATER HEATERS REPLACE 50% OF UNITS
- **APPLIANCES** REPLACE 75% OF UNITS (REFERENCE SPECS) REFRIGERATOR RANGE/ STOVE

- PLAZA REPAIR SCOPE TBD
- MINOR GRADING & PEA GRAVEL AROUND BUILDINGS SCOPE TBD
- CATCH BASIN/ MISCELLANEOUS SITE DRAINAGE WORK SCOPE TBD
- CONCRETE FLATWORK REPAIRS (PER HHPR DOCUMENT) SCOPE TBD
- **STRIPING REPAIRS** SCOPE TBD

SITE INFORMATION:

CONTRACTOR SHALL PROVIDE COMPLETE DESIGN AND DOCUMENTATION AS REQUIRED FOR SUBMISSION TO, AND APPROVAL OF ARCHITECT, OWNER, AND **GOVERNING BUILDING DEPARTMENT:**

DEFERRED SUBMITTALS:

UPON COMPLETION OF REVIEW BY ARCHITECT AND ENGINEER OF RECORD THE CONTRACTOR SHALL BE RESPONSIBLE FOR ROUTING DOCUMENTS TO PERMIT AGENCY FOR PLAN REVIEW AND PAYING ANY PLANS CHECK AND PERMIT FEES.

ITEMS:

- PLUMBING EQUIPMENT GRAVITY SUPPORT, ANCHORAGE & SEISMIC BRACING. 2 ELECTRICAL EQUIPMENT GRAVITY SUPPORT, ANCHORAGE & SEISMIC BRACING.
- 3 MECHANICAL EQUIPMENT GRAVITY SUPPORT, ANCHORAGE & SEISMIC BRACING.
- 4 FENCES (ABOVE 7-FT)
- 5 CMU SCREENING WALLS

SEPARATE PERMITS:

- 1 HEATING, VENTILATING, AND AIR CONDITIONING SYSTEMS AS REQUIRED.
- 2 ELECTRICAL AND LOW-VOLTAGE SYSTEMS AS REQUIRED.
- 3 PLUMBING SYSTEMS AS REQUIRED.
- 4 RADON SYSTEMS AS REQUIRED.

SITE AREA: 2.96 ACRES

GENERAL INFORMATION:

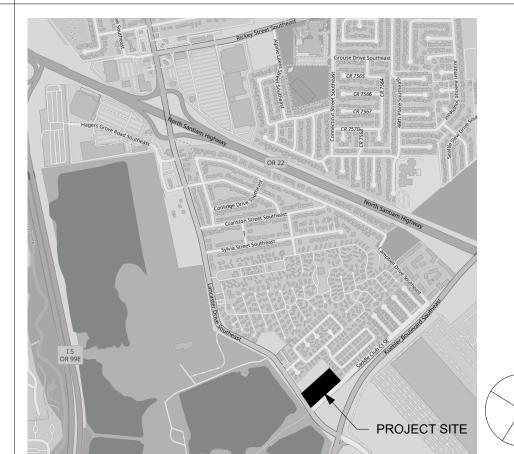
TAX LOT #: MARION COUNTY - 082W06DA00300

ZONING: MULTIPLE FAMILY RESIDENTIAL 2 (RM2)

LANDSCAPE AREA: EXISTING TO REMAIN **VEHICLE PARKING:** EXISTING TO REMAIN

BICYCLE PARKING: EXISTING TO REMAIN

VICINITY MAP:



CENTER LINE

— — — MATCH LINE

- - - - HIDDEN

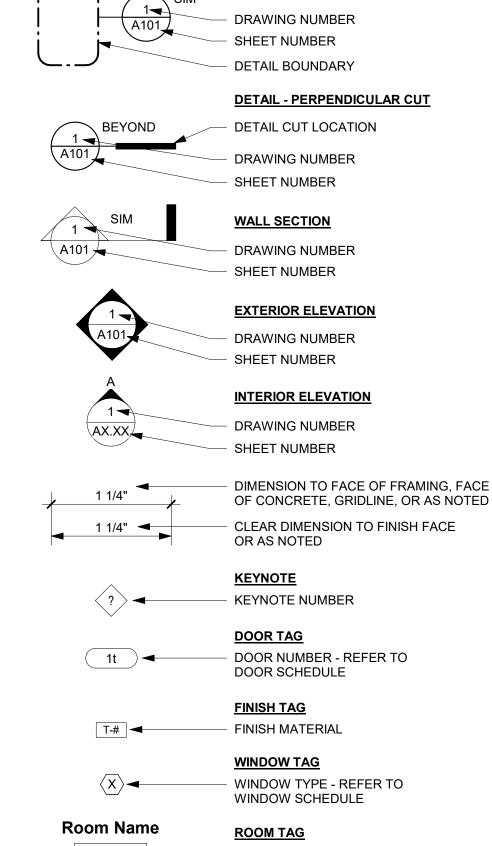
---- OVERHEAD

GENERAL PROJECT NOTES:

- THESE NOTES ARE A SUPPLEMENT TO THE PROJECT SPECIFICATIONS. ANY DISCREPANCY FOUND AMONG THE DRAWINGS, SPECIFICATIONS, AND NOTES SHALL BE PROMPTLY REPORTED TO THE ARCHITECT IN WRITING ON SUCH FORM AS REQUIRED BY THE CONTRACT DOCUMENTS. ANY WORK DONE BY THE CONTRACTOR AFTER DISCOVERY OF SUCH DISCREPANCY SHALL BE DONE AT
- THESE DOCUMENTS CONTAIN NOTES THAT MAY APPLY GENERALLY TO ALL DESIGN ELEMENTS, SPECIFICALLY TO ONE SHEET, OR SPECIFICALLY TO ONE OR MORE DESIGN ELEMENTS. ANY ALTERATION. MODIFICATION. DELETION. OR ADDITION TO THE NOTES BY WRITING, ACT OR FAILURE TO ACT, SHALL BE CARRIED OUT ONLY WITH THE PRIOR EXPRESS WRITTEN CONSENT AND APPROVAL OF THE ARCHITECT.
- ALL FEATURES OF CONSTRUCTION NOT FULLY SHOWN SHALL BE THE SAME TYPE AND CHARACTER AS SHOWN FOR SIMILAR CONDITIONS.
- IF ANY DISCREPANCIES ARE KNOWN OR DISCOVERED BETWEEN THE DRAWINGS AND SPECIFICATIONS AND OBSERVED OR VERIFIED CONDITIONS AT THE PROJECT, CONTRACTOR SHALL REPORT THESE ITEMS PROMPTLY TO THE ARCHITECT IN WRITING.
- ALL DIMENSIONS ARE TO FACE OF STRUCTURE OR GRIDLINE, UNLESS OTHERWISE NOTED.
- IN NO CASE SHALL WORKING DIMENSIONS BE SCALED FROM THE DRAWINGS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CROSS CHECK THE DRAWINGS AND DIMENSIONS SHOWN WITH RELATED REQUIREMENTS IDENTIFIED ON OTHER TRADE DRAWINGS (CIVIL, LANDSCAPE, STRUCTURAL MECHANICAL, ELECTRICAL, PLUMBING, AND OTHER DRAWINGS AS APPLICABLE). NOTIFY ARCHITECT OF ANY DISCREPANCIES IN WRITING PRIOR TO COMMENCEMENT OF THE WORK.
- PROVIDE BLOCKING, BACKING, FRAMING FOR REQUIRED FASTENING AND SUPPORT WITHIN ALL WALLS HAVING WALL-MOUNTED COMPONENTS.
- ALL DETAIL CALLOUTS ARE TYPICAL AND ASSUMED TO BE IN MULTIPLE LOCATIONS THROUGHOUT THE PROJECT. PRIOR TO BID. ALL LOCATIONS AND QUANTITIES SHALL BE OBSERVED AND INCLUDED IN THE COST OF THE WORK.
- WHERE A GIVEN MATERIAL IS INDICATED IN DRAWINGS OR SPECIFICATIONS, IT SHALL BE PROVIDED THROUGHOUT THE LENGTH AND HEIGHT OF WALLS, PARTITIONS, PANELS, WINDOWS, AND OTHER CONTIGUOUS SECTIONS, OR IN THE ASSEMBLY DETAIL IN WHICH IT OCCURS, FOR OTHER SIMILAR LOCATIONS THROUGHOUT THE PROJECT, UNLESS ANOTHER MATERIAL IS INDICATED OR OTHERWISE NOTED.

DETAIL - PARALLEL CUT

DRAWING SYMBOLS:



ROOM NUMBER

DRAWING REVISION

REVISION NUMBER

101

BIDDER/ DESIGN SCOPE NOTES:

MECHANICAL BIDDER-DESIGN SCOPE ITEMS:

- APPLICABLE TO ALL UNITS:
- NEW COVE HEATERS TO REPLACE EXISTING CADET HEATERS IN ALL UNIT BEDROOMS.
- NEW RANGE HOOD REPLACEMENT WITH NEW RIGID DUCTING (CONTRACTOR TO VERIFY SIZE IN FIELD) - REFER TO SPECIFICATIONS FOR RANGE HOOD.
- NEW BATHROOM EXHAUST FANS WITH NEW RIGID DUCTING AT ALL UNITS. PROVIDE CONTINUOUSLY RUNNING FAN IN LOW MODE WITH OCCUPANCY SENSOR TO ENGAGE BOOST MODE WHEN OCCUPIED (PANASONIC WHISPERGREEN OR SIMILAR). INSULATE ALL DUCTING AT ATTIC AREAS. NEW DUCTING AT ALL LOCATIONS THROUGHOUT UNITS AND ATTIC SPACES (CONTRACTOR TO VERIFY
- SIZES IN FIELD). NEW FRESH AIR SUPPLY STRATEGY (NEW WINDOWS WILL NOT HAVE TRICKLE VENTS).
- ACCESS PANELS AS REQUIRED FOR EQUIPMENT/ DESIGN.

NEW EXHAUST CAPS AT ALL EXTERIOR PENETRATIONS (ASSUME PRE-PRIMED METAL).

- BUILDING 1 SCOPE: NEW COMPLETE HVAC SYSTEM FOR ALL COMMON AREAS.
- NEW VENTILATION SPECIFICALLY NEEDED AT PANTRY.
- NEW FRESH AIR SUPPLY STRATEGY (NEW WINDOWS WILL NOT HAVE TRICKLE VENTS). ACCESS PANELS AS REQUIRED FOR EQUIPMENT/ DESIGN.
- NEW EXHAUST CAPS AT ALL EXTERIOR PENETRATIONS (ASSUME PRE-PRIMED METAL).

BUILDING 3 SCOPE:

- REPLACEMENT OF GRILLE/ EXHAUST FAN AT TOP OF STAIRS IN TOWNHOMES WITH AUTOMATIC CONTROLS AND TIE TO BATHROOM DUCTING.
- REFER TO ETO SCOPE DESCRIPTION BELOW FOR RELATED WORK.

ELECTRICAL BIDDER-DESIGN SCOPE ITEMS:

- ELECTRICAL ITEMS AND COORDINATION AS NEEDED FOR COORDINATION WITH OTHER SCOPES, INCLUDING BUT NOT LIMITED TO MECHANICAL, PLUMBING, LOW VOLT, RADON, FIRE, ETC. & ETO SCOPES.
- APPLICABLE TO ALL UNITS:
 - NEW DOOR BELL AT ALL EXISTING LOCATIONS.
 - NEW EXTERIOR RATED RECEPTACLES AT ALL EXISTING LOCATIONS.
 - REPLACE RANGE HOOD INCANDESCENT BULB WITH LED BULB (IF APPLICABLE). NEW LED LIGHTING THROUGHOUT - REFER TO NOTE F BELOW.
 - APPLICABLE TO ADA UNITS:

- SAME ITEMS AS LISTED ABOVE FOR ALL UNITS.
- PROVIDE NEW WALL MOUNTED SWITCH CONNECTION TO NEW RANGE HOODS IN ADA UNITS. SEPARATE SWITCH FOR LIGHT AND FAN CONTROLS.

APPLICABLE TO ALL COMMON BUILDING AREAS:

- NEW EXTERIOR RATED RECEPTACLES AT ALL EXISTING LOCATIONS.
- PROVIDE NEW WALL MOUNTED SWITCH CONNECTION TO NEW RANGE HOODS IN ADA UNITS.
- SEPARATE SWITCH FOR LIGHT AND FAN CONTROLS. NEW LED LIGHTING THROUGHOUT - REFER TO NOTE F BELOW
- NEW OFFICE (OFFICE 8) IN BUILDING 1:
- NEW LIGHTING AND LIGHTING CONTROLS AS REQUIRED BY OWNER REFER TO NOTE F BELOW.
- ADJUST LIGHTING AS REQUIRED IN OFFICE 7 TO COORDINATE WITH NEW OFFICE 8. PROVIDE SWITCHING, CONVENIENCE POWER AND LOW-VOLTAGE ITEMS AS REQUIRED BY OWNER.
- PROVIDE ACOUSTIC PUTTY PAD AT ALL DEVICES IN NEW WALL PER KEYNOTE ON A2.01.
- NEW LED AND ENERGY STAR CERTIFIED LIGHTING AT ALL FIXTURES IN PROJECT, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:
- INTERIOR LIGHTING:
 - NEW UNIT INTERIOR LIGHT FIXTURE REPLACEMENT W/ CEILING FANS IN ALL BEDROOMS SEPARATELY CONTROLLED LIGHTING AND FAN.
 - NEW COMMON AREA INTERIOR LIGHTING REPLACEMENT, INCLUDING NEW OFFICE.
 - NEW UNIT ENTRY SCONCE LIGHTING REPLACEMENT
 - MISCELLANEOUS EXTERIOR BUILDING LIGHTING REPLACEMENT.
- PARKING LOT LIGHTING REPLACEMENT
- SITE PATH LIGHTING REPLACEMENT.
- MISCELLANEOUS OTHER LIGHTING FIXTURE REPLACEMENT AS APPLICABLE (IE:
- NEW COMMON AREA EMERGENCY SIGNAGE & LIGHTING AS REQUIRED.
- LIGHTING CONTROLS MATCH EXISTING FOR ALL AREAS. CONFIRM W/ OWNER IF THERE ARE NEW
- CODE REQUIREMENTS FOR LIGHTING CONTROLS THAT IMPACT THIS PROJECT. COORDINATE LIGHTING FIXTURE PACKAGE WITH OWNER.

PLUMBING BIDDER-DESIGN SCOPE ITEMS:

- NEW WATER HEATER AND PAN AT IDENTIFIED UNITS ON SHEET A3.00 (OWNER CONFIRMED WATER HEATERS ARE ELECTRIC - CONTRACTOR TO VERIFY SIZES IN FIELD). CONFIRM ANY CODE DRAINAGE REQUIREMENTS AND COORDINATE WITH OWNER.
- PROVIDE NEW SINK & FAUCET AT UNITS WITH COUNTERTOP REPLACEMENT AT IDENTIFIED UNITS ON SHEET A3.00 (REPLACE WITH LOW FLOW OPTION WITH PULL OUT HOSE SIMILAR TO EXISTING).
- (2) LAUNDRY ROOMS REMOVE EXISTING SINK & REPLACE WITH NEW ACCESSIBLE SINK, PIPE SLEEVE & WALL HANG MOUNTING KIT (AMERICAN STANDARD, DECORUM 9024001EC.020 OR SIMILAR) - DRYWALL REPAIRS AND BLOCKING AS REQUIRED.
- NEW FREEZE PROOF HOSE BIBS AT ALL EXTERIOR LOCATIONS.
- CURRENT ASSUMPTION IS NO GAS SCOPE IS REQUIRED FOR PROJECT, CONTRACTOR TO VERIFY IN FIELD

FIRE BIDDER-DESIGN SCOPE ITEMS:

- PROVIDE NEW FIRE EXTINGUISHER AND FIRE EXTINGUISHER CABINETS AT EXISTING LOCATIONS. CONTRACTOR TO CONFIRM EXISTING QUANTITIES AND LOCATIONS IN FIELD. CABINETS SHALL NOT PROJECT MORE THAN 4" OFF FACE OF WALL FOR ACCESSIBILITY COMPLIANCE.
- REPLACE ALL SMOKE DETECTORS WITH NEW COMBINATION SMOKE/ CARBON MONOXIDE DETECTORS.

SEPARATE PROJECT (BIDDER-DESIGN ETO SCOPE ITEMS):

- NEW DUCTLESS MINI SPLIT AT EACH UNIT
 - 4-BR UNITS: 1 OUTDOOR UNIT, 2 INDOOR UNITS. ALL OTHER UNITS: 1 OUTDOOR UNIT, 1 INDOOR UNIT.
 - COORDINATE ELECTRICAL AND PLUMBING WORK AS REQUIRED FOR THIS SCOPE OF WORK.

PRELIMINARY NOT FOR CONSTRUCTION

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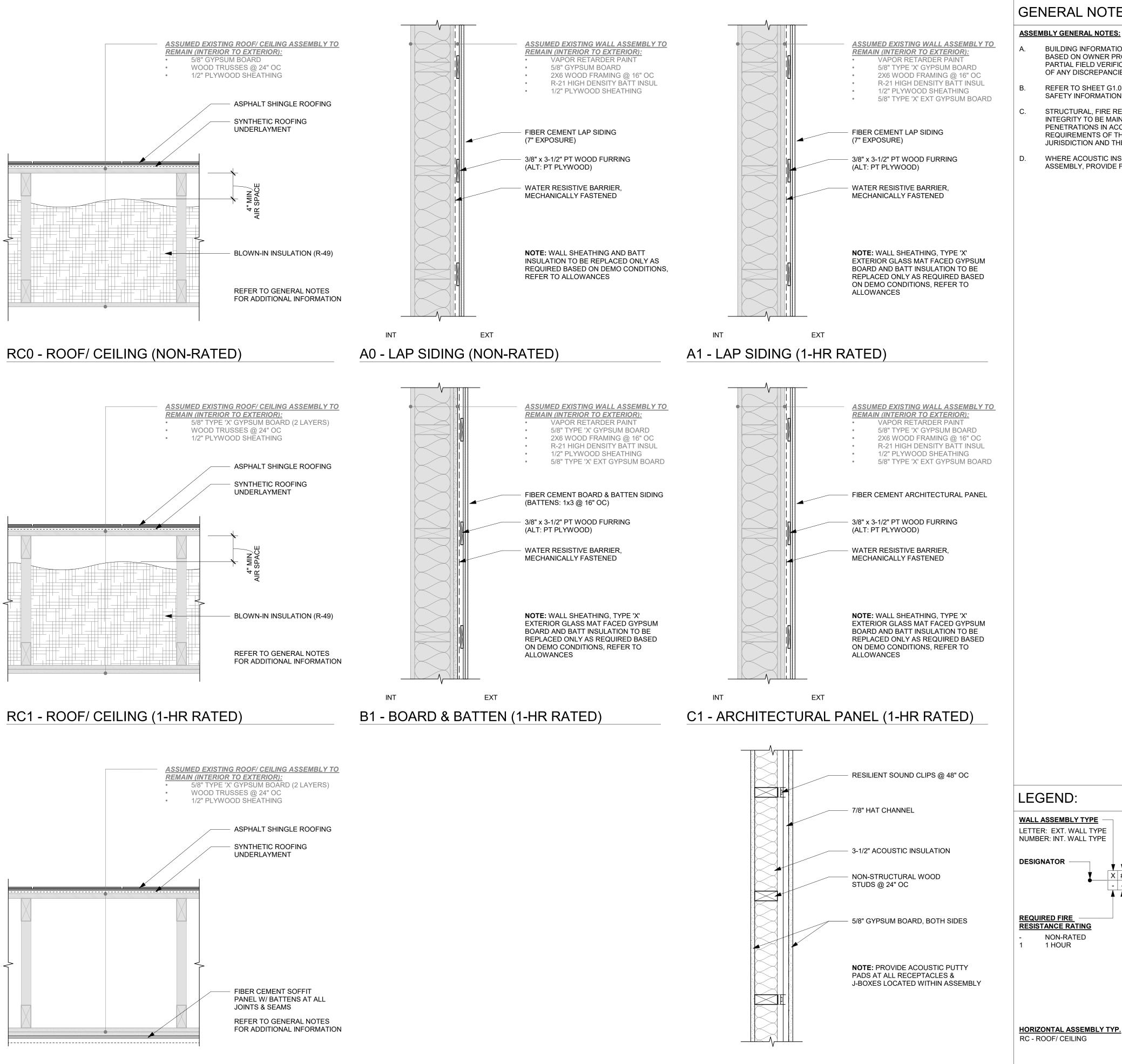
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ABBREVIATIONS / SYMBOLS & GENERAL NOTES

PROJECT NO.

03.31.25

24007



1 - NEW OFFICE WALL (NON-RATED)

RC2- ROOF/ CEILING @ STAIRWELLS (1-HR RATED)

GENERAL NOTES:

ASSEMBLY GENERAL NOTES:

BUILDING INFORMATION AND EXISTING CONDITIONS BASED ON OWNER PROVIDED DOCUMENTS AND PARTIAL FIELD VERIFICATION. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN FIELD.

REFER TO SHEET G1.01 FOR ADDITIONAL FIRE LIFE SAFETY INFORMATION.

STRUCTURAL, FIRE RESISTIVE AND ACOUSTIC INTEGRITY TO BE MAINTAINED AT ALL PENETRATIONS IN ACCORDANCE WITH THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION AND THE GOVERNING CODES.

WHERE ACOUSTIC INSULATION IS INCLUDED IN THE ASSEMBLY, PROVIDE FOR FULL HEIGHT OF WALL.

NOT FOR CONSTRUCTION

PRELIMINARY

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ASSEMBLIES

PROJECT NO.

24007

03.31.25

REVISIONS: #\

PRIMARY COMPONENT

3-1/2" STUD 5-1/2" STUD

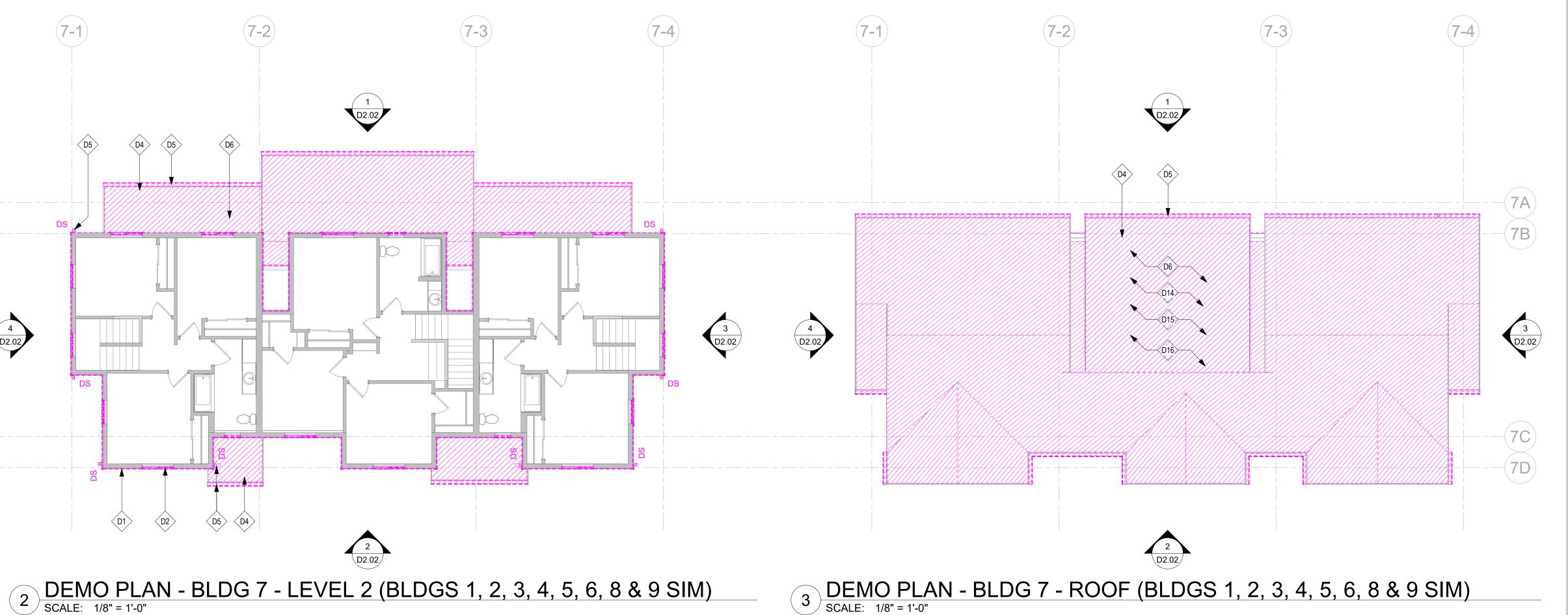
EXISTING TO

NON-INSULATED ACOUSTIC BATT

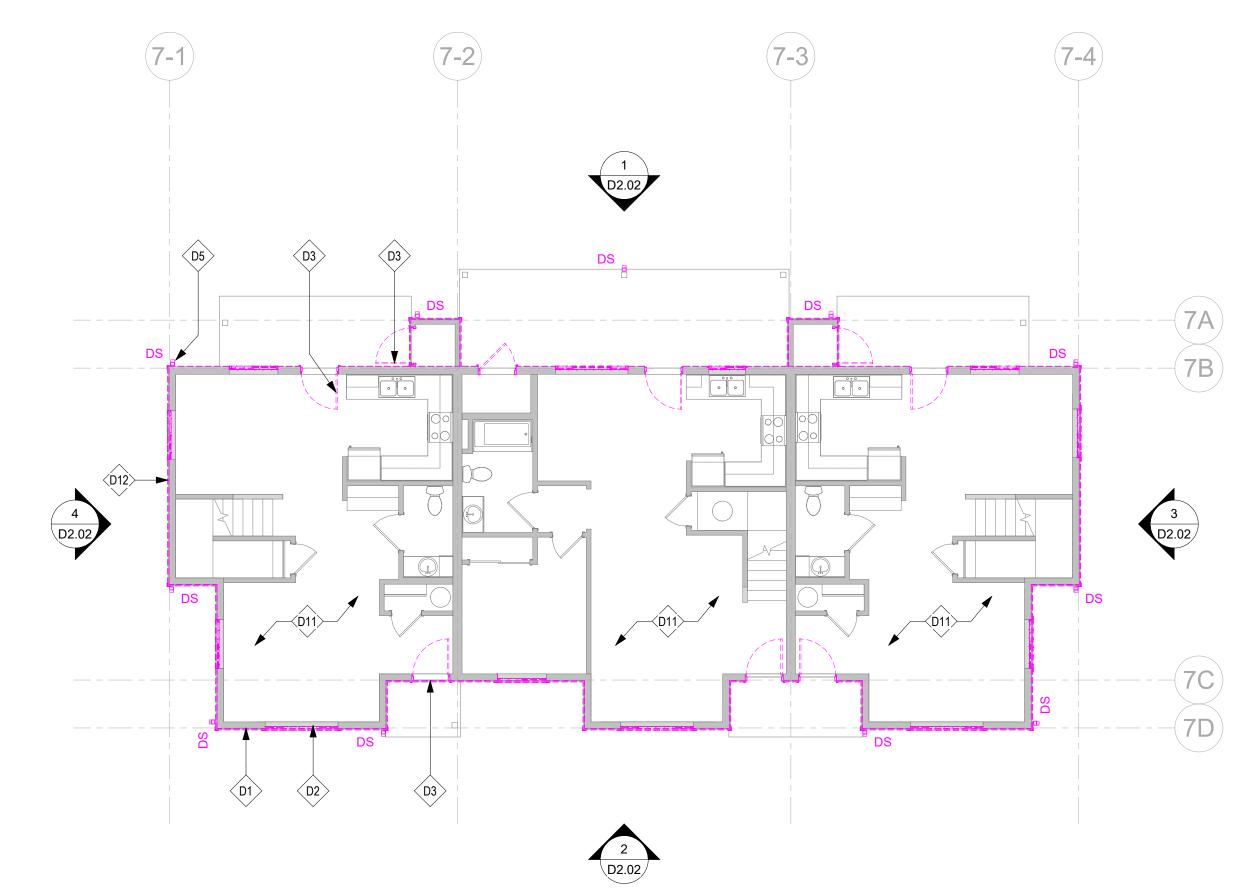
DESIGNATOR

THERMAL*

* EXISTING TO REMAIN



3 DEMO PLAN - BLDG 7 - ROOF (BLDGS 1, 2, 3, 4, 5, 6, 8 & 9 SIM)
SCALE: 1/8" = 1'-0"



DEMO PLAN - BLDG 7 - LEVEL 1 (BLDGS 1, 2, 3, 4, 5, 6, 8 & 9 SIM)

SCALE: 1/8" = 1'-0"

LEGEND:

DEMO FLOOR PLAN LEGEND:

EXISTING WALL

DEMO

DEMO EXISTING WINDOW

DEMO EXISTING DOOR

DEMO EXISTING ROOFING - PROTECT

EXISTING SHEATHING & FASCIA

DEMO DOWNSPOUT

ITEMS NOTE SHOWN IN BLDG 7

PLANS, BUT APPLICABLE TO

DEMOLITION SCOPE:

(D7) TYPICAL AT ALL BLDGS

(D8) TYPICAL AT ALL BLDGS

(D9) TYPICAL AT BLDGS 1, 2, 5 & 6

(D10) TYPICAL AT BLDGS 1, 2 & 6

⟨D13⟩ TYPICAL AT ALL BLDGS

GENERAL NOTES:

DEMO PLAN GENERAL NOTES:

- **BUILDING INFORMATION AND EXISTING CONDITIONS** BASED ON OWNER PROVIDED DOCUMENTS AND PARTIAL FIELD VERIFICATION. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN FIELD.
- EXISTING DIMENSIONS ARE FOR REFERENCE ONLY AND TO FACE OF STUD OR GRIDLINE.
- DESCRIPTION OF DEMOLITION WORK IS NOT INTENDED TO BE ALL INCLUSIVE. COORDINATE AREAS, MATERIALS, SYSTEMS SCHEDULED FOR REMOVAL WITH PROPOSED PRIOR TO COMMENCEMENT OF ANY WORK.
- THE TERMS 'DEMO' AND 'REMOVE' INDICATE THAT THE ITEM BECOMES THE PROPERTY OF THE GENERAL CONTRACTOR FOR DISPOSAL. THE TERM 'SALVAGE' THE ITEM TO BE SAVED FOR RE-INSTALLATION OR TURNED OVER TO THE OWNER AS NOTED IN THE DRAWINGS OR SPECIFICATIONS.
- ANY KNOWN, OBSERVED OR VERIFIED CONDITIONS THAT ARE MATERIAL TO THE PERFORMANCE OF THE WORK DESCRIBED BY THE CONTRACT DOCUMENTS OR OTHERWISE REQUIRE INTERPRETATION SHALL BE PROMPTLY REPORTED TO THE ARCHITECT IN WRITING ON THE FORMS REQUIRED IN THE CONTRACT DOCUMENTS.
- ALL LOCATIONS OF REMOVED OR DEMOLISHED ITEMS, SITE COMPONENTS AND SYSTEMS WHERE ADJACENT SURFACES ARE TO REMAIN, PATCH AND REPAIR AFFECTED AREA(S) REQUIRING PATCHING AND REPAIRING. PROVIDE FINISH MATERIALS, COLORS AND TEXTURES TO MATCH SURROUNDING
- APPURTENANCES & MISCELLANEOUS ENVELOPE PENETRATIONS ARE NOT SHOWN IN DOCUMENTS, LOCATIONS AND QUANTITIES TO BE FIELD VERIFIED BY CONTRACTOR PRIOR TO BIDDING.
- ROOF PENETRATIONS AND VENTING NOT SHOWN. ALL ITEMS TO BE FIELD VERIFIED BY CONTRACTOR PRIOR TO BIDDING.
- REFER TO SHEET G1.02 FOR TYPICAL NOTES REGARDING DESIGN BUILD MECHANICAL, ELECTRICAL, PLUMBING, FIRE SPRINKLER AND LOW
- FOR SITE DEMOLITION SCOPE REFER TO SHEET
- FOR UNIT INTERIOR DEMOLITION SCOPE REFER TO
- FOR COMMON AREA INTERIOR DEMOLITION SCOPE REFER TO SHEETS A2.01 & A2.11.
 - ALL BUILDINGS AND MAINTENANCE SHEDS ON SITE TO HAVE SIMILAR DEMOLITION SCOPE. PLEASE NOTE THAT ALL KEYNOTES ARE TYPICAL FOR ALL APPLICABLE STRUCTURES ON SITE.
- MECHANICAL, ELECTRICAL, PLUMBING, LOW-VOLTAGE AND FIRE TRADES TO COORDINATE DEMOLITION AND PATCH/ REPAIR WORK REQUIRED WITH GENERAL CONTRACTOR FOR THEIR SCOPES.
- ANY AND ALL DEMOLITION AND/ OR REMOVAL OF ITEMS SHOULD BE OBSERVED BY CONTRACTOR TO CONFIRM EXISTING CONDITIONS ARE ACCEPTABLE PRIOR TO INSTALLATION OF NEW ITEMS.

KEYNOTES: (x)

- D1 DEMO EXISTING CLADDING, WRB SYSTEM AND TRIM,
- D2 DEMO EXISTING WINDOWS, TYPICAL

D3 DEMO EXISTING EXTERIOR DOORS, TYPICAL

- D4 DEMO EXISTING ASPHALT ROOFING AND UNDERLAYMENT, TYPICAL
- D5 DEMO EXISTING GUTTERS AND DOWNSPOUTS, TYPICAL
- D6 SALVAGE EXISTING ROOF VENTS FOR RE-USE IF POSSIBLE, OR DEMO AND REPLACE IN KIND, TYPICAL

MOUNTED SIGNAGE, VENTS, FIRE ALARM BELLS, ETC.

- D7 DEMO ALL EXISTING APPURTENANCES FOR REPLACEMENT, INCLUDING BUT NOT LIMITED TO: EXTERIOR LIGHT FIXTURES, DOOR BELLS, OUTDOOR RATED ELEC RECEPTACLES, HOSE BIBS, BUILDING
- SALVAGE ALL FIRE EXTINGUISHERS & CABINETS FOR REINSTALL, TYPICAL
- D9 DEMO EXISTING WOOD FENCE, TYPICAL
- D10 DEMO EXISTING TRAFFIC COATING, TYPICAL
- D11 SELECT UNIT DEMO SCOPE REFER TO GENERAL NOTES FOR ADDITIONAL INFORMATION
- D12 EXISTING EXTERIOR MOUNTED ELECTRICAL EQUIPMENT, LOW VOLTAGE PANELS & METERS TO REMAIN, TYPICAL - LOCATIONS AND QUANTITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO BIDDING
- D13 EXISTING GAS METER TO REMAIN, TYPICAL LOCATIONS AND QUANTITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO BIDDING
- D14 REMOVE ALL INSULATION IN ATTICS, TYPICAL
- D15 REPAIR AND PATCH POINTS FOR AIR LEAKAGE IN ATTIC AREA (ASSUME SPRAY FOAM)
- D16 REPAIR DRAFTSTOPPING AND FIRE SEPARATION WALL AS REQUIRED, TYPICAL

PRELIMINARY NOT FOR CONSTRUCTION



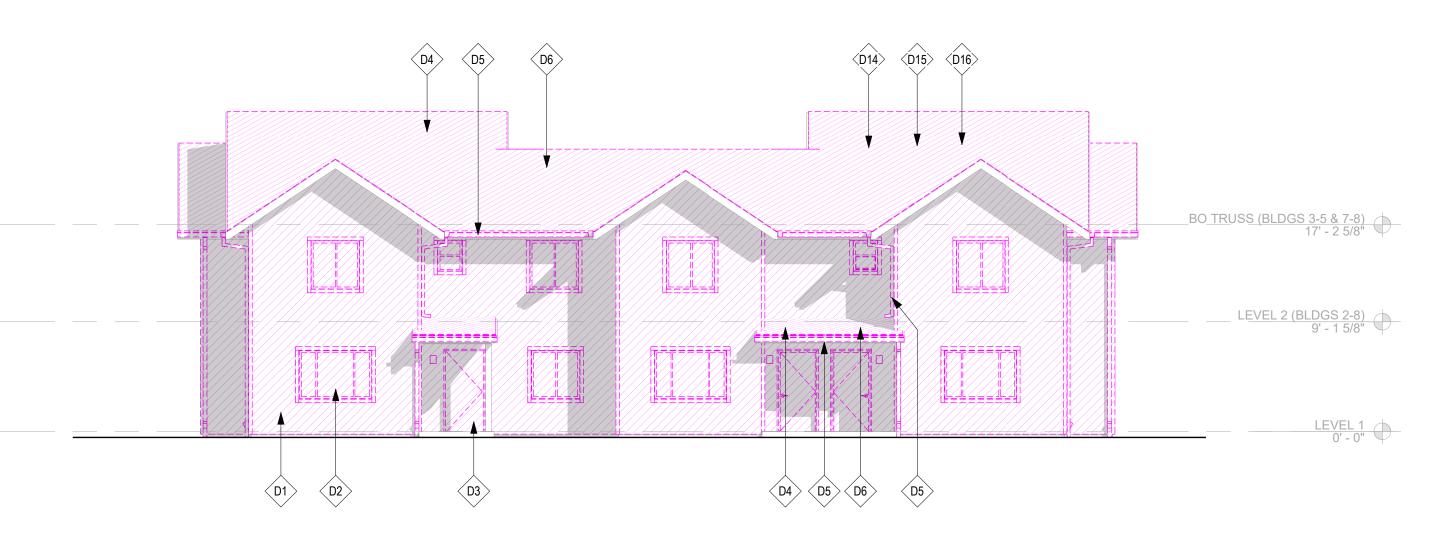
COLONIA LIBERTAD 1 2911 SADDLE CLUB ROAD SALEM, OREGON 97317

DEMOLITION, TYPICAL FLOOR PLAN & ROOF PLAN

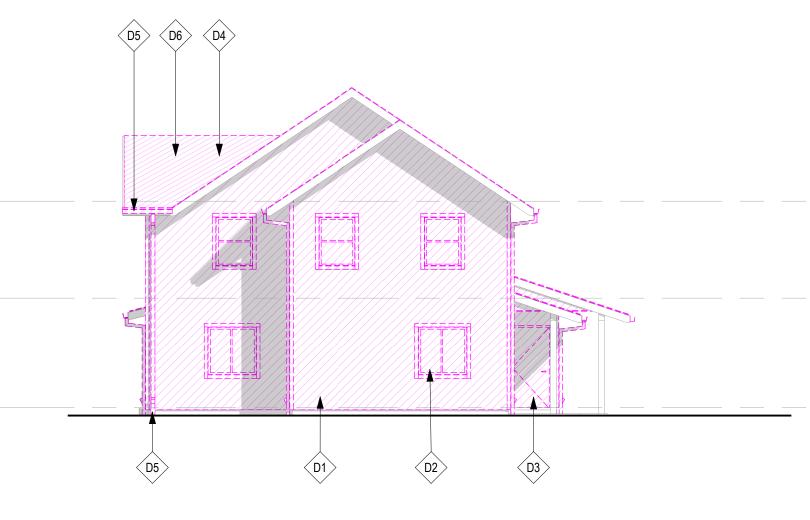
> PROJECT NO. 24007

03.31.25

1 TYPICAL DEMO ELEVATION - BUILDING 7



2 TYPICAL DEMO ELEVATION - BUILDING 7
SCALE: 1/8" = 1'-0"



3 TYPICAL DEMO ELEVATION - BUILDING 7
SCALE: 1/8" = 1'-0"



ITEMS NOTE SHOWN IN BLDG 7 PLANS, BUT APPLICABLE TO DEMOLITION SCOPE:

D7 TYPICAL AT ALL BLDGS

D8 TYPICAL AT ALL BLDGS

D9 TYPICAL AT BLDGS 1, 2, 5 & 6

(D10) TYPICAL AT BLDGS 1, 2 & 6

(D13) TYPICAL AT ALL BLDGS

GENERAL NOTES:

DEMO PLAN GENERAL NOTES:

- A. BUILDING INFORMATION AND EXISTING CONDITIONS BASED ON OWNER PROVIDED DOCUMENTS AND PARTIAL FIELD VERIFICATION. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN FIELD.
- EXISTING DIMENSIONS ARE FOR REFERENCE ONLY AND TO FACE OF STUD OR GRIDLINE.
- C. DESCRIPTION OF DEMOLITION WORK IS NOT INTENDED TO BE ALL INCLUSIVE. COORDINATE AREAS, MATERIALS, SYSTEMS SCHEDULED FOR REMOVAL WITH PROPOSED PRIOR TO COMMENCEMENT OF ANY WORK.
- D. THE TERMS 'DEMO' AND 'REMOVE' INDICATE THAT THE ITEM BECOMES THE PROPERTY OF THE GENERAL CONTRACTOR FOR DISPOSAL. THE TERM 'SALVAGE' THE ITEM TO BE SAVED FOR RE-INSTALLATION OR TURNED OVER TO THE OWNER AS NOTED IN THE DRAWINGS OR SPECIFICATIONS.
- ANY KNOWN, OBSERVED OR VERIFIED CONDITIONS THAT ARE MATERIAL TO THE PERFORMANCE OF THE WORK DESCRIBED BY THE CONTRACT DOCUMENTS OR OTHERWISE REQUIRE INTERPRETATION SHALL BE PROMPTLY REPORTED TO THE ARCHITECT IN WRITING ON THE FORMS REQUIRED IN THE CONTRACT DOCUMENTS.
- ALL LOCATIONS OF REMOVED OR DEMOLISHED ITEMS, SITE COMPONENTS AND SYSTEMS WHERE ADJACENT SURFACES ARE TO REMAIN, PATCH AND REPAIR AFFECTED AREA(S) REQUIRING PATCHING AND REPAIRING. PROVIDE FINISH MATERIALS, COLORS AND TEXTURES TO MATCH SURROUNDING AREA(S).
- G. APPURTENANCES & MISCELLANEOUS ENVELOPE PENETRATIONS ARE NOT SHOWN IN DOCUMENTS, LOCATIONS AND QUANTITIES TO BE FIELD VERIFIED BY CONTRACTOR PRIOR TO BIDDING.
- H. ROOF PENETRATIONS AND VENTING NOT SHOWN. ALL ITEMS TO BE FIELD VERIFIED BY CONTRACTOR PRIOR TO BIDDING.
- I. REFER TO SHEET G1.02 FOR TYPICAL NOTES REGARDING DESIGN BUILD MECHANICAL, ELECTRICAL, PLUMBING, FIRE SPRINKLER AND LOW VOLT ITEMS.
- J. FOR SITE DEMOLITION SCOPE REFER TO SHEET A1.01.
- K. FOR UNIT INTERIOR DEMOLITION SCOPE REFER TO SHEET A3.00.
- L. FOR COMMON AREA INTERIOR DEMOLITION SCOPE REFER TO SHEETS A2.01 & A2.11.
- M. ALL BUILDINGS AND MAINTENANCE SHEDS ON SITE TO HAVE SIMILAR DEMOLITION SCOPE. PLEASE NOTE THAT ALL KEYNOTES ARE TYPICAL FOR ALL APPLICABLE STRUCTURES ON SITE.
- I. MECHANICAL, ELECTRICAL, PLUMBING, LOW-VOLTAGE AND FIRE TRADES TO COORDINATE DEMOLITION AND PATCH/ REPAIR WORK REQUIRED WITH GENERAL CONTRACTOR FOR THEIR SCOPES.
- ANY AND ALL DEMOLITION AND/ OR REMOVAL OF ITEMS SHOULD BE OBSERVED BY CONTRACTOR TO CONFIRM EXISTING CONDITIONS ARE ACCEPTABLE PRIOR TO INSTALLATION OF NEW ITEMS.

KEYNOTES: (x)

- D1 DEMO EXISTING CLADDING , WRB SYSTEM AND TRIM, TYPICAL
- D2 DEMO EXISTING WINDOWS, TYPICAL
- D3 DEMO EXISTING EXTERIOR DOORS, TYPICAL
- D4 DEMO EXISTING ASPHALT ROOFING AND UNDERLAYMENT, TYPICAL
- D5 DEMO EXISTING GUTTERS AND DOWNSPOUTS, TYPICAL
- D6 SALVAGE EXISTING ROOF VENTS FOR RE-USE IF POSSIBLE, OR DEMO AND REPLACE IN KIND, TYPICAL
- D7 DEMO ALL EXISTING APPURTENANCES FOR REPLACEMENT, INCLUDING BUT NOT LIMITED TO: EXTERIOR LIGHT FIXTURES, DOOR BELLS, OUTDOOR RATED ELEC RECEPTACLES, HOSE BIBS, BUILDING MOUNTED SIGNAGE, VENTS, FIRE ALARM BELLS, ETC.
- D8 SALVAGE ALL FIRE EXTINGUISHERS & CABINETS FOR REINSTALL, TYPICAL
- D9 DEMO EXISTING WOOD FENCE, TYPICAL
- D10 DEMO EXISTING TRAFFIC COATING, TYPICAL
- D12 EXISTING EXTERIOR MOUNTED ELECTRICAL EQUIPMENT, LOW VOLTAGE PANELS & METERS TO REMAIN, TYPICAL LOCATIONS AND QUANTITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO BIDDING
- D13 EXISTING GAS METER TO REMAIN, TYPICAL LOCATIONS AND QUANTITIES TO BE VERIFIED BY CONTRACTOR PRIOR TO BIDDING
- D14 REMOVE ALL INSULATION IN ATTICS, TYPICAL
- D15 REPAIR AND PATCH POINTS FOR AIR LEAKAGE IN ATTIC AREA (ASSUME SPRAY FOAM)
- D16 REPAIR DRAFTSTOPPING AND FIRE SEPARATION WALL AS REQUIRED, TYPICAL

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COLONIA LIBERTAD 1
2911 SADDLE CLUB ROAD
SALEM, OREGON 97317
LAND USE: DESIGN REVIEW 8
SITE PLAN REIVEW

DEMOLITION - TYPICAL EXTERIOR ELEVATIONS

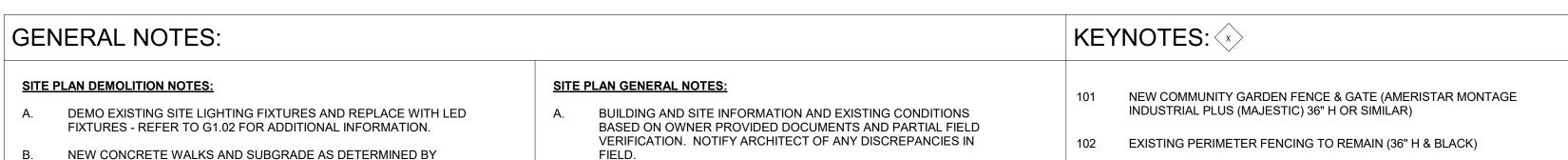
PROJECT NO.

24007

03.31.25

REVISIONS: #

D2.02



OWNER BASED ON ACCESSIBILITY REVIEW DOCUMENT COMPLETED

DEMO EXISTING PLAY STRUCTURE AND SURFACING AND PREP FOR

DEMO EXISTING COMMUNITY GARDEN FENCING.

BY HHPR ON 11/18/2024.

NEW ITEMS TO BE INSTALLED.

- MAINTAIN A POSITIVE SLOPE AWAY FROM BUILDING LINE. PROVIDE SLOPE TO AREA DRAINS OR OPEN AREAS.
- NOT ALL EXISTING SITE ITEMS SHOWN, INCLUDING BUT NOT LIMITED TO: EXISTING BIKE RACKS, WHEEL STOPS, SITE LIGHTING, LANDSCAPING FIRE HYDRANTS, FDCS, ETC.
- PROVIDE DOWNSPOUTS IN SAME LOCATION AS EXISTING AND CONNECT TO BELOW GRADE SYSTEM WHERE APPLICABLE, TYPICAL.
- REFER TO SHEET G1.02 FOR TYPICAL NOTES REGARDING DESIGN BUILD MECHANICAL, ELECTRICAL, PLUMBING, FIRE SPRINKLER AND
- REFER TO SHEET G1.01 FOR ADDITIONAL SITE AND SCOPE INFORMATION, INCLUDING ALLOWANCES.
- OWNER AND CONTRACTOR TO COORDINATE SIDEWALK REPLACEMENT SCOPE BASED ON ACCESSIBILITY REVIEW DOCUMENT CREATED BY HHPR ON 11/18/2024.
- CONTRACTOR TO PROTECT EXISTING TREES, SHRUBS AND MISCELLANEOUS OTHER PLANTS ON SITE THROUGHOUT PROJECT.

- EXISTING PLAY AREA, NEW PLAY STRUCTURE EQUIPMENT OWNER PROVIDED, CONTRACTOR INSTALLED
- EXISTING PLAY AREA, NEW POURED RUBBER SURFACING CONTRACTOR TO COORDINATE BACKFILL. RAT SLAB AND DRAINAGE WITH POURED RUBBER SURFACING - OWNER PROVIDED, CONTRACTOR INSTALLED

LEGEND:

— — — EXISTING PROPERTY LINE

---- ROOF / BUILDINGS EXTENTS ABOVE

----- EXISTING PERIMETER FENCE

NEW COMMUNITY GARDEN FENCE

EXISTING LANDSCAPED AREA

AND ALLOWANCES

PLAY AREA SURFACING

EXISTING COMMUNITY GARDEN AREA

EXISTING CONCRETE PLAZA / PATIO / SIDEWALK

EXISTING ASPHALT DRIVE AND PARKING STALLS

NEW PEA GRAVEL DETAIL, REFER TO 4 / A8.11

EXISTING WOOD MONUMENT SIGN TO BE DEMOLISHED - NEW 4'-6" TALL CMU MONUMENT SIGN IN IT'S PLACE.

PRELIMINARY NOT FOR CONSTRUCTION



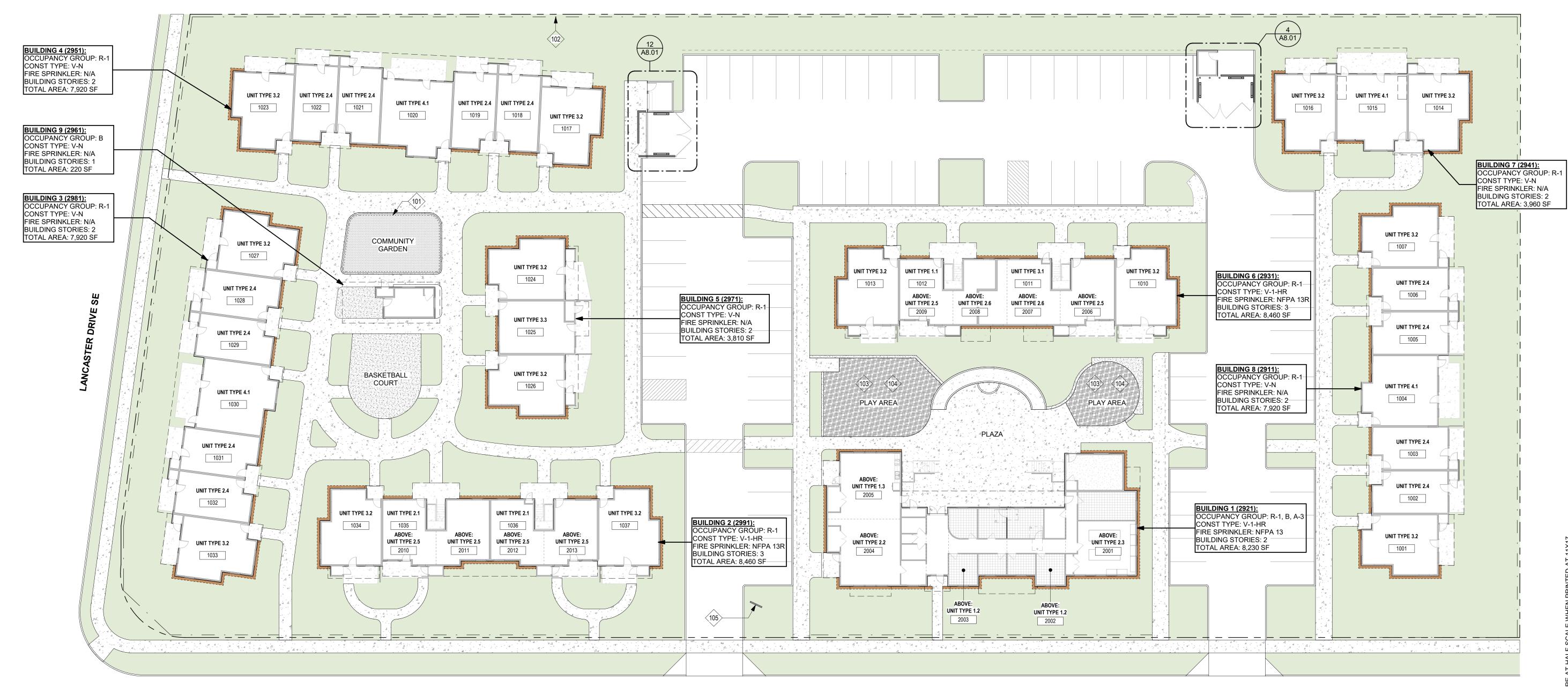
COLONIA LIBERTAD 1 2911 SADDLE CLUB ROAD SALEM, OREGON 97317 : DESIGNATION :

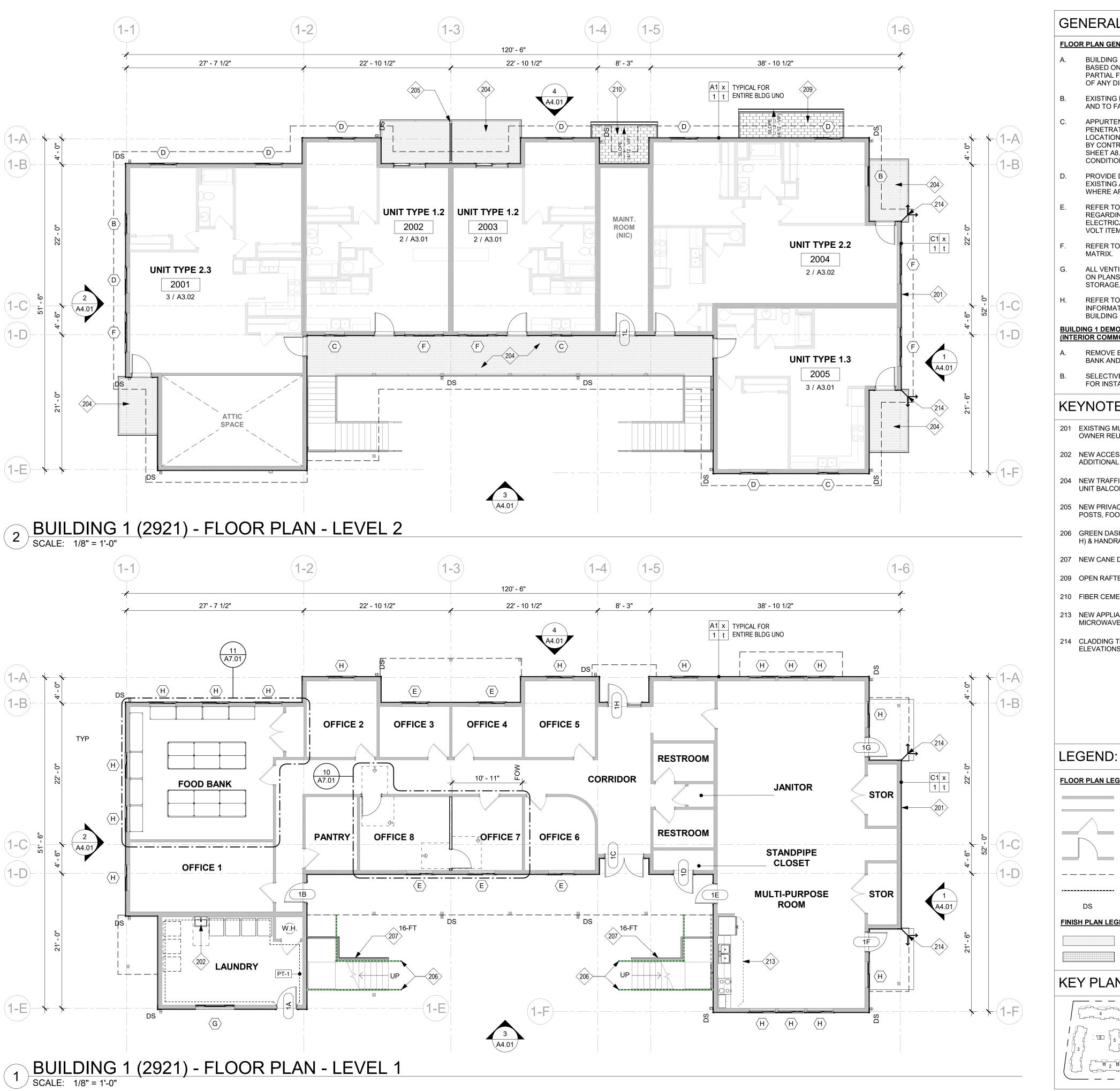
ARCHITECTURAL SITE PLAN

PROJECT NO.

REVISIONS: #\

03.31.25





GENERAL NOTES:

FLOOR PLAN GENERAL NOTES:

- **BUILDING INFORMATION AND EXISTING CONDITIONS** BASED ON OWNER PROVIDED DOCUMENTS AND PARTIAL FIELD VERIFICATION. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN FIELD.
- EXISTING DIMENSIONS ARE FOR REFERENCE ONLY AND TO FACE OF STUD OR GRIDLINE.
- APPURTENANCES & MISCELLANEOUS ENVELOPE PENETRATIONS ARE NOT SHOWN IN DOCUMENTS, LOCATIONS AND QUANTITIES TO BE FIELD VERIFIED BY CONTRACTOR PRIOR TO BIDDING - REFER TO SHEET A8.21 FOR TYPICAL FLASHING DETAIL CONDITIONS.
- PROVIDE DOWNSPOUTS IN SAME LOCATIONS AS EXISTING AND CONNECT TO BELOW GRADE SYSTEM WHERE APPLICABLE, TYPICAL.
- REFER TO SHEET G1.02 FOR TYPICAL NOTES REGARDING DESIGN BUILD MECHANICAL, ELECTRICAL, PLUMBING, FIRE SPRINKLER AND LOW VOLT ITEMS.
- REFER TO SHEET A3.00 FOR UNIT INTERIOR SCOPE MATRIX.
- ALL VENTING FOR MISCELLANEOUS ROOFS SHOWN ON PLANS, INCLUDING BUT NOT LIMITED TO PORCH, STORAGE, AND PATIOS BY CONTRACTOR.
- REFER TO SHEET G3.01 FOR ASSEMBLY INFORMATION & SHEET G1.01 FOR EXISTING BUILDING FIRE LIFE SAFETY INFORMATION.

BUILDING 1 DEMOLITION NOTES (INTERIOR COMMON AREAS):

- REMOVE EXISTING CARPET FLOORING IN FOOD BANK AND PREP SURFACE FOR NEW FLOORING.
- SELECTIVE DEMOLITION AS REQUIRED AT OFFICE 7 FOR INSTALLATION OF NEW WALL AND DOOR.

KEYNOTES: (x)

- 201 EXISTING MURAL BOARDS TO BE SALVAGED FOR OWNER REUSE
- 202 NEW ACCESSIBLE SINK REFER TO G1.02 OR ADDITIONAL INFORMATION
- 204 NEW TRAFFIC COATING AT COMMON WALKWAY AND **UNIT BALCONIES**
- 205 NEW PRIVACY FENCE, BIDDER DESIGNED (STEEL POSTS, FOOTINGS & COMPOSITE CLADDING)
- 206 GREEN DASHED LINE INDICATES NEW GUARDRAIL (42" H) & HANDRAIL (34" H)
- 207 NEW CANE DETECTION (24" H, LENGTH PER PLANS)
- 209 OPEN RAFTERS / STRUCTURE BELOW PAINT
- 210 FIBER CEMENT SOFFIT PANEL PAINT
- 213 NEW APPLIANCES REFRIGERATOR, RANGE/OVEN, MICROWAVE AND RANGE HOOD
- 214 CLADDING TRANSITION POINT, REFER TO EXTERIOR

BLDG 1 - FLOOR PLAN -LEVELS 1 & 2

NEW WALL/ RAINSCREEN CLADDING

NEW DOOR, REFER TO A9.01

DOWNSPOUT, REFER TO 12 / A8.21

PROJECT NO.

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ARCHITECTURE

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E: DESIGN REVIEW &

COLONIA LIBERTAD 1 2911 SADDLE CLUB ROAD SALEM, OREGON 97317

03.31.25

REVISIONS: #

KEY PLAN:

FINISH PLAN LEGEND:

FLOOR PLAN LEGEND:

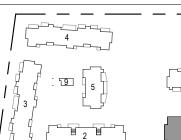
EXISTING WALL

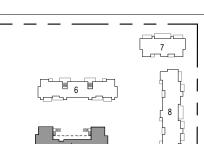
EXISTING DOOR

---- EXISTING ROOF/ PATIO ABOVE

TRAFFIC COATING

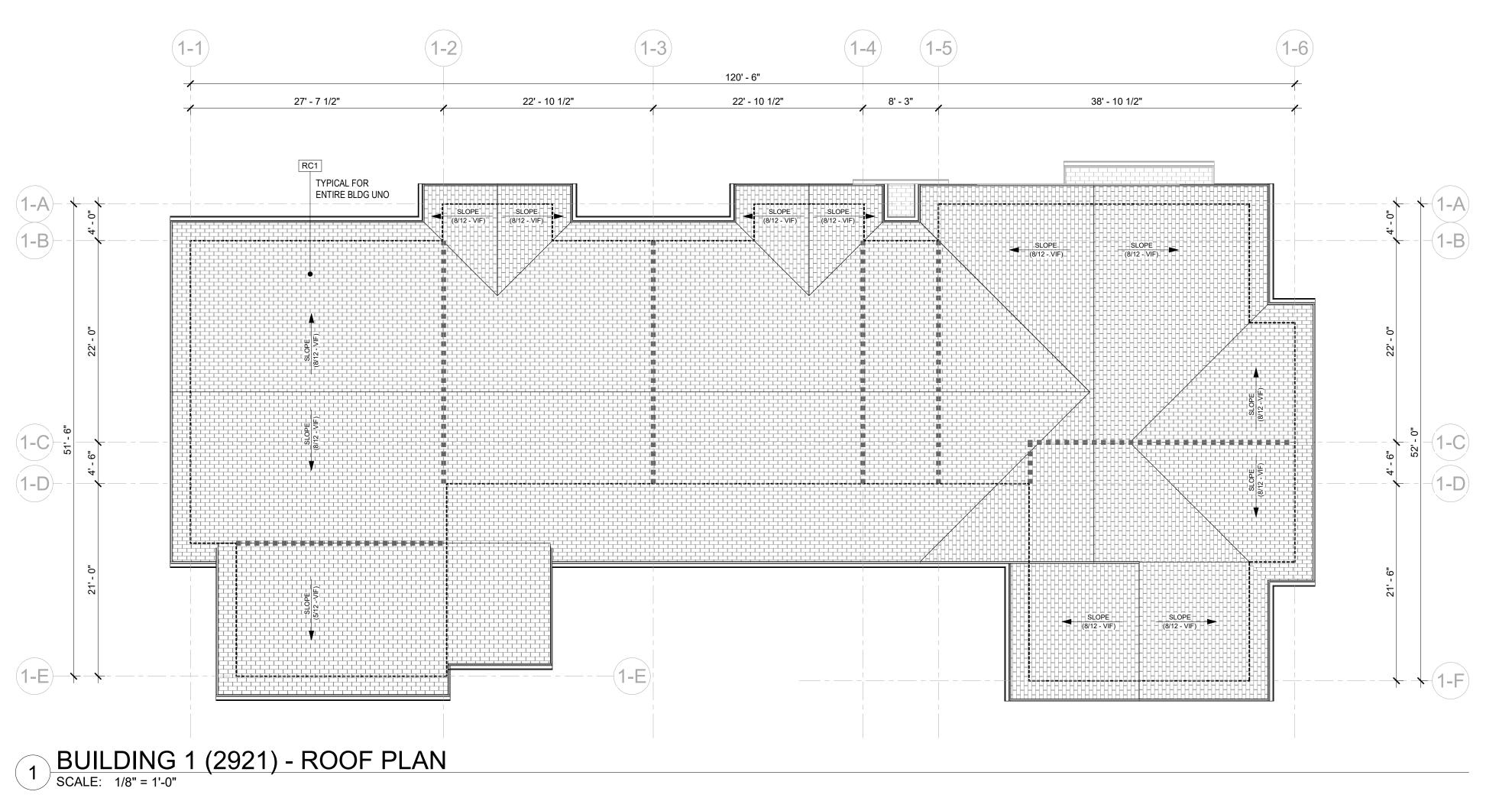
----- EXISTING WALL BELOW





20 MIL LVT FLOORING, REFER TO A9.11





GENERAL NOTES:

ROOF PLAN GENERAL NOTES:

- A. BUILDING INFORMATION AND EXISTING CONDITIONS BASED ON OWNER PROVIDED DOCUMENTS AND PARTIAL FIELD VERIFICATION. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN FIELD.
- B. ROOF PENETRATIONS ARE NOT SHOWN.
 COORDINATE WITH OTHER WORK SCOPES & FLASH
 PER DETAILS ON A8.51.
- C. INSTALL KICK-OUT FLASHING AT ALL EAVE/ SIDEWALL INTERSECTIONS.
- D. MAINTAIN 20" MINIMUM CLEAR FROM ROOF VALLEYS TO LOW INTAKE VENT STRIPS & STATIC VENTS COORDINATE W/ VALLEY FLASHING DISTANCE FROM ROOF GABLE OR EAVE TO LOW INTAKE VENT STRIPS TO BE 36" MINIMUM PER MANUFACTURER REQUIREMENTS.
- ROOF VENTING TO REMAIN AS IS. CONTRACTOR TO VERIFY ALL VENTING CONDITIONS IN THE FIELD AND REPLACE ALL VENTING IN KIND.

PRELIMINARY NOT FOR CONSTRUCTION



KEYNOTES: 🗴

COLONIA LIBERTAD 1
2911 SADDLE CLUB ROAD
SALEM, OREGON 97317
LAND USE: DESIGN REVIEW
SITE PLAN REIVEW

LEGEND:

ROOF PLAN LEGEND:

----- EXISTING WALL BELOW

ASSUMED EXISTING DRAFTSTOPPING

ASPHALT SHINGLE ROOF SYSTEM

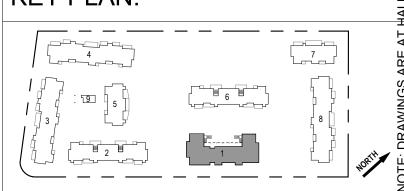
BLDG 1 - ROOF PLAN

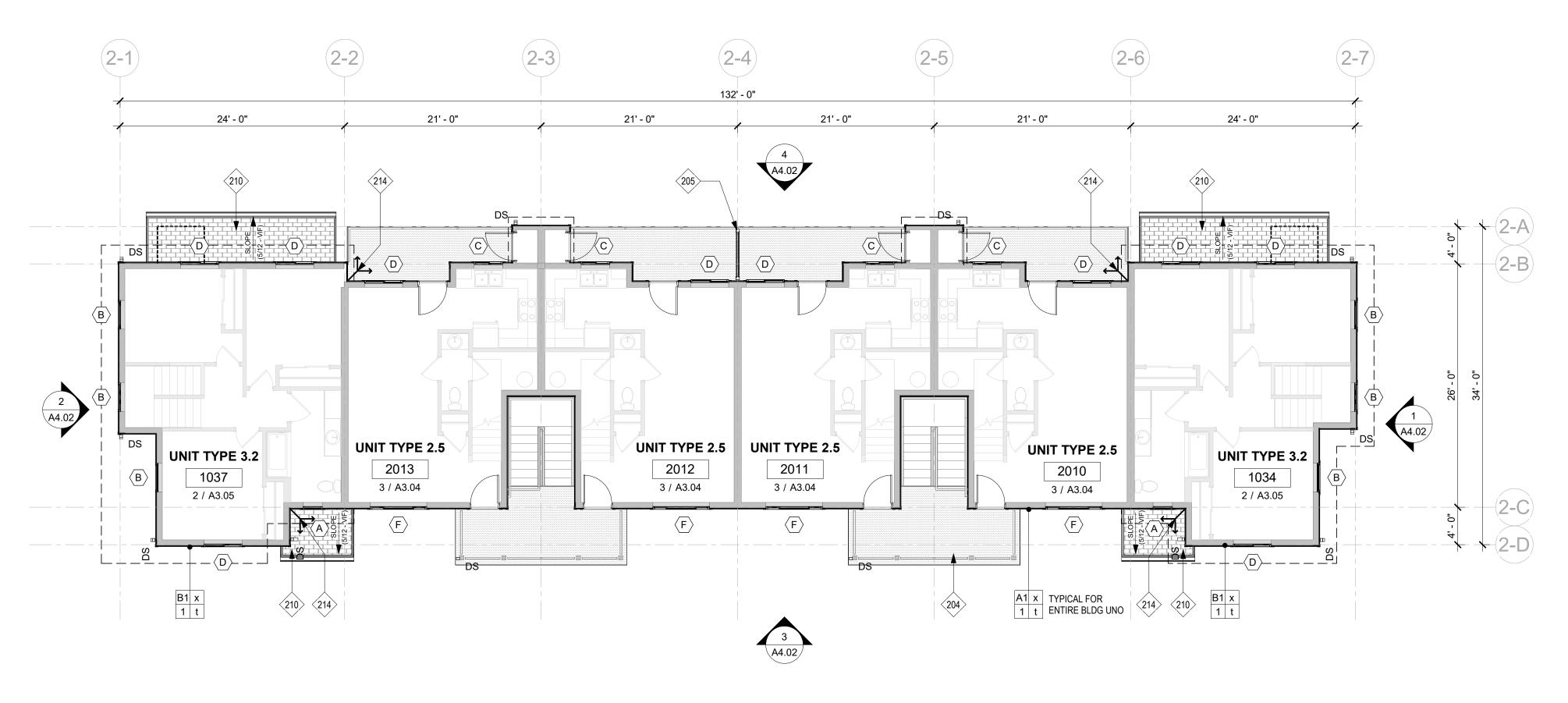
PROJECT NO.

03.31.25

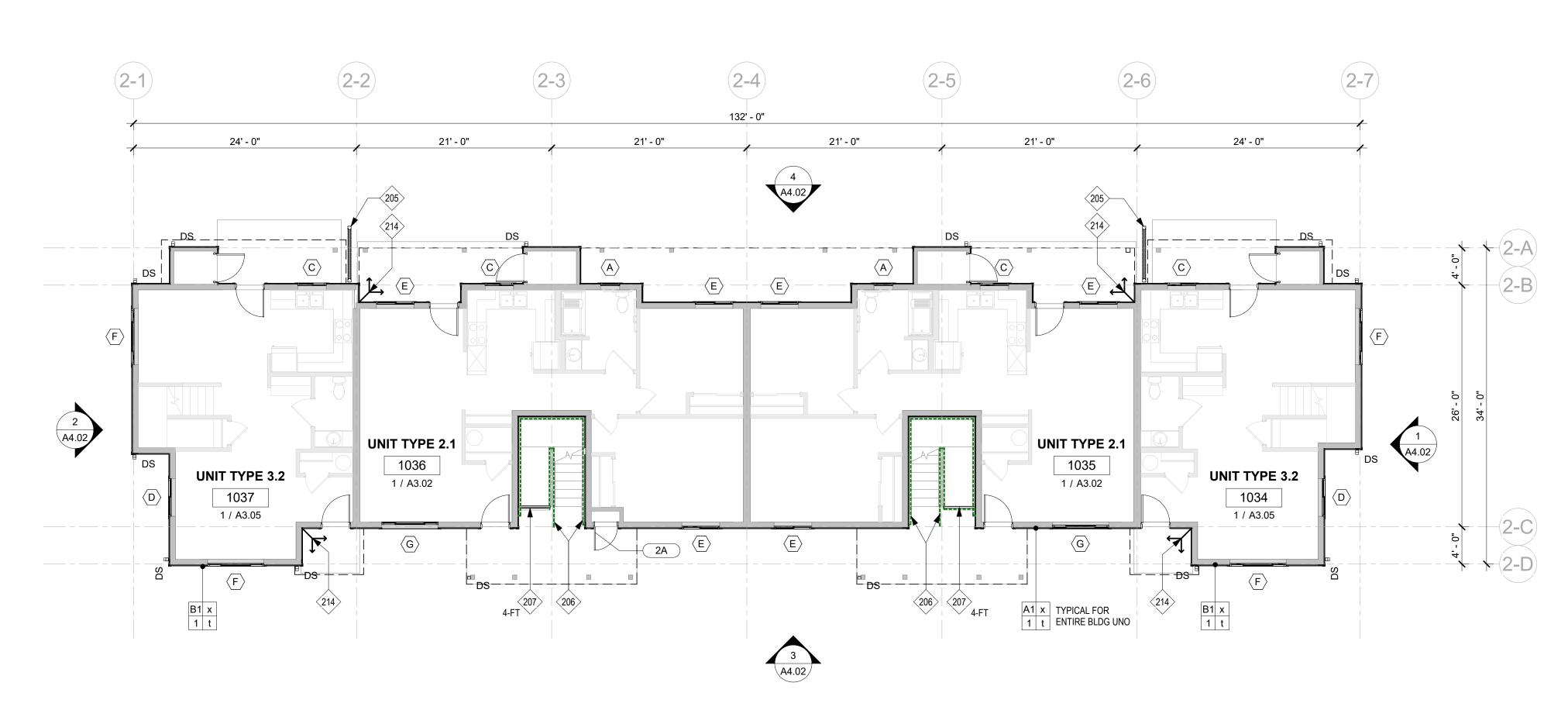
REVISIONS: #

KEY PLAN:





BUILDING 2 (2991) - FLOOR PLAN - LEVEL 2 SCALE: 1/8" = 1'-0"



1 BUILDING 2 (2991) - FLOOR PLAN - LEVEL 1
SCALE: 1/8" = 1'-0"

GENERAL NOTES:

FLOOR PLAN GENERAL NOTES:

- A. BUILDING INFORMATION AND EXISTING CONDITIONS BASED ON OWNER PROVIDED DOCUMENTS AND PARTIAL FIELD VERIFICATION. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN FIELD.
 - EXISTING DIMENSIONS ARE FOR REFERENCE ONLY AND TO FACE OF STUD OR GRIDLINE.
- APPURTENANCES & MISCELLANEOUS ENVELOPE PENETRATIONS ARE NOT SHOWN IN DOCUMENTS, LOCATIONS AND QUANTITIES TO BE FIELD VERIFIED BY CONTRACTOR PRIOR TO BIDDING REFER TO SHEET A8.21 FOR TYPICAL FLASHING DETAIL CONDITIONS.
- D. PROVIDE DOWNSPOUTS IN SAME LOCATIONS AS EXISTING AND CONNECT TO BELOW GRADE SYSTEM WHERE APPLICABLE, TYPICAL.
- REFER TO SHEET G1.02 FOR TYPICAL NOTES REGARDING DESIGN BUILD MECHANICAL, ELECTRICAL, PLUMBING, FIRE SPRINKLER AND LOW VOLT ITEMS.
- F. REFER TO SHEET A3.00 FOR UNIT INTERIOR SCOPE MATRIX.
- G. ALL VENTING FOR MISCELLANEOUS ROOFS SHOWN ON PLANS, INCLUDING BUT NOT LIMITED TO PORCH, STORAGE, AND PATIOS BY CONTRACTOR.
- H. REFER TO SHEET G3.01 FOR ASSEMBLY INFORMATION & SHEET G1.01 FOR EXISTING BUILDING FIRE LIFE SAFETY INFORMATION.

KEYNOTES: 🔕

- 204 NEW TRAFFIC COATING AT COMMON WALKWAY AND UNIT BALCONIES
- 205 NEW PRIVACY FENCE, BIDDER DESIGNED (STEEL POSTS, FOOTINGS & COMPOSITE CLADDING)
- 206 GREEN DASHED LINE INDICATES NEW GUARDRAIL (42" H) & HANDRAIL (34" H)
- 207 NEW CANE DETECTION (24" H, LENGTH PER PLANS)
- 210 FIBER CEMENT SOFFIT PANEL PAINT
- 214 CLADDING TRANSITION POINT, REFER TO EXTERIOR ELEVATIONS

BLDG L

FLOOR PLAN LEGEND:

LEGEND:

EXISTING WALL

NEW WALL/ RAINSCREEN CLADDING

EXISTING DOOR

NEW DOOR, REFER TO A9.01

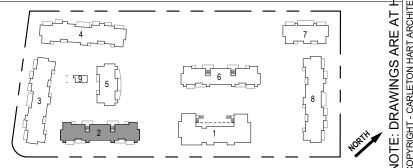
----- EXISTING ROOF/ PATIO ABOVE

DS DOWNSPOUT, REFER TO 12 / A8.21

FINISH PLAN LEGEND:

TRAFFIC COATING

KEY PLAN:



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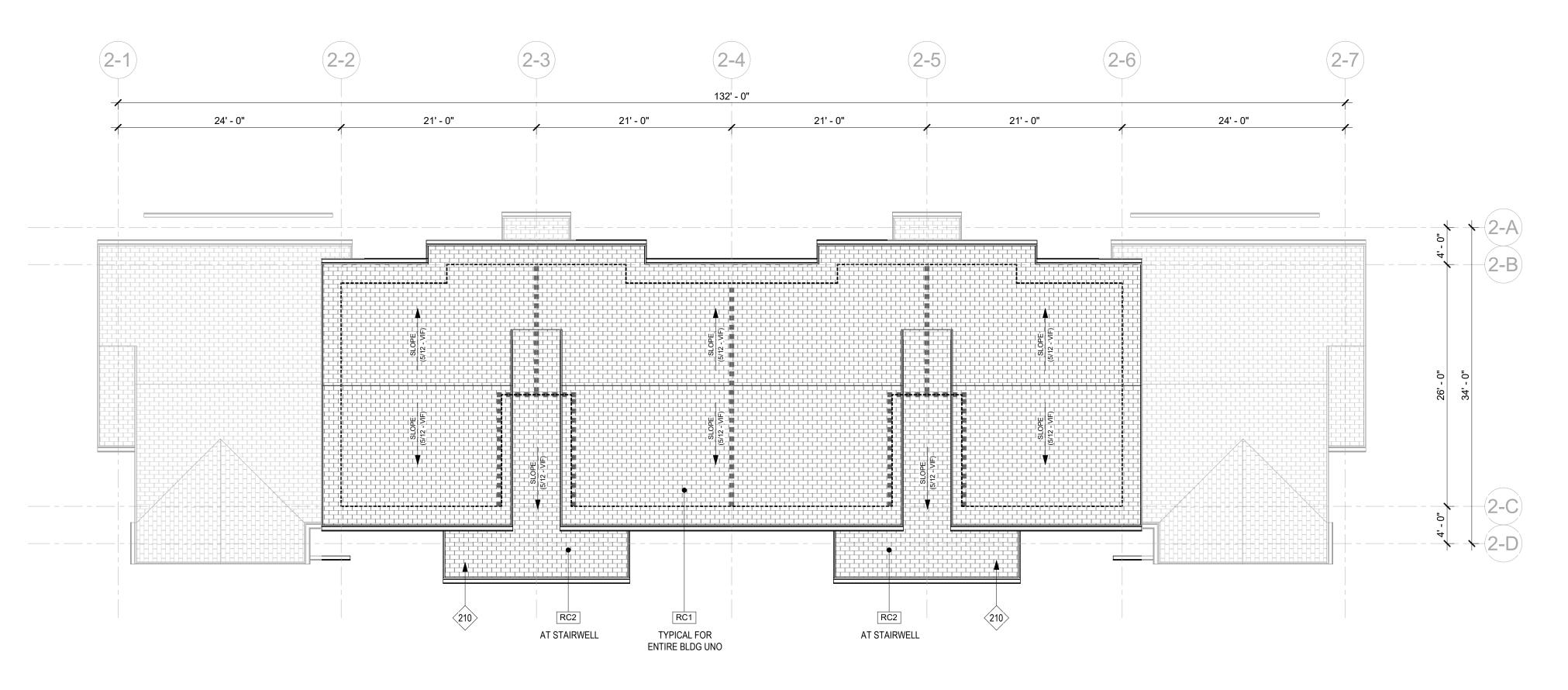
COLONIA LIBERTAD 1
2911 SADDLE CLUB ROAD
SALEM, OREGON 97317
LAND USE: DESIGN REVIEW & SITE PLAN REIVEW

BLDG 2 - FLOOR PLAN -LEVELS 1 & 2

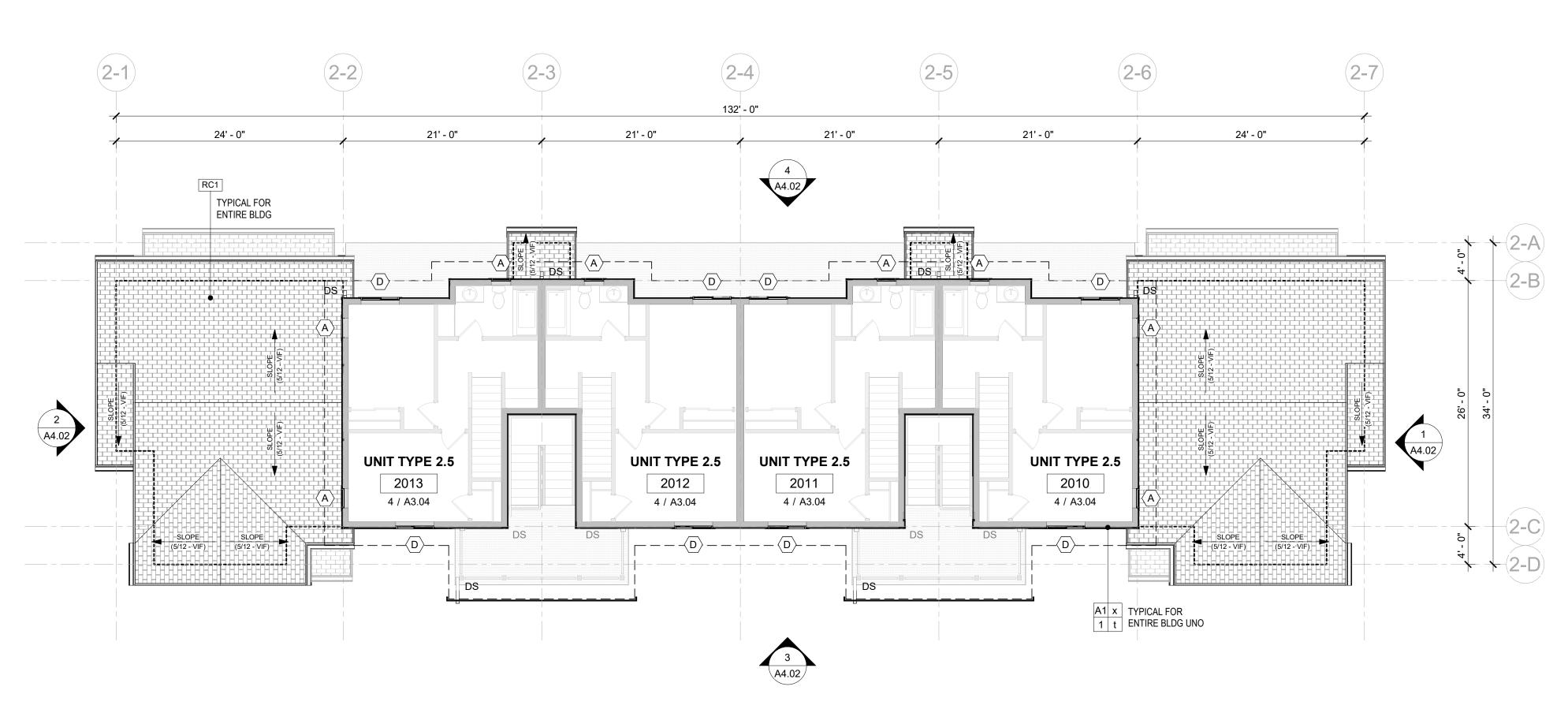
PROJECT NO.

03.31.25

REVISIONS: #



BUILDING 2 (2991) - ROOF PLAN SCALE: 1/8" = 1'-0"



1 BUILDING 2 (2991) - FLOOR PLAN - LEVEL 3
SCALE: 1/8" = 1'-0"

GENERAL NOTES:

FLOOR PLAN GENERAL NOTES:

- A. BUILDING INFORMATION AND EXISTING CONDITIONS BASED ON OWNER PROVIDED DOCUMENTS AND PARTIAL FIELD VERIFICATION. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN FIELD.
- EXISTING DIMENSIONS ARE FOR REFERENCE ONLY AND TO FACE OF STUD OR GRIDLINE.
- APPURTENANCES & MISCELLANEOUS ENVELOPE PENETRATIONS ARE NOT SHOWN IN DOCUMENTS, LOCATIONS AND QUANTITIES TO BE FIELD VERIFIED BY CONTRACTOR PRIOR TO BIDDING REFER TO SHEET A8.21 FOR TYPICAL FLASHING DETAIL CONDITIONS.
- D. PROVIDE DOWNSPOUTS IN SAME LOCATIONS AS EXISTING AND CONNECT TO BELOW GRADE SYSTEM WHERE APPLICABLE, TYPICAL.
- REFER TO SHEET G1.02 FOR TYPICAL NOTES REGARDING DESIGN BUILD MECHANICAL, ELECTRICAL, PLUMBING, FIRE SPRINKLER AND LOW VOLT ITEMS.
- REFER TO SHEET A3.00 FOR UNIT INTERIOR SCOPE MATRIX.
- ALL VENTING FOR MISCELLANEOUS ROOFS SHOWN ON PLANS, INCLUDING BUT NOT LIMITED TO PORCH, STORAGE, AND PATIOS BY CONTRACTOR.
- REFER TO SHEET G3.01 FOR ASSEMBLY INFORMATION & SHEET G1.01 FOR EXISTING BUILDING FIRE LIFE SAFETY INFORMATION.

ROOF PLAN GENERAL NOTES:

- A. BUILDING INFORMATION AND EXISTING CONDITIONS BASED ON OWNER PROVIDED DOCUMENTS AND PARTIAL FIELD VERIFICATION. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN FIELD.
- ROOF PENETRATIONS ARE NOT SHOWN.
 COORDINATE WITH OTHER WORK SCOPES & FLASH
 PER DETAILS ON A8.51.
- C. INSTALL KICK-OUT FLASHING AT ALL EAVE/ SIDEWALL INTERSECTIONS.
- MAINTAIN 20" MINIMUM CLEAR FROM ROOF VALLEYS TO LOW INTAKE VENT STRIPS & STATIC VENTS COORDINATE W/ VALLEY FLASHING DISTANCE FROM ROOF GABLE OR EAVE TO LOW INTAKE VENT STRIPS TO BE 36" MINIMUM PER MANUFACTURER REQUIREMENTS.
- ROOF VENTING TO REMAIN AS IS. CONTRACTOR TO VERIFY ALL VENTING CONDITIONS IN THE FIELD AND REPLACE ALL VENTING IN KIND.

KEYNOTES: (x)

210 FIBER CEMENT SOFFIT PANEL - PAINT

LEGEND:

EXISTING WALL NEW WALL/ RAINSCREEN CLADDING EXISTING DOOR NEW DOOR, REFER TO A9.01

DS DOWNSPOUT, REFER TO 12 / A8.21

---- EXISTING ROOF/ PATIO ABOVE

EXISTING WALL BELOW

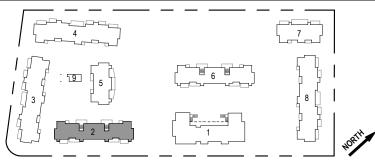
ROOF PLAN LEGEND:

------ EXISTING WALL BELOW

ASSUMED EXISTING DRAFTSTOPPING

ASPHALT SHINGLE ROOF SYSTEM

KEY PLAN:



PRELIMINARY
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CONSTRUCTION



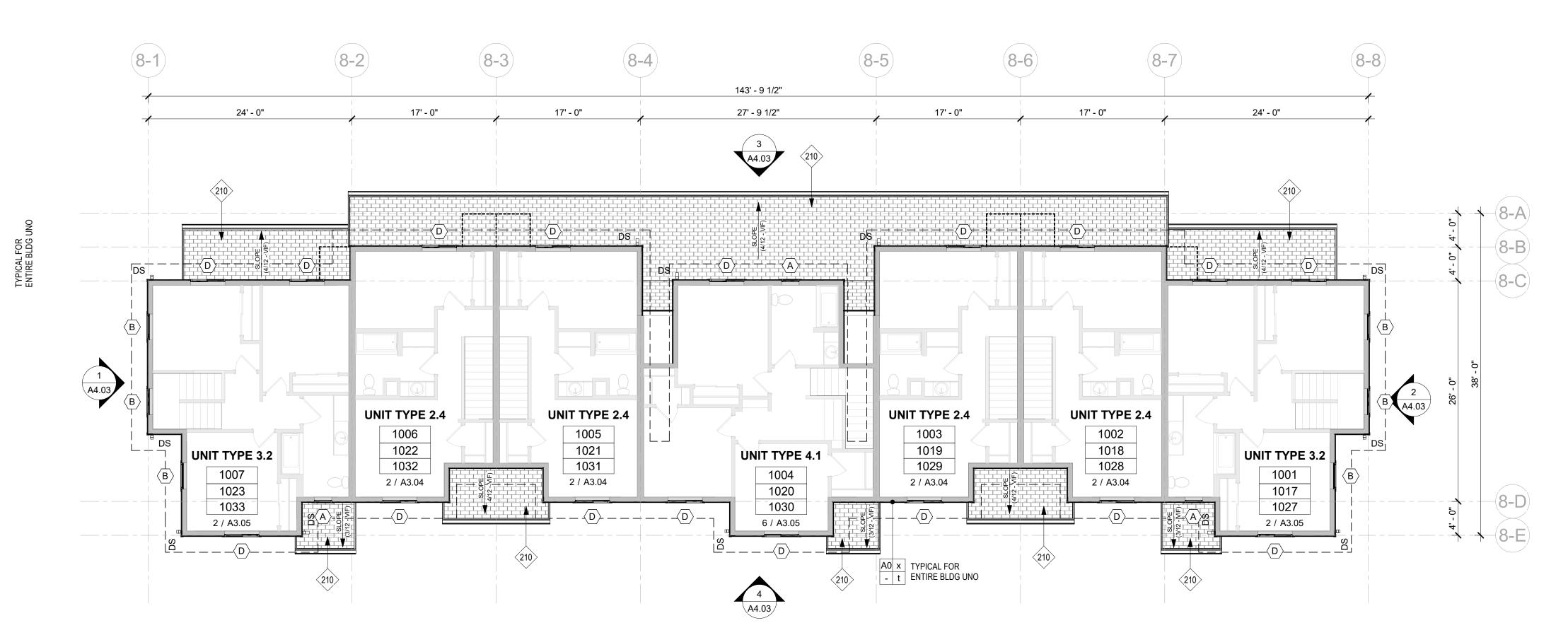
COLONIA LIBERTAD 1
2911 SADDLE CLUB ROAD
SALEM, OREGON 97317
LAND USE: DESIGN REVIEW 8
SITE PLAN REIVEW

BLDG 2 - FLOOR PLAN -LEVEL 3 & ROOF PLAN

PROJECT NO.

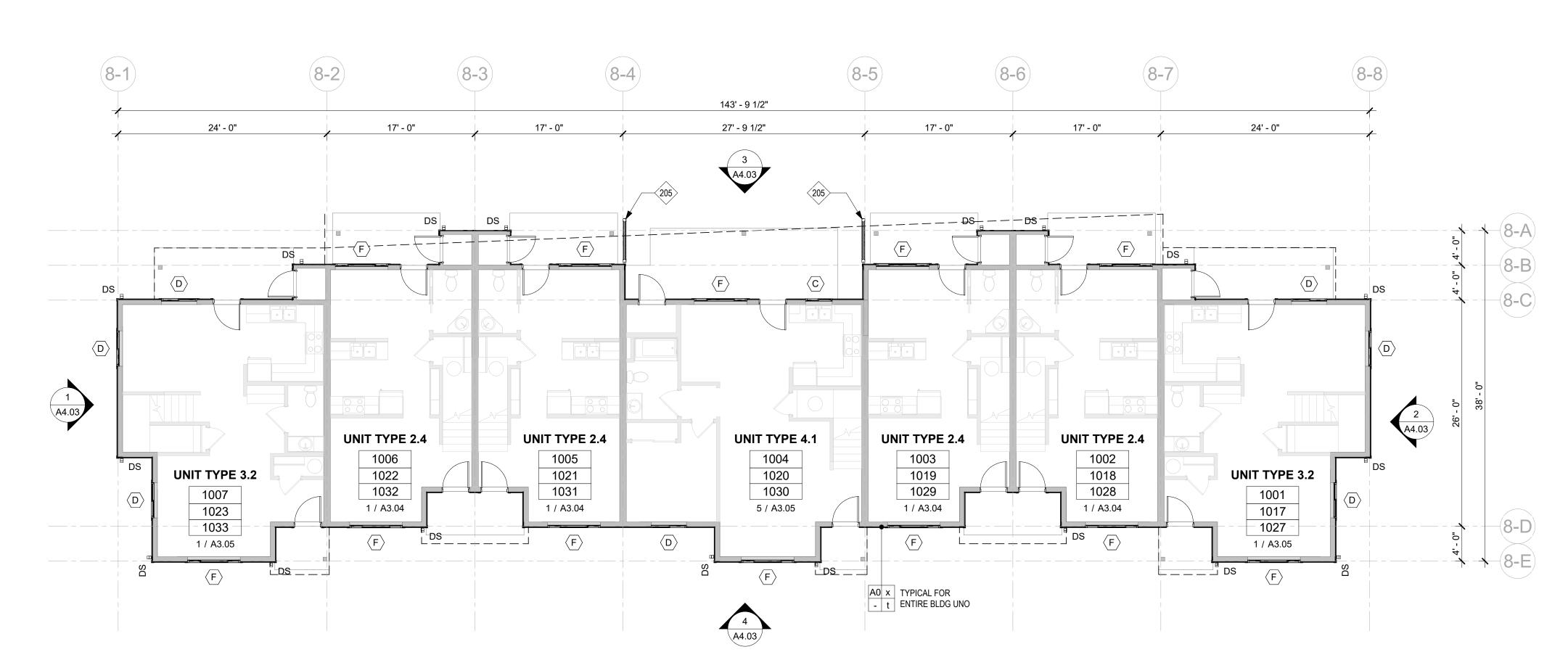
03.31.25

REVISIONS: #



BUILDINGS 3 (2981) & 4 (2951) & 8 (2911) - FLOOR PLAN - LEVEL 2

SCALE: 1/8" = 1'-0"



BUILDINGS 3 (2981) & 4 (2951) & 8 (2911) - FLOOR PLAN - LEVEL 1

SCALE: 1/8" = 1'-0"

GENERAL NOTES:

FLOOR PLAN GENERAL NOTES:

- **BUILDING INFORMATION AND EXISTING CONDITIONS** BASED ON OWNER PROVIDED DOCUMENTS AND PARTIAL FIELD VERIFICATION. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN FIELD.
 - EXISTING DIMENSIONS ARE FOR REFERENCE ONLY AND TO FACE OF STUD OR GRIDLINE.
- APPURTENANCES & MISCELLANEOUS ENVELOPE PENETRATIONS ARE NOT SHOWN IN DOCUMENTS, LOCATIONS AND QUANTITIES TO BE FIELD VERIFIED BY CONTRACTOR PRIOR TO BIDDING - REFER TO SHEET A8.21 FOR TYPICAL FLASHING DETAIL
- PROVIDE DOWNSPOUTS IN SAME LOCATIONS AS EXISTING AND CONNECT TO BELOW GRADE SYSTEM WHERE APPLICABLE, TYPICAL.
- REFER TO SHEET G1.02 FOR TYPICAL NOTES REGARDING DESIGN BUILD MECHANICAL, ELECTRICAL, PLUMBING, FIRE SPRINKLER AND LOW
- REFER TO SHEET A3.00 FOR UNIT INTERIOR SCOPE MATRIX.
- ALL VENTING FOR MISCELLANEOUS ROOFS SHOWN ON PLANS, INCLUDING BUT NOT LIMITED TO PORCH, STORAGE, AND PATIOS BY CONTRACTOR.
- REFER TO SHEET G3.01 FOR ASSEMBLY INFORMATION & SHEET G1.01 FOR EXISTING BUILDING FIRE LIFE SAFETY INFORMATION.

KEYNOTES: 🔕

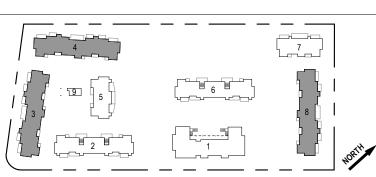
- 205 NEW PRIVACY FENCE, BIDDER DESIGNED (STEEL POSTS, FOOTINGS & COMPOSITE CLADDING)
- 210 FIBER CEMENT SOFFIT PANEL PAINT

BLDGS 3, 4 & 8 - FLOOR PLAN - LEVELS 1 & 2

PROJECT NO.

03.31.25 REVISIONS: #

KEY PLAN:

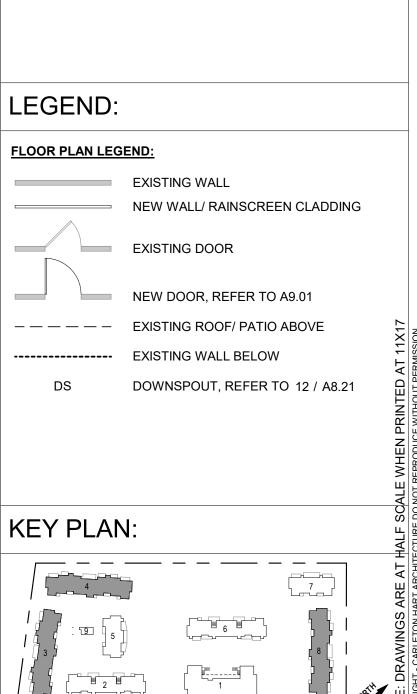


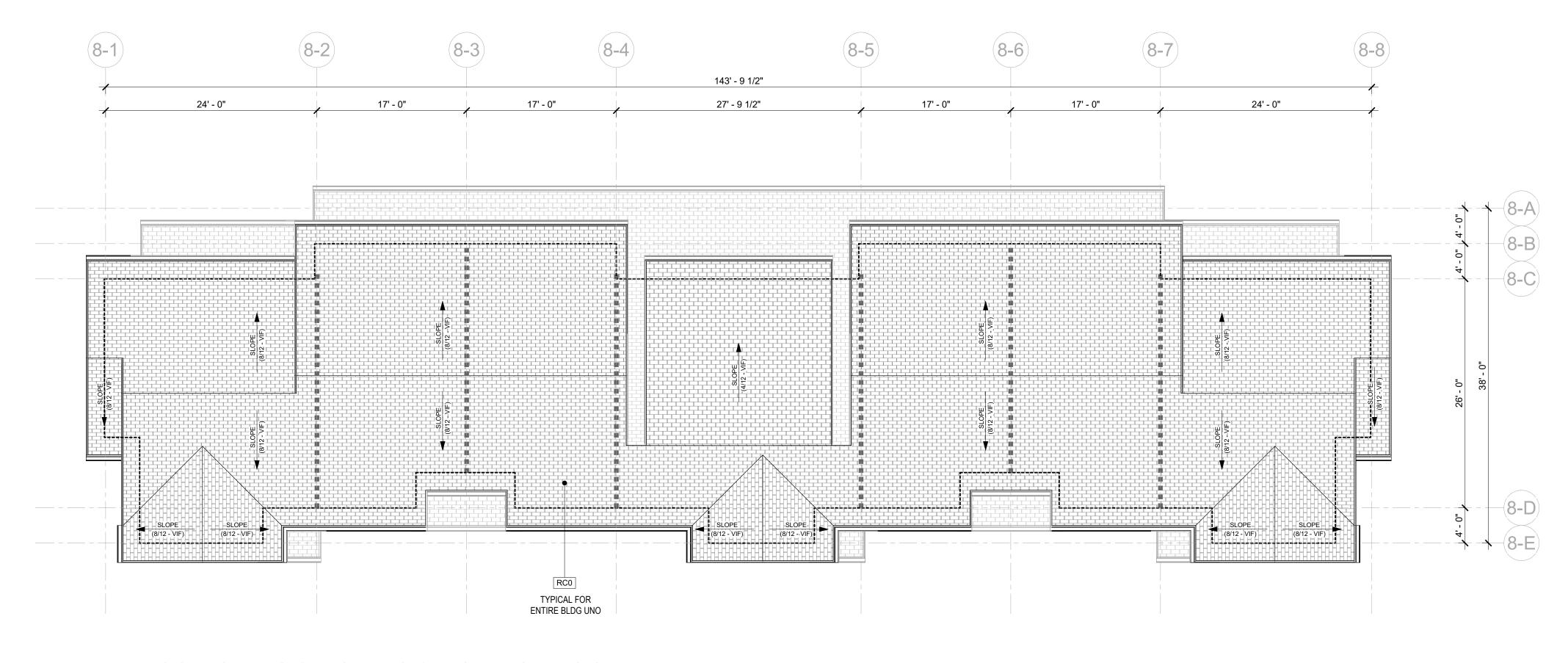
PRELIMINARY NOT FOR CONSTRUCTION



AND USE: DESIGN REVIEW SITE PLAN REIVEW

COLONIA LIBERTAD 1 2911 SADDLE CLUB ROAD SALEM, OREGON 97317





BUILDINGS 3 (2981) & 4 (2951) & 8 (2911) - ROOF PLAN

SCALE: 1/8" = 1'-0"

GENERAL NOTES:

ROOF PLAN GENERAL NOTES:

- A. BUILDING INFORMATION AND EXISTING CONDITIONS BASED ON OWNER PROVIDED DOCUMENTS AND PARTIAL FIELD VERIFICATION. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN FIELD.
- B. ROOF PENETRATIONS ARE NOT SHOWN.
 COORDINATE WITH OTHER WORK SCOPES & FLASH PER DETAILS ON A8.51.
- C. INSTALL KICK-OUT FLASHING AT ALL EAVE/ SIDEWALL INTERSECTIONS.
- MAINTAIN 20" MINIMUM CLEAR FROM ROOF VALLEYS TO LOW INTAKE VENT STRIPS & STATIC VENTS - COORDINATE W/ VALLEY FLASHING -DISTANCE FROM ROOF GABLE OR EAVE TO LOW INTAKE VENT STRIPS TO BE 36" MINIMUM PER MANUFACTURER REQUIREMENTS.
- ROOF VENTING TO REMAIN AS IS. CONTRACTOR TO VERIFY ALL VENTING CONDITIONS IN THE FIELD AND REPLACE ALL VENTING IN KIND.

PRELIMINARY NOT FOR CONSTRUCTION



KEYNOTES: 🗴

COLONIA LIBERTAD 1 2911 SADDLE CLUB ROAD SALEM, OREGON 97317

BLDGS 3, 4 & 8 - ROOF PLAN

PROJECT NO.

03.31.25

REVISIONS: #

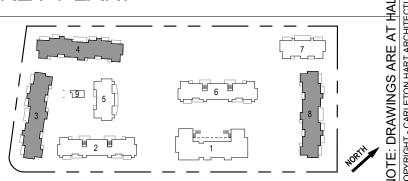
LEGEND:

ROOF PLAN LEGEND:

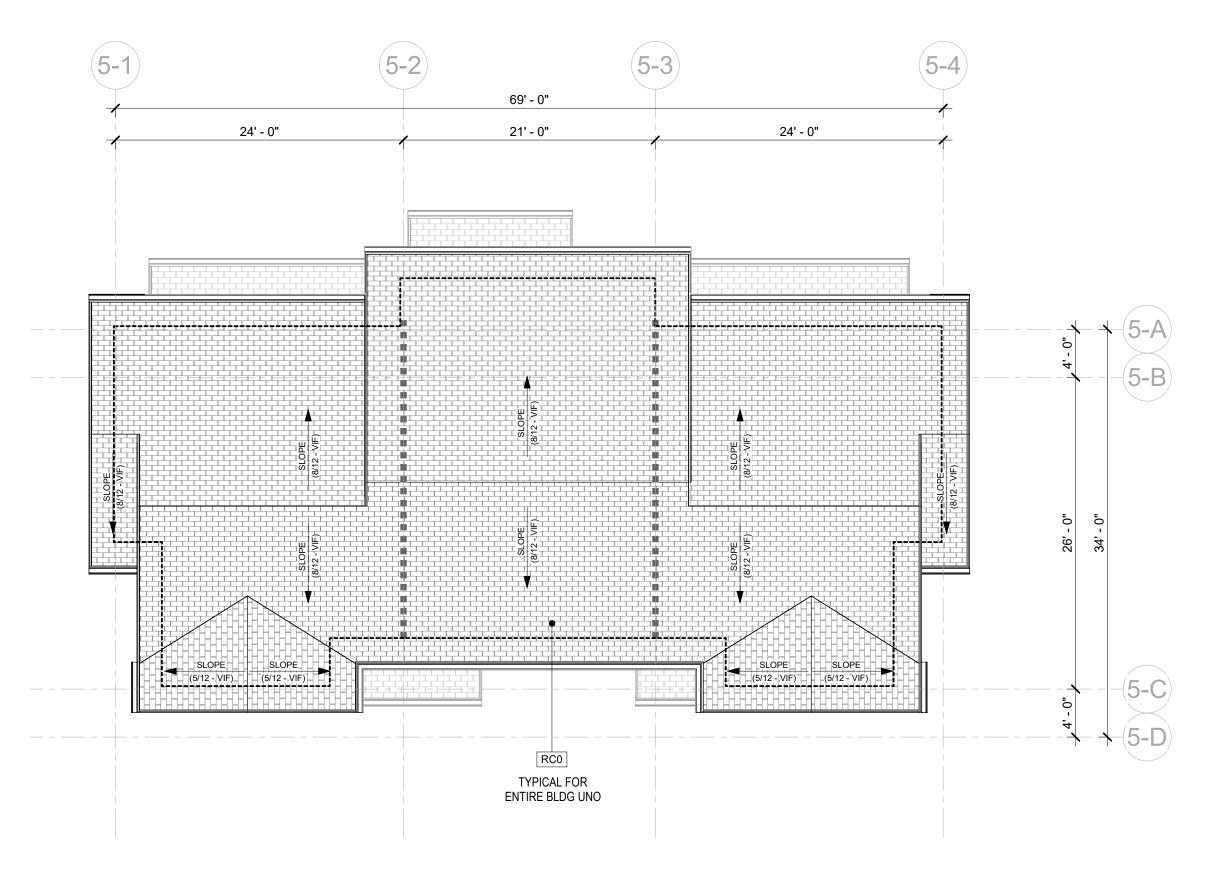
----- EXISTING WALL BELOW

ASSUMED EXISTING DRAFTSTOPPING

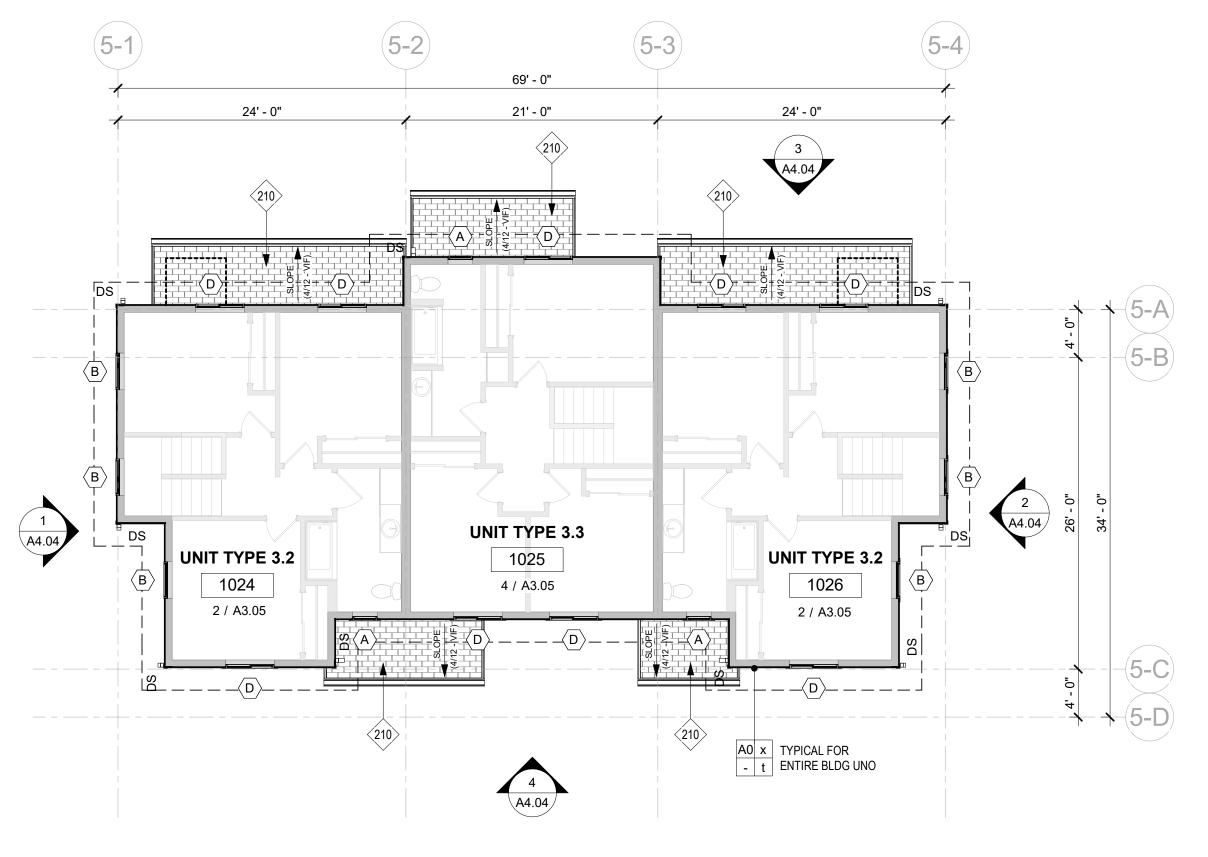
ASPHALT SHINGLE ROOF SYSTEM



KEY PLAN:

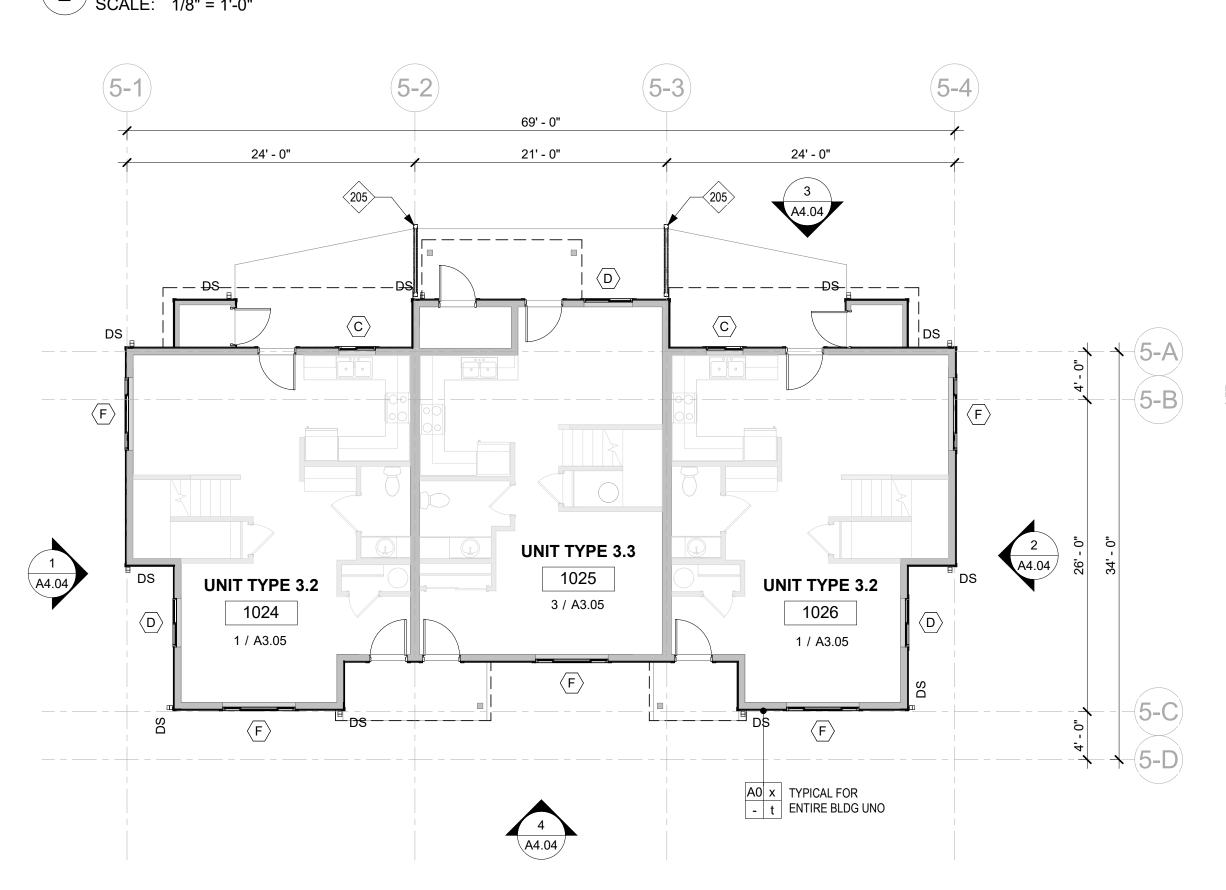


3 BUILDING 5 (2971) - ROOF PLAN
SCALE: 1/8" = 1'-0"



BUILDING 5 (2971) - FLOOR PLAN - LEVEL 2

SCALE: 1/8" = 1'-0"



1 BUILDING 5 (2971) - FLOOR PLAN - LEVEL 1
SCALE: 1/8" = 1'-0"

GENERAL NOTES:

FLOOR PLAN GENERAL NOTES:

- BUILDING INFORMATION AND EXISTING CONDITIONS BASED ON OWNER PROVIDED DOCUMENTS AND PARTIAL FIELD VERIFICATION. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN FIELD.
- EXISTING DIMENSIONS ARE FOR REFERENCE ONLY AND TO FACE OF STUD OR GRIDLINE.
- APPURTENANCES & MISCELLANEOUS ENVELOPE PENETRATIONS ARE NOT SHOWN IN DOCUMENTS, LOCATIONS AND QUANTITIES TO BE FIELD VERIFIED BY CONTRACTOR PRIOR TO BIDDING REFER TO SHEET A8.21 FOR TYPICAL FLASHING DETAIL CONDITIONS.
- D. PROVIDE DOWNSPOUTS IN SAME LOCATIONS AS EXISTING AND CONNECT TO BELOW GRADE SYSTEM WHERE APPLICABLE, TYPICAL.
- REFER TO SHEET G1.02 FOR TYPICAL NOTES REGARDING DESIGN BUILD MECHANICAL, ELECTRICAL, PLUMBING, FIRE SPRINKLER AND LOW VOLT ITEMS.
- F. REFER TO SHEET A3.00 FOR UNIT INTERIOR SCOPE MATRIX.
- G. ALL VENTING FOR MISCELLANEOUS ROOFS SHOWN ON PLANS, INCLUDING BUT NOT LIMITED TO PORCH, STORAGE, AND PATIOS BY CONTRACTOR.
- H. REFER TO SHEET G3.01 FOR ASSEMBLY INFORMATION & SHEET G1.01 FOR EXISTING BUILDING FIRE LIFE SAFETY INFORMATION.

ROOF PLAN GENERAL NOTES:

- A. BUILDING INFORMATION AND EXISTING CONDITIONS BASED ON OWNER PROVIDED DOCUMENTS AND PARTIAL FIELD VERIFICATION. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN FIELD.
- ROOF PENETRATIONS ARE NOT SHOWN.
 COORDINATE WITH OTHER WORK SCOPES & FLASH
 PER DETAILS ON A8.51.
- C. INSTALL KICK-OUT FLASHING AT ALL EAVE/ SIDEWALL INTERSECTIONS.
- MAINTAIN 20" MINIMUM CLEAR FROM ROOF VALLEYS TO LOW INTAKE VENT STRIPS & STATIC VENTS COORDINATE W/ VALLEY FLASHING DISTANCE FROM ROOF GABLE OR EAVE TO LOW INTAKE VENT STRIPS TO BE 36" MINIMUM PER MANUFACTURER REQUIREMENTS.
- ROOF VENTING TO REMAIN AS IS. CONTRACTOR TO VERIFY ALL VENTING CONDITIONS IN THE FIELD AND REPLACE ALL VENTING IN KIND.

KEYNOTES: (x)

205 NEW PRIVACY FENCE, BIDDER DESIGNED (STEEL POSTS, FOOTINGS & COMPOSITE CLADDING)

210 FIBER CEMENT SOFFIT PANEL - PAINT

LEGEND:

KEY PLAN:

ASPHALT SHINGLE ROOF SYSTEM

PRELIMINARY NOT FOR CONSTRUCTION



2911 SADDLE CLUB ROAD SALEM, OREGON 97317
AND USE: DESIGN REVIEW SITE PLAN REIVEW

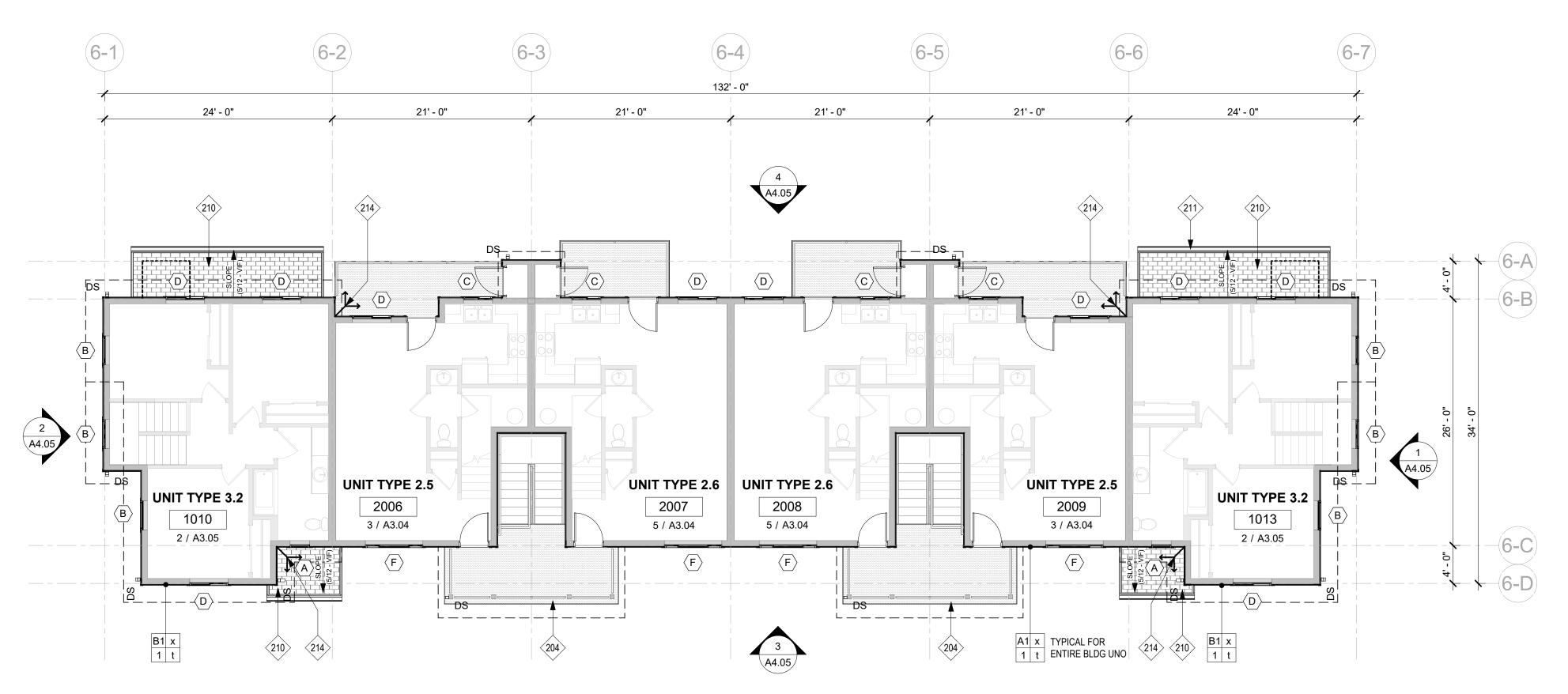
BLDG 5 - FLOOR PLAN -LEVELS 1 & 2 & ROOF PLAN

PROJECT NO.

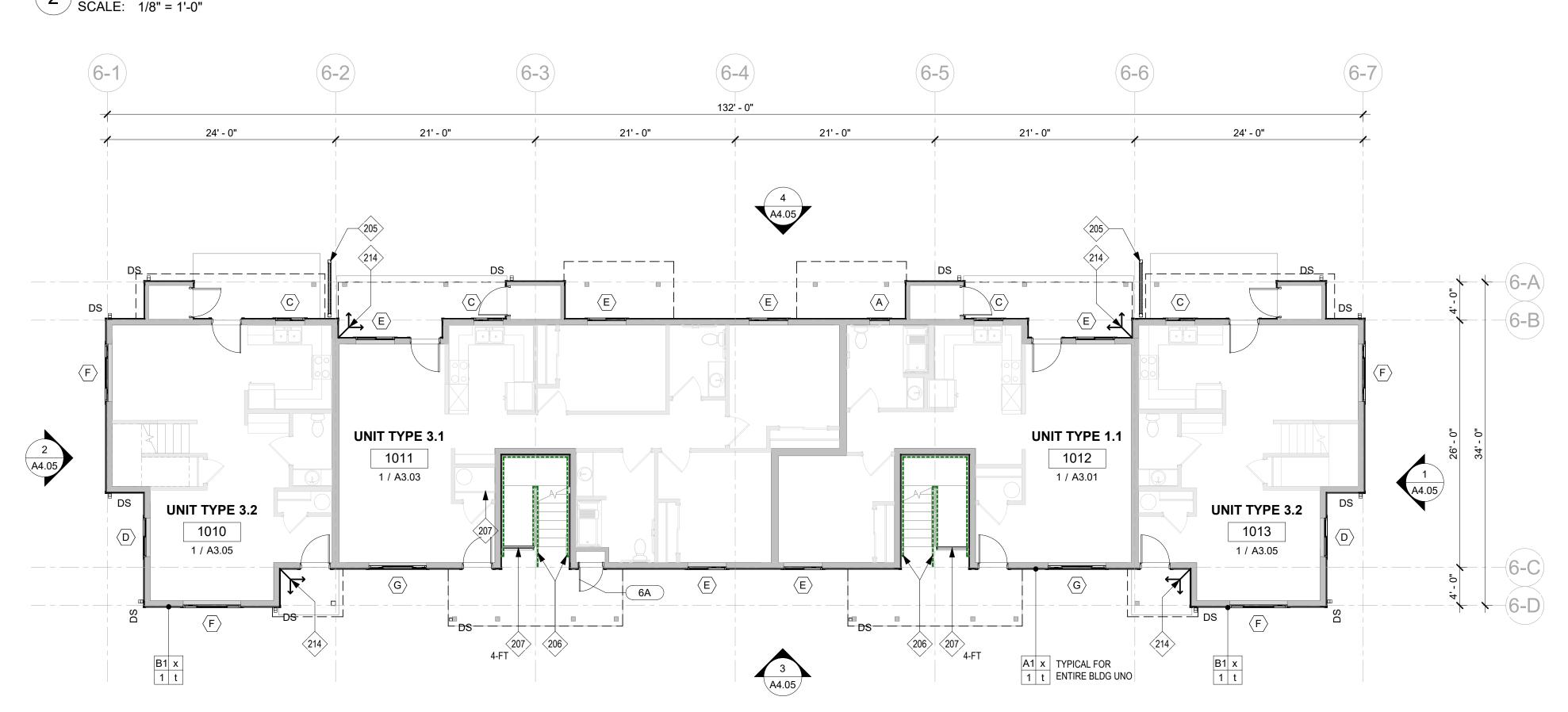
24007

03.31.25

REVISIONS: #



2 BUILDING 6 (2931) - FLOOR PLAN - LEVEL 2 SCALE: 1/8" = 1'-0"



1 BUILDING 6 (2931) - FLOOR PLAN - LEVEL 1
SCALE: 1/8" = 1'-0"

GENERAL NOTES:

FLOOR PLAN GENERAL NOTES:

- BUILDING INFORMATION AND EXISTING CONDITIONS BASED ON OWNER PROVIDED DOCUMENTS AND PARTIAL FIELD VERIFICATION. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN FIELD.
- EXISTING DIMENSIONS ARE FOR REFERENCE ONLY AND TO FACE OF STUD OR GRIDLINE.
- APPURTENANCES & MISCELLANEOUS ENVELOPE PENETRATIONS ARE NOT SHOWN IN DOCUMENTS, LOCATIONS AND QUANTITIES TO BE FIELD VERIFIED BY CONTRACTOR PRIOR TO BIDDING REFER TO SHEET A8.21 FOR TYPICAL FLASHING DETAIL CONDITIONS.
- D. PROVIDE DOWNSPOUTS IN SAME LOCATIONS AS EXISTING AND CONNECT TO BELOW GRADE SYSTEM WHERE APPLICABLE, TYPICAL.
- REFER TO SHEET G1.02 FOR TYPICAL NOTES REGARDING DESIGN BUILD MECHANICAL, ELECTRICAL, PLUMBING, FIRE SPRINKLER AND LOW VOLT ITEMS.
- REFER TO SHEET A3.00 FOR UNIT INTERIOR SCOPE MATRIX.
- G. ALL VENTING FOR MISCELLANEOUS ROOFS SHOWN ON PLANS, INCLUDING BUT NOT LIMITED TO PORCH, STORAGE, AND PATIOS BY CONTRACTOR.
- H. REFER TO SHEET G3.01 FOR ASSEMBLY INFORMATION & SHEET G1.01 FOR EXISTING BUILDING FIRE LIFE SAFETY INFORMATION.

KEYNOTES: <

- 204 NEW TRAFFIC COATING AT COMMON WALKWAY AND UNIT BALCONIES
- 205 NEW PRIVACY FENCE, BIDDER DESIGNED (STEEL POSTS, FOOTINGS & COMPOSITE CLADDING)
- 206 GREEN DASHED LINE INDICATES NEW GUARDRAIL (42" H) & HANDRAIL (34" H)
- 207 NEW CANE DETECTION (24" H, LENGTH PER PLANS)
- 210 FIBER CEMENT SOFFIT PANEL PAINT
- 211 PRE-PRIMED GUTTER, PAINTED TYPICAL
- 214 CLADDING TRANSITION POINT, REFER TO EXTERIOR ELEVATIONS

LEGEND:

FLOOR PLAN LEGEND:

EXISTING WALL

NEW WALL/ RAINSCREEN CLADDING

EXISTING DOOR

NEW DOOR, REFER TO A9.01

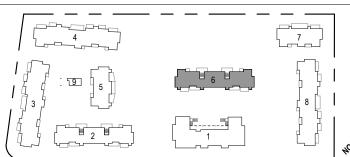
EXISTING ROOF/ PATIO ABOVE

DS DOWNSPOUT, REFER TO 12 / A8.21

TRAFFIC COATING

FINISH PLAN LEGEND:

KEY PLAN:



PRELIMINARY
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CONSTRUCTION



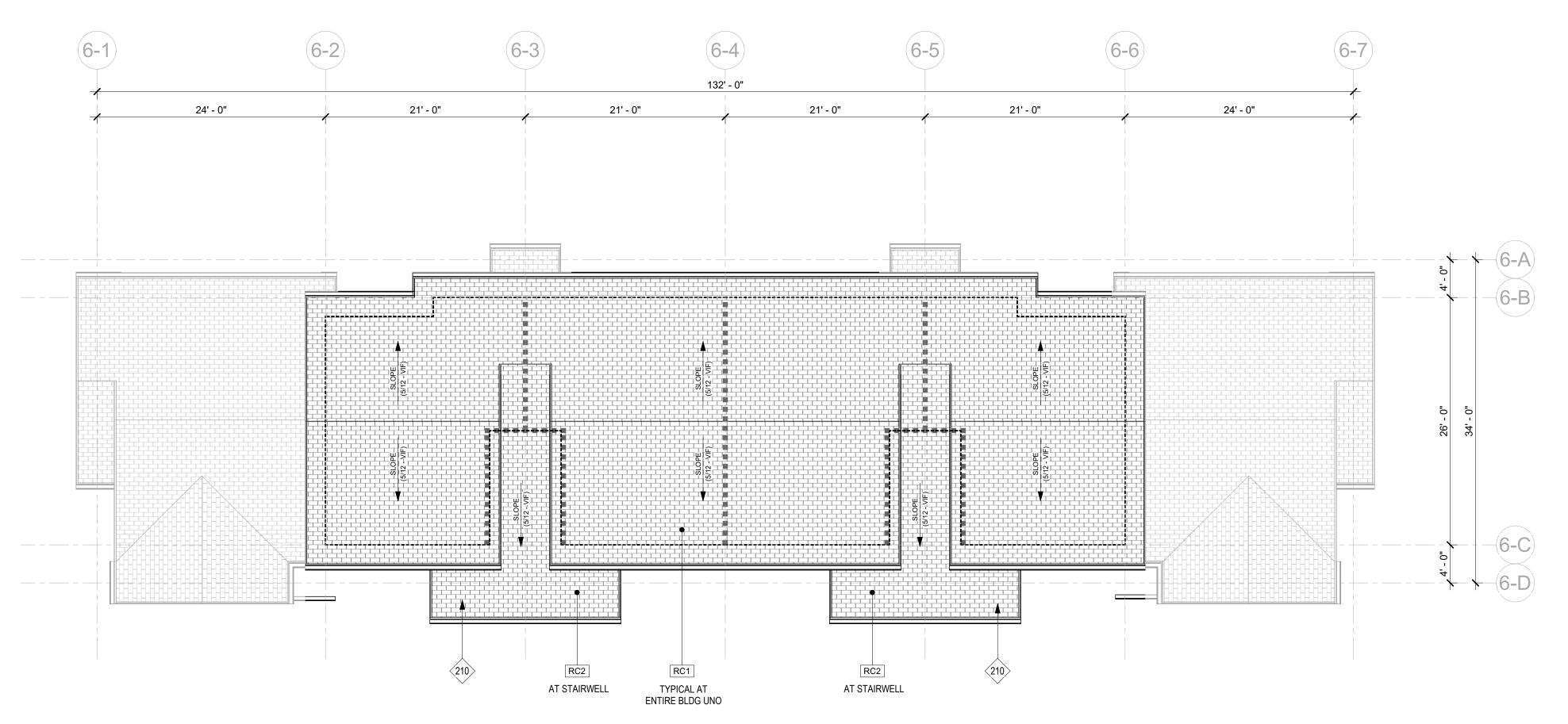
COLONIA LIBERTAD 1
2911 SADDLE CLUB ROAD
SALEM, OREGON 97317
LAND USE: DESIGN REVIEW
SITE PLAN REIVEW

BLDG 6 - FLOOR PLAN -LEVELS 1 & 2

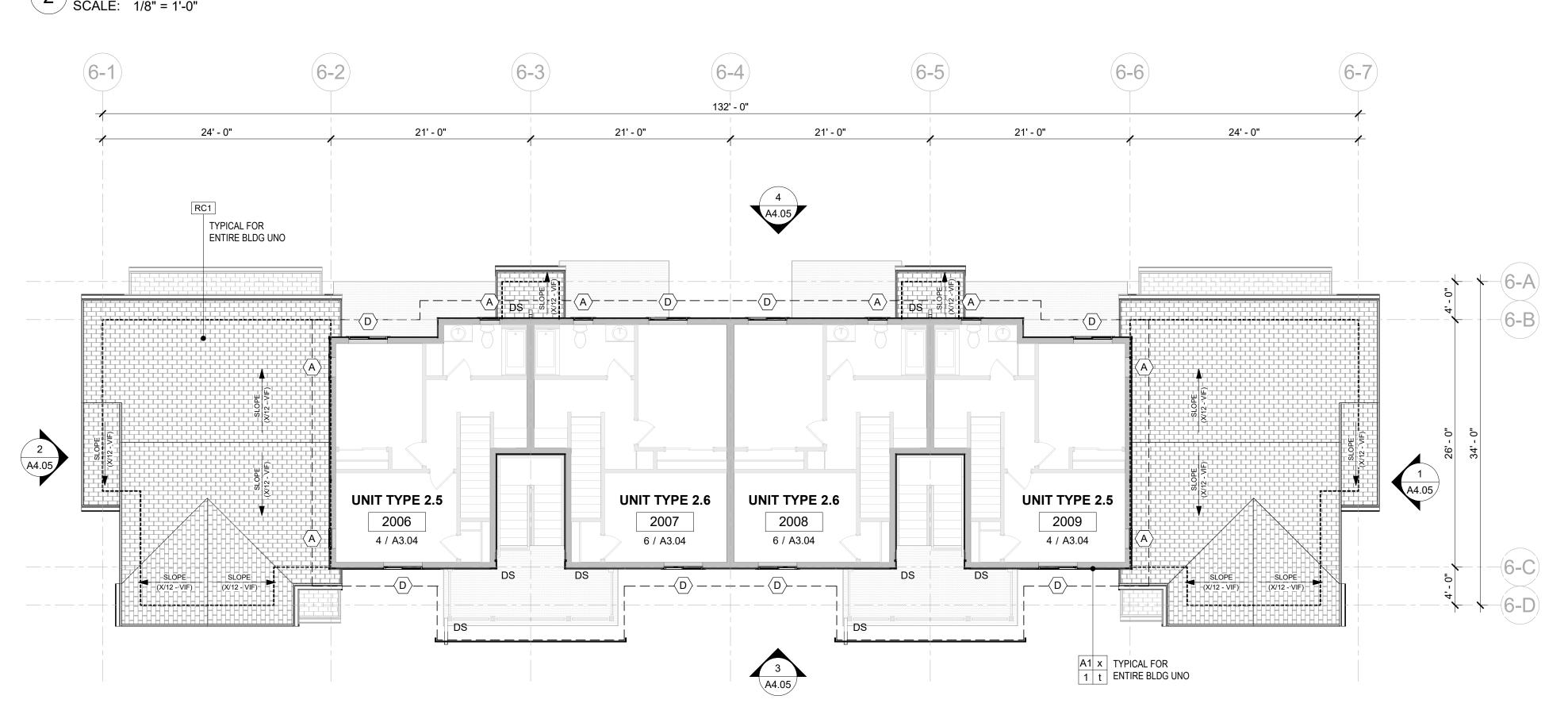
PROJECT NO.

03.31.25

REVISIONS: #



2 BUILDING 6 (2931) - ROOF PLAN SCALE: 1/8" = 1'-0"



1 BUILDING 6 (2931) - FLOOR PLAN - LEVEL 3
SCALE: 1/8" = 1'-0"

GENERAL NOTES:

FLOOR PLAN GENERAL NOTES:

BUILDING INFORMATION AND EXISTING CONDITIONS BASED ON OWNER PROVIDED DOCUMENTS AND PARTIAL FIELD VERIFICATION. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN FIELD.

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CONSTRUCTION

CARLETON HART

ARCHITECTURE

503. 243.2252 | www.carletonhart.com

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COLONIA LIBERTAD 1 2911 SADDLE CLUB ROAD SALEM, OREGON 97317

BLDG 6 - LEVEL 3 & ROOF PLAN

PROJECT NO.

03.31.25

REVISIONS: #

- EXISTING DIMENSIONS ARE FOR REFERENCE ONLY AND TO FACE OF STUD OR GRIDLINE.
- APPURTENANCES & MISCELLANEOUS ENVELOPE PENETRATIONS ARE NOT SHOWN IN DOCUMENTS, LOCATIONS AND QUANTITIES TO BE FIELD VERIFIED BY CONTRACTOR PRIOR TO BIDDING REFER TO SHEET A8.21 FOR TYPICAL FLASHING DETAIL CONDITIONS.
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- REFER TO SHEET A3.00 FOR UNIT INTERIOR SCOPE MATRIX.
- ALL VENTING FOR MISCELLANEOUS ROOFS SHOWN ON PLANS, INCLUDING BUT NOT LIMITED TO PORCH, STORAGE, AND PATIOS BY CONTRACTOR.
- REFER TO SHEET G3.01 FOR ASSEMBLY INFORMATION & SHEET G1.01 FOR EXISTING BUILDING FIRE LIFE SAFETY INFORMATION.

ROOF PLAN GENERAL NOTES:

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- ROOF PENETRATIONS ARE NOT SHOWN.
 COORDINATE WITH OTHER WORK SCOPES & FLASH
 PER DETAILS ON A8.51.
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- D. MAINTAIN 20" MINIMUM CLEAR FROM ROOF VALLEYS TO LOW INTAKE VENT STRIPS & STATIC VENTS COORDINATE W/ VALLEY FLASHING DISTANCE FROM ROOF GABLE OR EAVE TO LOW INTAKE VENT STRIPS TO BE 36" MINIMUM PER MANUFACTURER REQUIREMENTS.
- ROOF VENTING TO REMAIN AS IS. CONTRACTOR TO VERIFY ALL VENTING CONDITIONS IN THE FIELD AND REPLACE ALL VENTING IN KIND.

KEYNOTES: (x)

210 FIBER CEMENT SOFFIT PANEL - PAINT

LEGEND:

FLOOR PLAN LEGEND:

EXISTING WALL

NEW WALL/ RAINSCREEN CLADDING

EXISTING DOOR

NEW DOOR, REFER TO A9.01

----EXISTING ROOF/ PATIO ABOVE

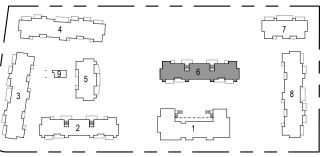
DS DOWNSPOUT, REFER TO 12 / A8.21

ROOF PLAN LEGEND:

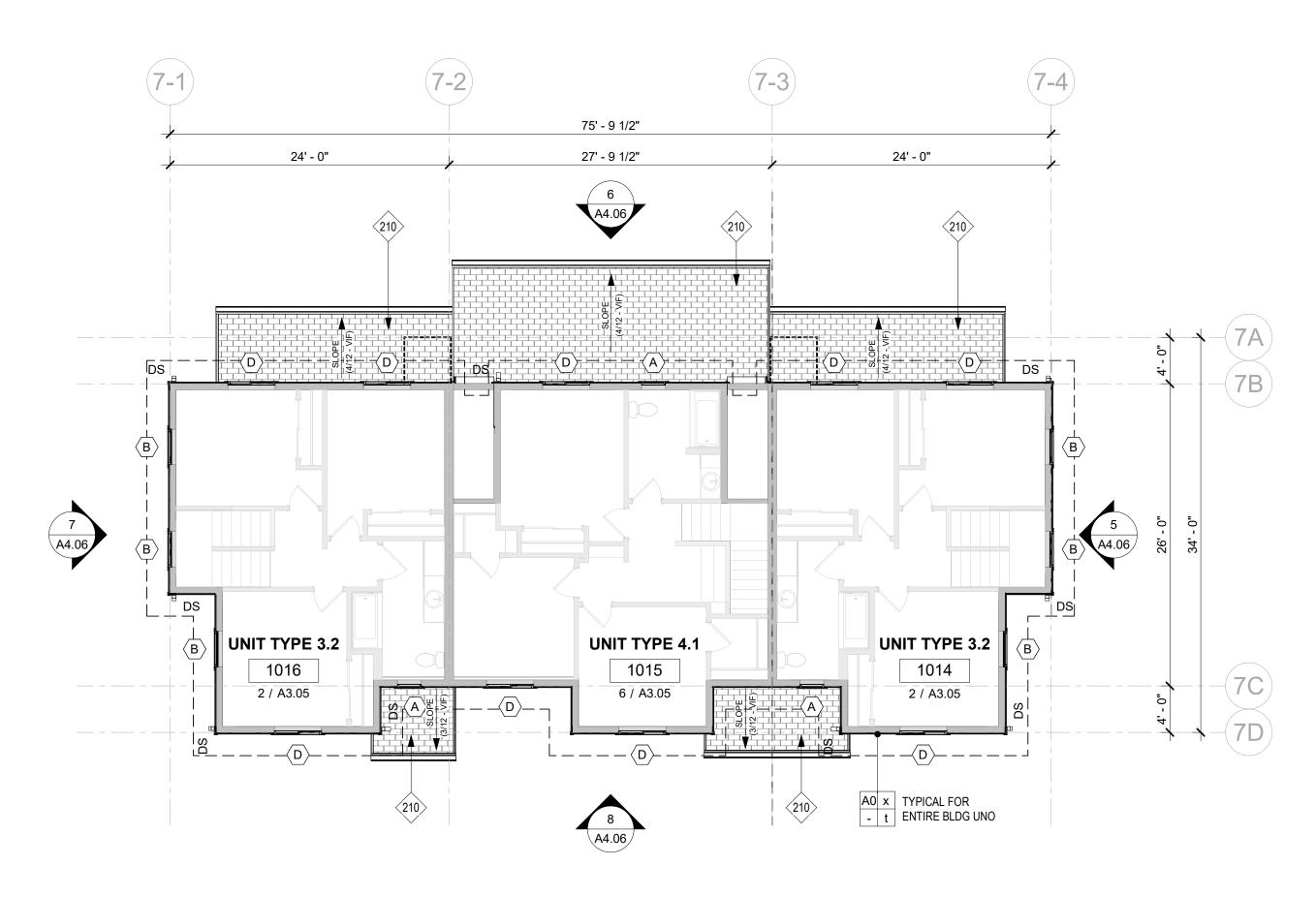
----- EXISTING WALL BELOW

ASPHALT SHINGLE ROOF SYSTEM

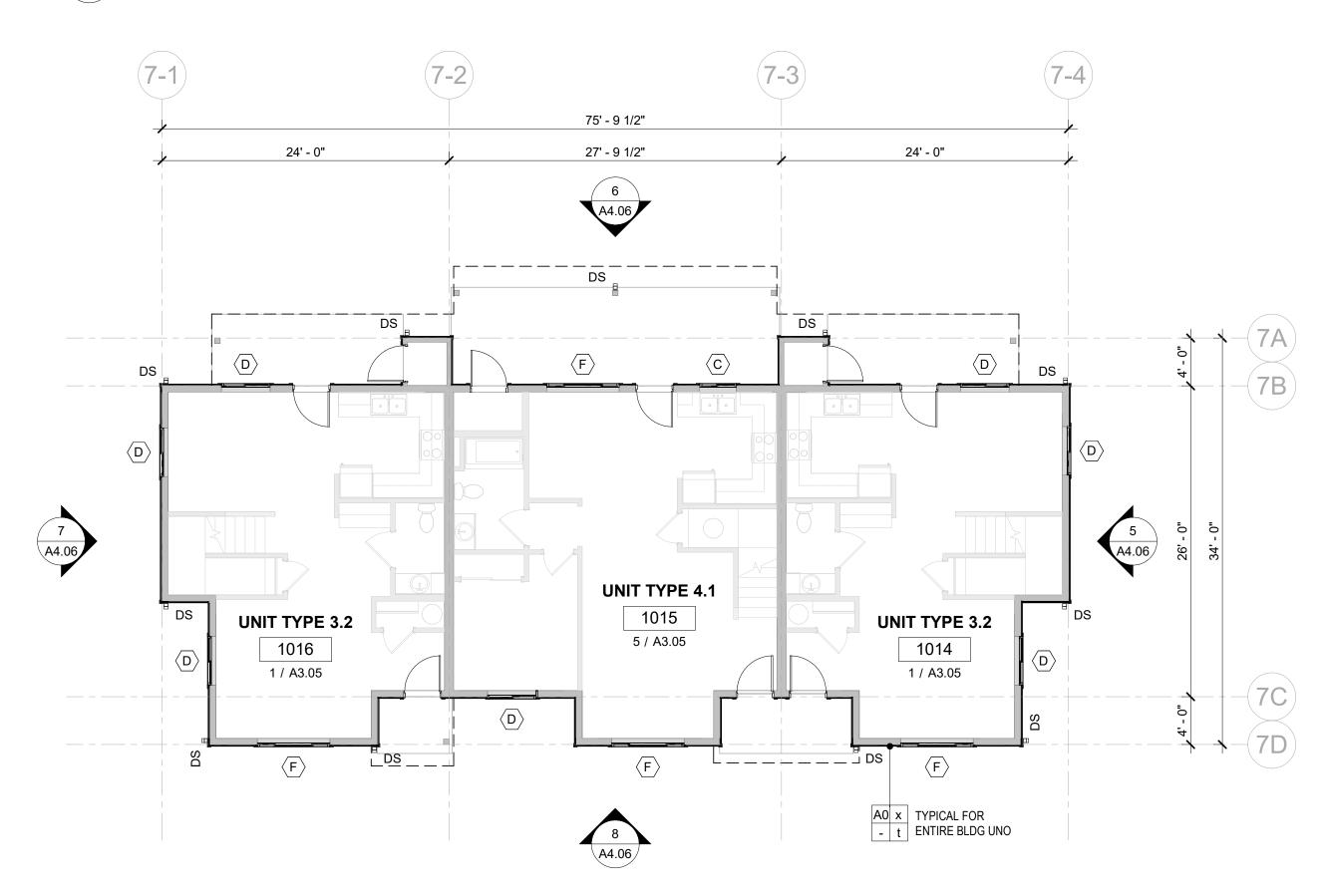
KEY PLAN:



E: DRAWINGS ARI



BUILDING 7 (2941) - FLOOR PLAN - LEVEL 2 SCALE: 1/8" = 1'-0"



1 BUILDING 7 (2941) - FLOOR PLAN - LEVEL 1
SCALE: 1/8" = 1'-0"

GENERAL NOTES:

FLOOR PLAN GENERAL NOTES:

- BUILDING INFORMATION AND EXISTING CONDITIONS BASED ON OWNER PROVIDED DOCUMENTS AND PARTIAL FIELD VERIFICATION. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN FIELD.
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- D. PROVIDE DOWNSPOUTS IN SAME LOCATIONS AS EXISTING AND CONNECT TO BELOW GRADE SYSTEM WHERE APPLICABLE, TYPICAL.
 - REFER TO SHEET G1.02 FOR TYPICAL NOTES REGARDING DESIGN BUILD MECHANICAL, ELECTRICAL, PLUMBING, FIRE SPRINKLER AND LOW VOLT ITEMS.
- F. REFER TO SHEET A3.00 FOR UNIT INTERIOR SCOPE MATRIX.
- G. ALL VENTING FOR MISCELLANEOUS ROOFS SHOWN ON PLANS, INCLUDING BUT NOT LIMITED TO PORCH, STORAGE, AND PATIOS BY CONTRACTOR.
- H. REFER TO SHEET G3.01 FOR ASSEMBLY INFORMATION & SHEET G1.01 FOR EXISTING BUILDING FIRE LIFE SAFETY INFORMATION.

KEYNOTES: 💉

210 FIBER CEMENT SOFFIT PANEL - PAINT

COLONIA LIBERTAD 1
2911 SADDLE CLUB ROAD
SALEM, OREGON 97317
LAND USE: DESIGN REVIEW
SITE PLAN REIVEW

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ARCHITECTURE

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FLOOR PLAN LEGEND:

LEGEND:

EXISTING WALL

NEW WALL/ RAINSCREEN CLADDING

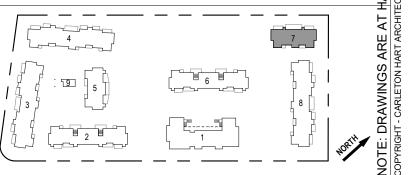
EXISTING DOOR

NEW DOOR, REFER TO A9.01

EXISTING ROOF/ PATIO ABOVE

DS DOWNSPOUT, REFER TO 12 / A8.21

KEY PLAN:



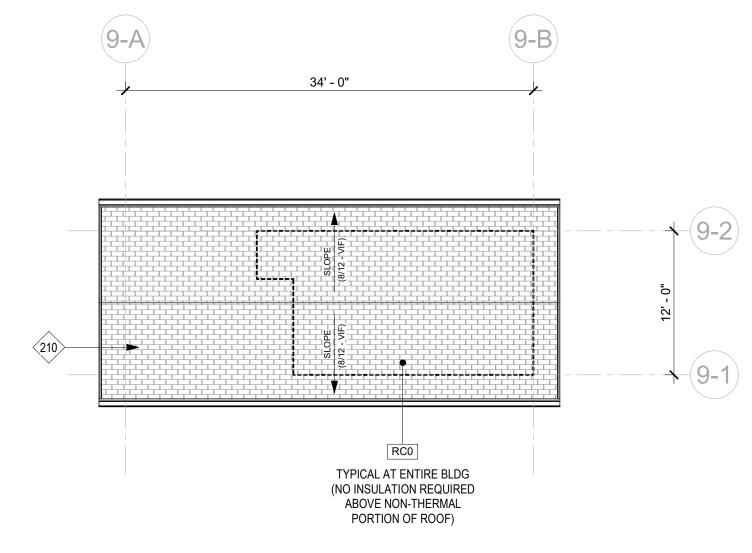
BLDG 7 - FLOOR PLAN -LEVELS 1 & 2 & ROOF

PLAN
PROJECT NO.

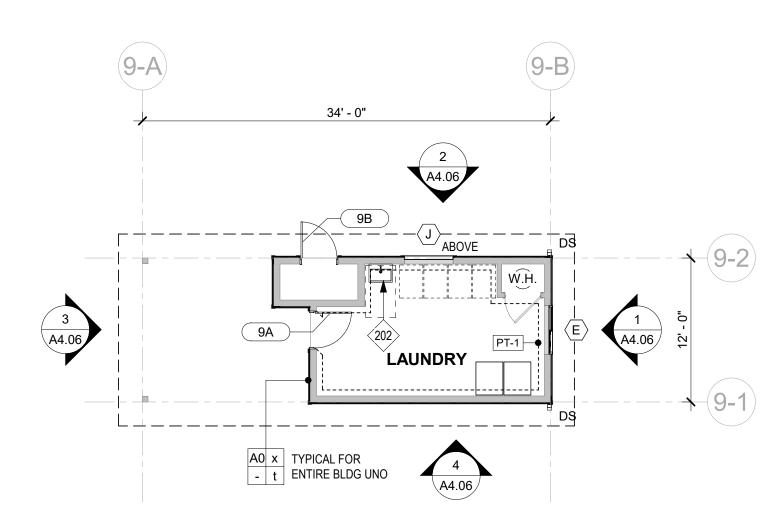
03.31.25

REVISIONS: #

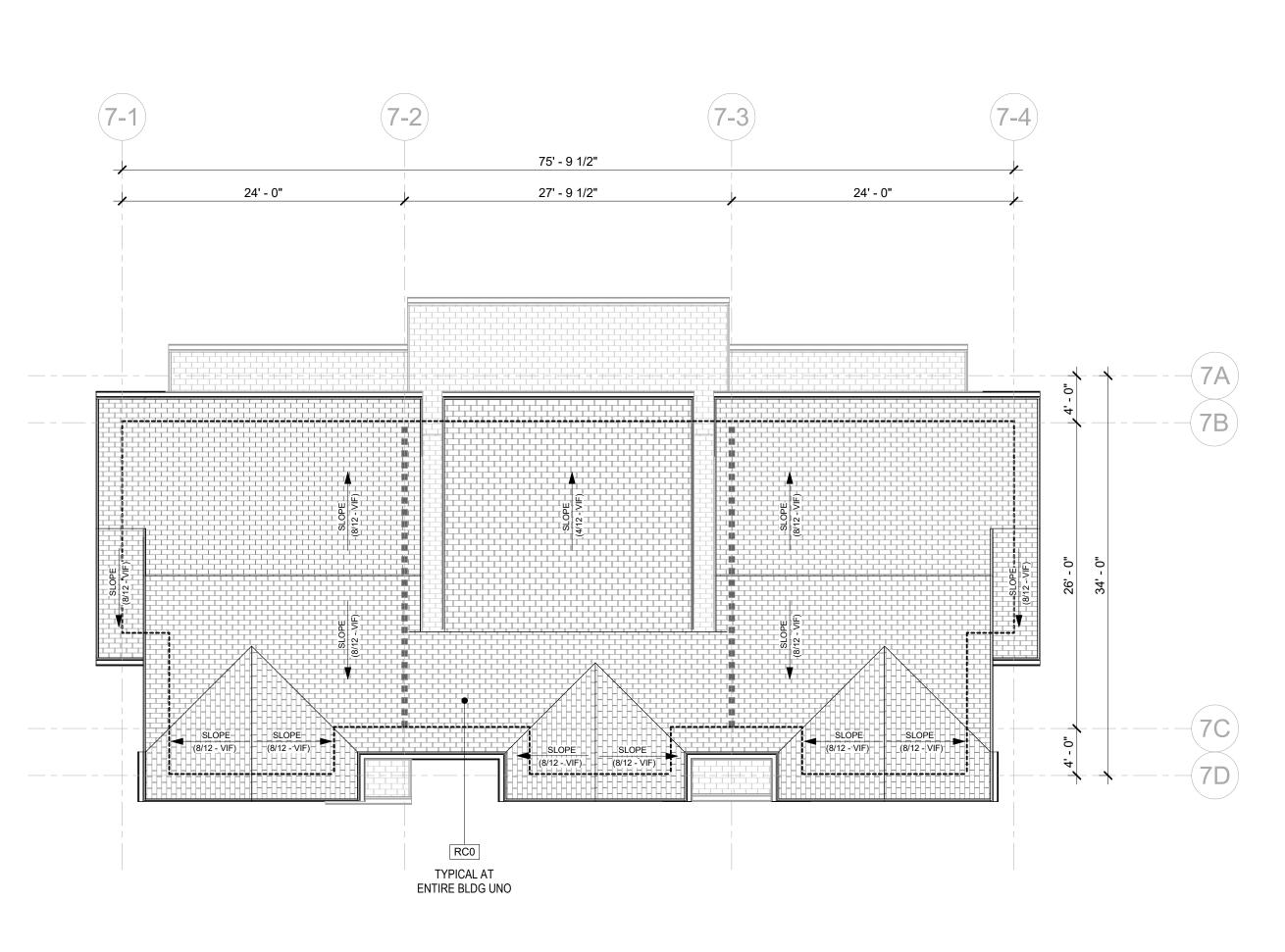
Δ2 10



BUILDING 9 (2961) - ROOF PLAN SCALE: 1/8" = 1'-0"



1 BUILDING 9 (2961) - FLOOR PLAN SCALE: 1/8" = 1'-0"



3 BUILDING 7 (2941) - ROOF PLAN SCALE: 1/8" = 1'-0"

GENERAL NOTES:

FLOOR PLAN GENERAL NOTES:

- A. BUILDING INFORMATION AND EXISTING CONDITIONS BASED ON OWNER PROVIDED DOCUMENTS AND PARTIAL FIELD VERIFICATION. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN FIELD.
- B. EXISTING DIMENSIONS ARE FOR REFERENCE ONLY AND TO FACE OF STUD OR GRIDLINE.
- C. APPURTENANCES & MISCELLANEOUS ENVELOPE PENETRATIONS ARE NOT SHOWN IN DOCUMENTS, LOCATIONS AND QUANTITIES TO BE FIELD VERIFIED BY CONTRACTOR PRIOR TO BIDDING REFER TO SHEET A8.21 FOR TYPICAL FLASHING DETAIL CONDITIONS.
- D. PROVIDE DOWNSPOUTS IN SAME LOCATIONS AS EXISTING AND CONNECT TO BELOW GRADE SYSTEM WHERE APPLICABLE, TYPICAL.
- REFER TO SHEET G1.02 FOR TYPICAL NOTES REGARDING DESIGN BUILD MECHANICAL, ELECTRICAL, PLUMBING, FIRE SPRINKLER AND LOW VOLT ITEMS.
- REFER TO SHEET A3.00 FOR UNIT INTERIOR SCOPE MATRIX.
- G. ALL VENTING FOR MISCELLANEOUS ROOFS SHOWN ON PLANS, INCLUDING BUT NOT LIMITED TO PORCH, STORAGE, AND PATIOS BY CONTRACTOR.
- H. REFER TO SHEET G3.01 FOR ASSEMBLY INFORMATION & SHEET G1.01 FOR EXISTING BUILDING FIRE LIFE SAFETY INFORMATION.

ROOF PLAN GENERAL NOTES:

- A. BUILDING INFORMATION AND EXISTING CONDITIONS BASED ON OWNER PROVIDED DOCUMENTS AND PARTIAL FIELD VERIFICATION. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN FIELD.
- ROOF PENETRATIONS ARE NOT SHOWN.
 COORDINATE WITH OTHER WORK SCOPES & FLASH
 PER DETAILS ON A8.51.
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- D. MAINTAIN 20" MINIMUM CLEAR FROM ROOF VALLEYS TO LOW INTAKE VENT STRIPS & STATIC VENTS COORDINATE W/ VALLEY FLASHING DISTANCE FROM ROOF GABLE OR EAVE TO LOW INTAKE VENT STRIPS TO BE 36" MINIMUM PER MANUFACTURER REQUIREMENTS.
- E. ROOF VENTING TO REMAIN AS IS. CONTRACTOR TO VERIFY ALL VENTING CONDITIONS IN THE FIELD AND REPLACE ALL VENTING IN KIND.

KEYNOTES: (x)

NEW ACCESSIBLE SINK - REFER TO G1.02 OR ADDITIONAL INFORMATION

210 FIBER CEMENT SOFFIT PANEL - PAINT

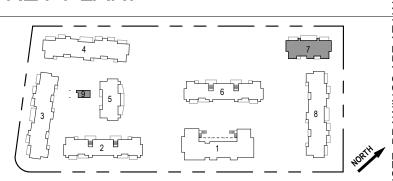
LEGEND:

ROOF PLAN LEGEND:

----- EXISTING WALL BELOW

ASSUMED EXISTING DRAFTSTOPPING

KEY PLAN:



ASPHALT SHINGLE ROOF SYSTEM

PRELIMINARY
NOT FOR
CONSTRUCTION



COLONIA LIBERTAD 1
2911 SADDLE CLUB ROAD
SALEM, OREGON 97317
LAND USE: DESIGN REVIEW 8

BLDG 7 ROOF PLAN & BLDG 9 - FLOOR PLAN & ROOF PLAN

> PROJECT NO. 24007

03.31.25

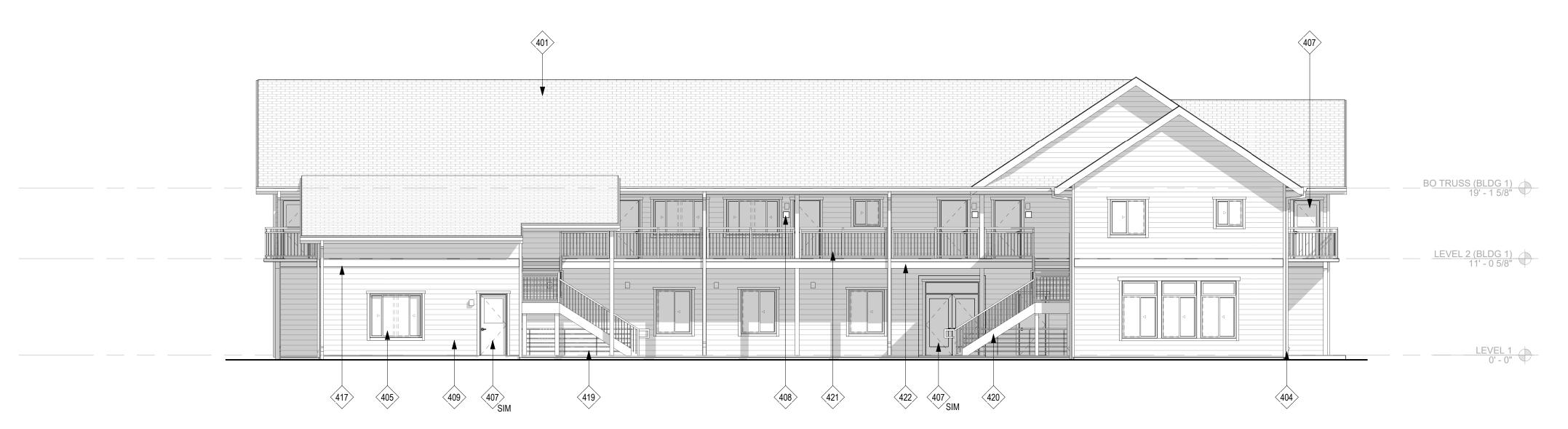
REVISIONS: #

BUILDING 1 (2921) - SW ELEVATION

SCALE: 1/8" = 1'-0"

BUILDING 1 (2921) - NE ELEVATION

SCALE: 1/8" = 1'-0"



3 BUILDING 1 (2921) - NW ELEVATION
SCALE: 1/8" = 1'-0"



BUILDING 1 (2921) - SE ELEVATION

SCALE: 1/8" = 1'-0"

GENERAL NOTES:

EXTERIOR ELEVATIONS GENERAL NOTES:

- **BUILDING INFORMATION AND EXISTING CONDITIONS** BASED ON OWNER PROVIDED DOCUMENTS AND PARTIAL FIELD VERIFICATION. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN FIELD.
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- APPURTENANCES & MISCELLANEOUS ENVELOPE PENETRATIONS ARE NOT SHOWN IN DOCUMENTS, LOCATIONS AND QUANTITIES TO BE FIELD VERIFIED BY CONTRACTOR PRIOR TO BIDDING - REFER TO SHEET A8.21 FOR TYPICAL FLASHING DETAIL CONDITIONS.
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- REFER TO SHEET G1.02 FOR TYPICAL NOTES REGARDING DESIGN BUILD MECHANICAL, ELECTRICAL, PLUMBING, FIRE SPRINKLER AND LOW
- REFER TO SHEET G3.01 FOR ASSEMBLY INFORMATION & SHEET G1.01 FOR EXISTING BUILDING FIRE LIFE SAFETY INFORMATION.
- PAINT SURFACES, INCLUDING BUT NOT LIMITED TO:
- ALL SIDING (LAP, BOARD & BATTEN & PANEL) ALL WINDOW TRIM, DOOR TRIM & CORNER TRIM ALL EXTERIOR DOORS & FRAMES (INT SIDE SHOULD BE DIFFERENT COLOR THAN EXT SIDE)

EXISTING STRUCTURE (BEAMS, COLUMNS, ETC.)

- **ROOF FASCIA** UNDERSIDE OF SOFFITS
- UNDERSIDE OF EAVES AND RAKES UNDERSIDE OF DECK SUPPORT STRUCTURE
- ALL NEW METAL VENT COVERS (PROTECT OPERABLE PARTS TO ENSURE PROPER FUNCTION) ALL ELECTRICAL AND GAS EQUIPMENT AND ASSOCIATED MOUNTING PANELS (PROTECT LATCHES, LABELS, TAGS, VIEW PANELS, ETC.)
- MISCELLANEOUS METAL FLASHING ITEMS, INCLUDING BUT NOT LIMITED TO GUTTER, DOWNSPOUTS, THRU WALL FLASHING, BASE OF WALL FLASHING, ROOF FLASHING

KEYNOTES: (x)

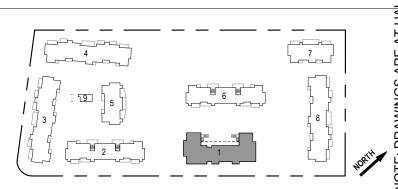
- 401 NEW ASPHALT SHINGLE ROOFING SYSTEM & ROOF SHEATHING, TYPICAL
- 402 NEW SUB-FASCIA & FASCIA, PAINTED TYPICAL
- 404 NEW DOWNSPOUT, CONNECT TO EXISTING AS APPLICABLE, TYPICAL
- 405 NEW VINYL WINDOWS, TYPICAL
- 406 NEW VINYL SLIDING GLASS DOOR, TYPICAL
- 407 NEW FIBERGLASS DOOR & COMPOSITE FRAME -TYPICAL AT UNIT ENTRY, UNIT PATIO & UNIT STORAGE
- 408 NEW UNIT SIGNAGE, TYPICAL
- 409 NEW CLADDING AND TRIM PAINTED, TYPICAL
- 411 NEW BUILDING SIGNAGE, TYPICAL
- 412 NEW PRIVACY FENCE, BIDDER DESIGNED (STEEL POSTS, FOOTINGS & COMPOSITE CLADDING)
- 415 NEW MURAL BY OWNER
- 417 NEW FIBER CEMENT BELLY BAND PAINTED, TYPICAL
- 419 ADD-ALT #11: NEW CANE DETECTION (24" H, LENGTH PER PLANS)
- 420 EXISTING STAIRS TO REMAIN TREAD REPLACEMENT AS REQUIRED PER ALLOWANCE, TYPICAL
- 421 ADD-ALT #12: NEW GUARDRAIL (42" H) & HANDRAIL
- 422 EXISTING COLUMN & BEAM TO REMAIN -REPLACEMENT AS REQUIRED PER ALLOWANCE,

LEGEND:

EXTERIOR ELEVATION LEGEND:

ASPHALT ROOFING SYSTEM LAP SIDING (7" EXPOSURE) -PAINTED, TYPICAL BOARD & BATTEN SIDING -PAINTED, TYPICAL PANEL SIDING - PAINTED

KEY PLAN:



PRELIMINARY NOT FOR CONSTRUCTION



E: DESIGN REVIEW & COLONIA LIBERTAD 1 2911 SADDLE CLUB ROAD SALEM, OREGON 97317

BLDG 1 - EXTERIOR **ELEVATIONS**

PROJECT NO.

24007

03.31.25



BUILDING 2 (2991) - SE ELEVATION

SCALE: 1/8" = 1'-0"

GENERAL NOTES:

EXTERIOR ELEVATIONS GENERAL NOTES:

- BUILDING INFORMATION AND EXISTING CONDITIONS BASED ON OWNER PROVIDED DOCUMENTS AND PARTIAL FIELD VERIFICATION. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN FIELD.
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- REFER TO SHEET G1.02 FOR TYPICAL NOTES REGARDING DESIGN BUILD MECHANICAL, ELECTRICAL, PLUMBING, FIRE SPRINKLER AND LOW
- REFER TO SHEET G3.01 FOR ASSEMBLY INFORMATION & SHEET G1.01 FOR EXISTING BUILDING FIRE LIFE SAFETY INFORMATION.
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- **ROOF FASCIA** UNDERSIDE OF SOFFITS
- UNDERSIDE OF EAVES AND RAKES UNDERSIDE OF DECK SUPPORT STRUCTURE EXISTING STRUCTURE (BEAMS, COLUMNS, ETC.)
- ALL NEW METAL VENT COVERS (PROTECT OPERABLE PARTS TO ENSURE PROPER FUNCTION) ALL ELECTRICAL AND GAS EQUIPMENT AND ASSOCIATED MOUNTING PANELS (PROTECT LATCHES, LABELS, TAGS, VIEW PANELS, ETC.)
- MISCELLANEOUS METAL FLASHING ITEMS, INCLUDING BUT NOT LIMITED TO GUTTER, DOWNSPOUTS, THRU WALL FLASHING, BASE OF WALL FLASHING, ROOF FLASHING

KEYNOTES: (x)

- 401 NEW ASPHALT SHINGLE ROOFING SYSTEM & ROOF SHEATHING, TYPICAL
- 402 NEW SUB-FASCIA & FASCIA, PAINTED TYPICAL
- 404 NEW DOWNSPOUT, CONNECT TO EXISTING AS APPLICABLE, TYPICAL
- 405 NEW VINYL WINDOWS, TYPICAL
- 407 NEW FIBERGLASS DOOR & COMPOSITE FRAME -TYPICAL AT UNIT ENTRY, UNIT PATIO & UNIT STORAGE
- 408 NEW UNIT SIGNAGE, TYPICAL
- 409 NEW CLADDING AND TRIM PAINTED, TYPICAL
- 411 NEW BUILDING SIGNAGE, TYPICAL
- 412 NEW PRIVACY FENCE, BIDDER DESIGNED (STEEL POSTS, FOOTINGS & COMPOSITE CLADDING)
- 417 NEW FIBER CEMENT BELLY BAND PAINTED, TYPICAL
- 419 ADD-ALT #11: NEW CANE DETECTION (24" H, LENGTH
- 420 EXISTING STAIRS TO REMAIN TREAD REPLACEMENT AS REQUIRED PER ALLOWANCE, TYPICAL
- 421 ADD-ALT #12: NEW GUARDRAIL (42" H) & HANDRAIL
- 422 EXISTING COLUMN & BEAM TO REMAIN -REPLACEMENT AS REQUIRED PER ALLOWANCE,

LEGEND:

EXTERIOR ELEVATION LEGEND:

PER PLANS)

ASPHALT ROOFING SYSTEM LAP SIDING (7" EXPOSURE) -PAINTED, TYPICAL BOARD & BATTEN SIDING -PAINTED, TYPICAL PANEL SIDING - PAINTED

KEY PLAN:



PRELIMINARY NOT FOR CONSTRUCTION



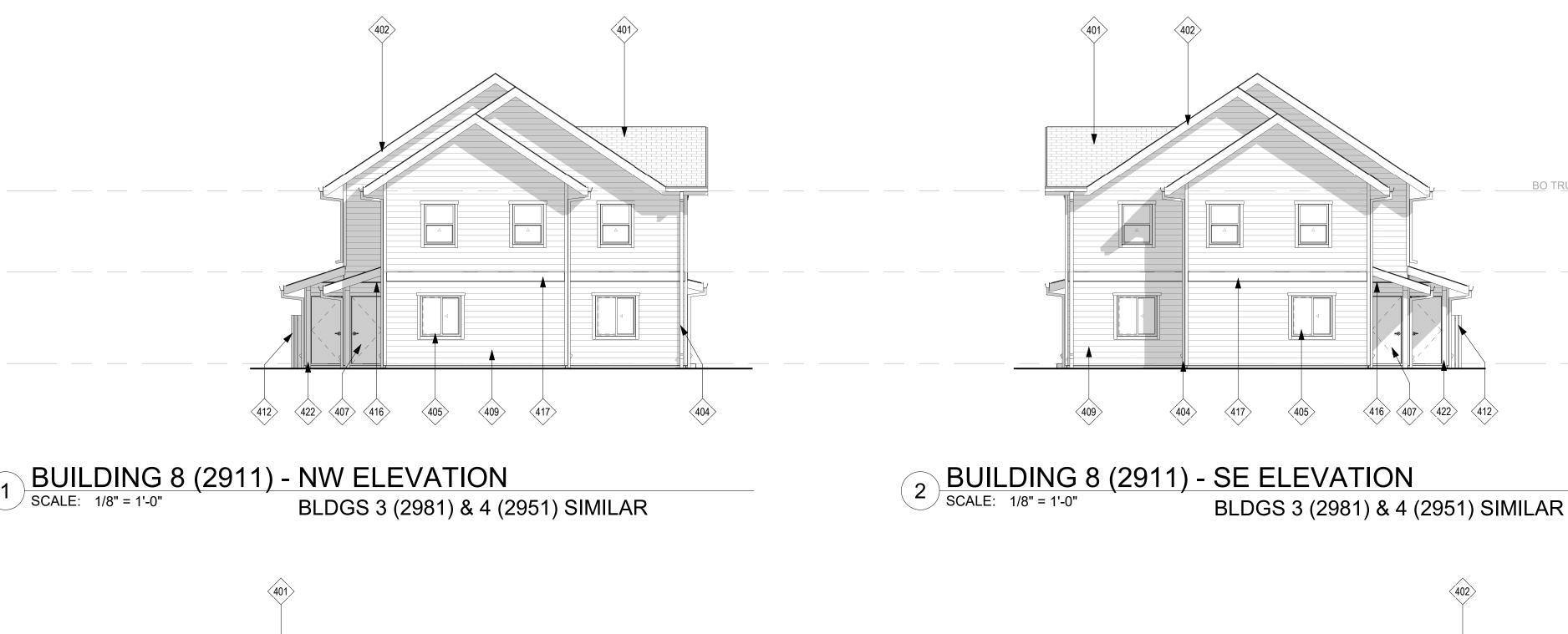
E: DESIGN REVIEW & COLONIA LIBERTAD 1 2911 SADDLE CLUB ROAD SALEM, OREGON 97317

BLDG 2 - EXTERIOR **ELEVATIONS**

PROJECT NO.

24007

03.31.25

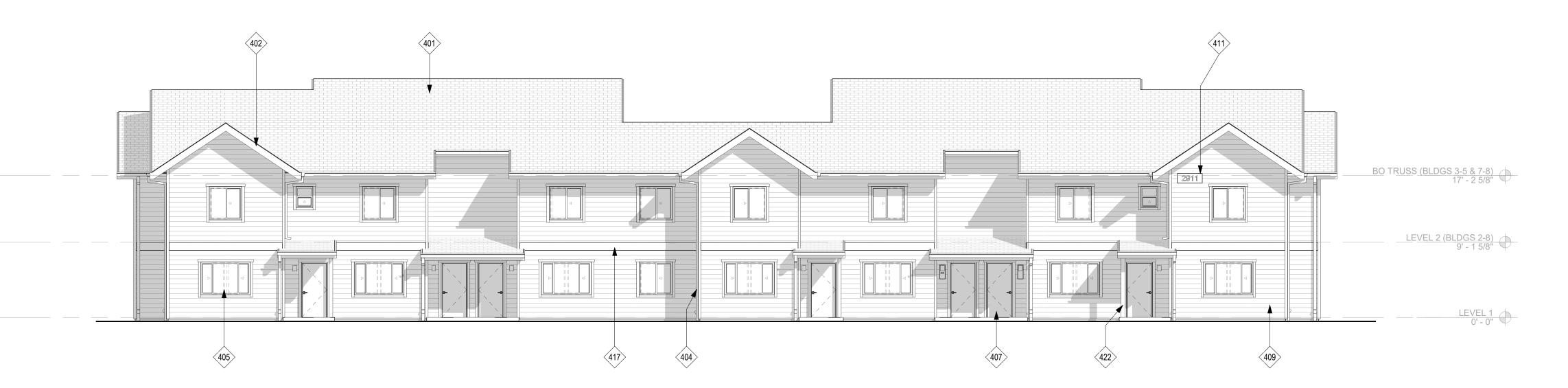




3 BUILDING 8 (2911) - NE ELEVATION

SCALE: 1/8" = 1'-0"

BLDGS 3 (2981) & 4 (2951) SIMILAR



4 BUILDING 8 (2911) - SW ELEVATION

SCALE: 1/8" = 1'-0"

BLDGS 3 (2981) & 4 (2951) SIMILAR

GENERAL NOTES:

BO TRUSS (BLDGS 3-5 & 7-8) 17' - 2 5/8"

> LEVEL 2 (BLDGS 2-8) 9' - 1 5/8"

> > LEVEL 1 0' - 0"

EXTERIOR ELEVATIONS GENERAL NOTES:

- A. BUILDING INFORMATION AND EXISTING CONDITIONS BASED ON OWNER PROVIDED DOCUMENTS AND PARTIAL FIELD VERIFICATION. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN FIELD.
- EXISTING DIMENSIONS ARE FOR REFERENCE ONLY AND TO FACE OF STUD OR GRIDLINE.
- C. APPURTENANCES & MISCELLANEOUS ENVELOPE PENETRATIONS ARE NOT SHOWN IN DOCUMENTS, LOCATIONS AND QUANTITIES TO BE FIELD VERIFIED BY CONTRACTOR PRIOR TO BIDDING REFER TO SHEET A8.21 FOR TYPICAL FLASHING DETAIL CONDITIONS.
- D. PROVIDE DOWNSPOUTS IN SAME LOCATIONS AS EXISTING AND CONNECT TO BELOW GRADE SYSTEM WHERE APPLICABLE, TYPICAL.
- REFER TO SHEET G1.02 FOR TYPICAL NOTES REGARDING DESIGN BUILD MECHANICAL, ELECTRICAL, PLUMBING, FIRE SPRINKLER AND LOW VOLT ITEMS.
- REFER TO SHEET G3.01 FOR ASSEMBLY INFORMATION & SHEET G1.01 FOR EXISTING BUILDING FIRE LIFE SAFETY INFORMATION.
- PAINT SURFACES, INCLUDING BUT NOT LIMITED TO:
- ALL SIDING (LAP, BOARD & BATTEN & PANEL)
 ALL WINDOW TRIM, DOOR TRIM & CORNER TRIM
 ALL EXTERIOR DOORS & FRAMES (INT SIDE SHOULD
 BE DIFFERENT COLOR THAN EXT SIDE)

EXISTING STRUCTURE (BEAMS, COLUMNS, ETC.)

- ROOF FASCIA UNDERSIDE OF SOFFITS
- UNDERSIDE OF SOFFITS
 UNDERSIDE OF EAVES AND RAKES
 UNDERSIDE OF DECK SUPPORT STRUCTURE
- ALL NEW METAL VENT COVERS (PROTECT OPERABLE PARTS TO ENSURE PROPER FUNCTION)
 ALL ELECTRICAL AND GAS EQUIPMENT AND ASSOCIATED MOUNTING PANELS (PROTECT LATCHES, LABELS, TAGS, VIEW PANELS, ETC.)
- MISCELLANEOUS METAL FLASHING ITEMS, INCLUDING BUT NOT LIMITED TO GUTTER, DOWNSPOUTS, THRU WALL FLASHING, BASE OF WALL FLASHING, ROOF FLASHING

KEYNOTES: (x)

- 401 NEW ASPHALT SHINGLE ROOFING SYSTEM & ROOF SHEATHING, TYPICAL
- 402 NEW SUB-FASCIA & FASCIA, PAINTED TYPICAL
- 404 NEW DOWNSPOUT, CONNECT TO EXISTING AS APPLICABLE, TYPICAL
- 405 NEW VINYL WINDOWS, TYPICAL
- 407 NEW FIBERGLASS DOOR & COMPOSITE FRAME TYPICAL AT UNIT ENTRY, UNIT PATIO & UNIT STORAGE
- 409 NEW CLADDING AND TRIM PAINTED, TYPICAL
- 411 NEW BUILDING SIGNAGE, TYPICAL
- 412 NEW PRIVACY FENCE, BIDDER DESIGNED (STEEL POSTS, FOOTINGS & COMPOSITE CLADDING)
- 416 FIBER CEMENT SOFFIT PANEL PAINTED
- 417 NEW FIBER CEMENT BELLY BAND PAINTED, TYPICAL
- 422 EXISTING COLUMN & BEAM TO REMAIN -REPLACEMENT AS REQUIRED PER ALLOWANCE, TYPICAL

PRELIMINARY NOT FOR CONSTRUCTION



COLONIA LIBERTAD 1
2911 SADDLE CLUB ROAD
SALEM, OREGON 97317
LAND USE: DESIGN REVIEW 8
SITE PLAN REIVEW

BLDGS 3, 4 & 8 -EXTERIOR ELEVATIONS

PROJECT NO.

03.31.25

REVISIONS:

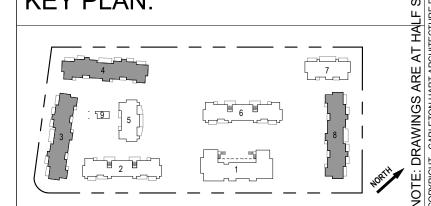
EXTERIOR ELEVATION LEGEND:

LEGEND:

ASPHALT ROOFING SYSTEM LAP SIDING (7" EXPOSURE) PAINTED, TYPICAL BOARD & BATTEN SIDING PAINTED, TYPICAL

PANEL SIDING - PAINTED

KEY PLAN:



A4.03

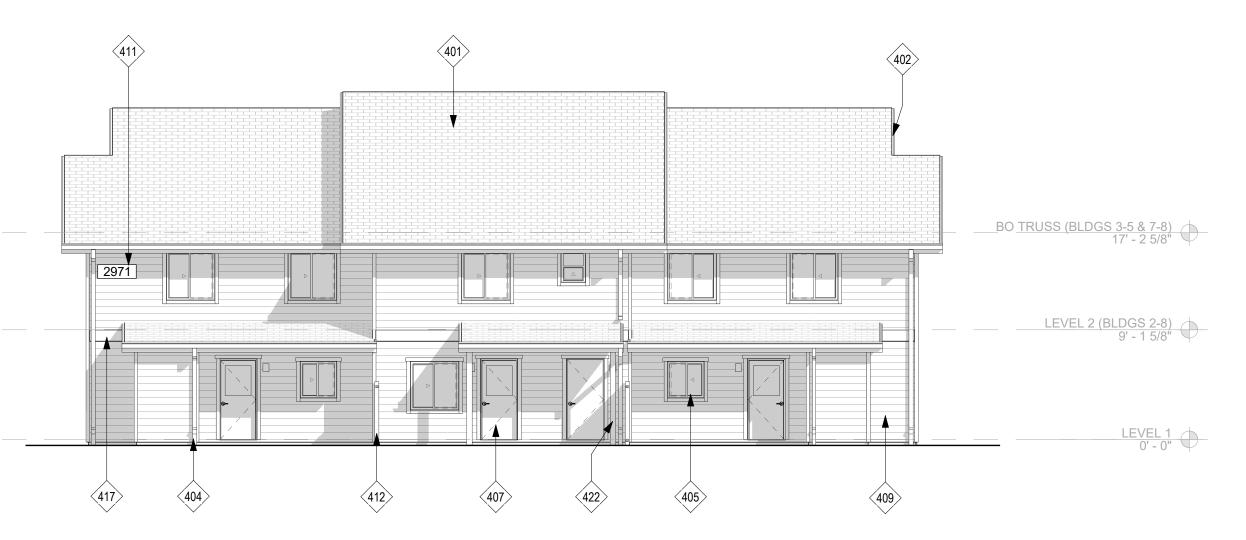


BO TRUSS (BLDGS 3-5 & 7-8) 17' - 2 5/8" LEVEL 2 (BLDGS 2-8) 9' - 1 5/8" LEVEL 1 0' - 0" 422 405 416 404 417 (409)

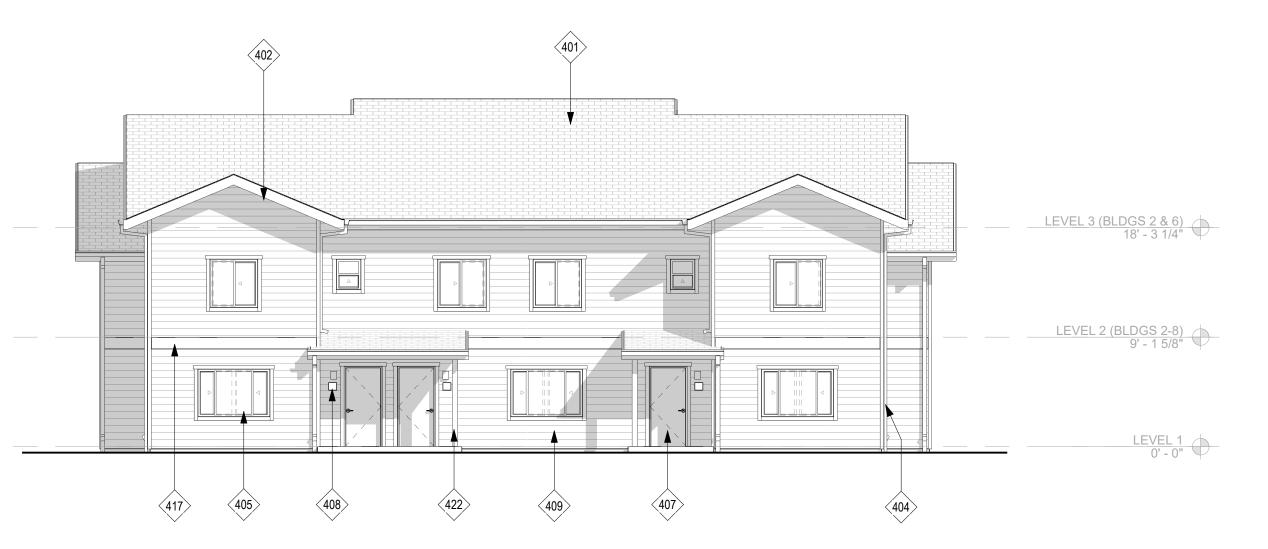
BUILDING 5 (2971) - NW ELEVATION SCALE: 1/8" = 1'-0"

BUILDING 5 (2971) - SE ELEVATION

SCALE: 1/8" = 1'-0"



3 BUILDING 5 (2971) - NE ELEVATION
SCALE: 1/8" = 1'-0"



4 BUILDING 5 (2971) - SW ELEVATION SCALE: 1/8" = 1'-0"

GENERAL NOTES:

EXTERIOR ELEVATIONS GENERAL NOTES:

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- PROVIDE DOWNSPOUTS IN SAME LOCATIONS AS EXISTING AND CONNECT TO BELOW GRADE SYSTEM WHERE APPLICABLE, TYPICAL.
- REFER TO SHEET G1.02 FOR TYPICAL NOTES REGARDING DESIGN BUILD MECHANICAL, ELECTRICAL, PLUMBING, FIRE SPRINKLER AND LOW VOLT ITEMS.
- REFER TO SHEET G3.01 FOR ASSEMBLY INFORMATION & SHEET G1.01 FOR EXISTING BUILDING FIRE LIFE SAFETY INFORMATION.
- PAINT SURFACES, INCLUDING BUT NOT LIMITED TO:
- ALL SIDING (LAP, BOARD & BATTEN & PANEL) ALL WINDOW TRIM, DOOR TRIM & CORNER TRIM ALL EXTERIOR DOORS & FRAMES (INT SIDE SHOULD BE DIFFERENT COLOR THAN EXT SIDE)
- **ROOF FASCIA**
- UNDERSIDE OF SOFFITS UNDERSIDE OF EAVES AND RAKES UNDERSIDE OF DECK SUPPORT STRUCTURE EXISTING STRUCTURE (BEAMS, COLUMNS, ETC.)
- ALL NEW METAL VENT COVERS (PROTECT OPERABLE PARTS TO ENSURE PROPER FUNCTION) ALL ELECTRICAL AND GAS EQUIPMENT AND ASSOCIATED MOUNTING PANELS (PROTECT LATCHES, LABELS, TAGS, VIEW PANELS, ETC.)
- MISCELLANEOUS METAL FLASHING ITEMS, INCLUDING BUT NOT LIMITED TO GUTTER, DOWNSPOUTS, THRU WALL FLASHING, BASE OF WALL FLASHING, ROOF FLASHING

KEYNOTES: (x)

- 401 NEW ASPHALT SHINGLE ROOFING SYSTEM & ROOF SHEATHING, TYPICAL
- 402 NEW SUB-FASCIA & FASCIA, PAINTED TYPICAL
- 404 NEW DOWNSPOUT, CONNECT TO EXISTING AS APPLICABLE, TYPICAL
- 405 NEW VINYL WINDOWS, TYPICAL
- 407 NEW FIBERGLASS DOOR & COMPOSITE FRAME -TYPICAL AT UNIT ENTRY, UNIT PATIO & UNIT STORAGE
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- 411 NEW BUILDING SIGNAGE, TYPICAL
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- 416 FIBER CEMENT SOFFIT PANEL PAINTED
- 417 NEW FIBER CEMENT BELLY BAND PAINTED, TYPICAL
- 422 EXISTING COLUMN & BEAM TO REMAIN -REPLACEMENT AS REQUIRED PER ALLOWANCE,

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BLDG 5 - EXTERIOR **ELEVATIONS**

PROJECT NO.

24007

03.31.25

REVISIONS: #

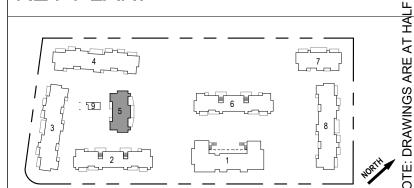
EXTERIOR ELEVATION LEGEND:

ASPHALT ROOFING SYSTEM

LAP SIDING (7" EXPOSURE) -PAINTED, TYPICAL

LEGEND:

BOARD & BATTEN SIDING -PAINTED, TYPICAL PANEL SIDING - PAINTED



KEY PLAN:



405

417

412

422

407

BUILDING 6 (2931) - SE ELEVATION

SCALE: 1/8" = 1'-0"

GENERAL NOTES:

EXTERIOR ELEVATIONS GENERAL NOTES:

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- REFER TO SHEET G3.01 FOR ASSEMBLY INFORMATION & SHEET G1.01 FOR EXISTING BUILDING FIRE LIFE SAFETY INFORMATION.
- PAINT SURFACES, INCLUDING BUT NOT LIMITED TO:
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- **ROOF FASCIA** UNDERSIDE OF SOFFITS
- UNDERSIDE OF EAVES AND RAKES UNDERSIDE OF DECK SUPPORT STRUCTURE

EXISTING STRUCTURE (BEAMS, COLUMNS, ETC.)

- ALL NEW METAL VENT COVERS (PROTECT OPERABLE PARTS TO ENSURE PROPER FUNCTION) ALL ELECTRICAL AND GAS EQUIPMENT AND ASSOCIATED MOUNTING PANELS (PROTECT LATCHES, LABELS, TAGS, VIEW PANELS, ETC.)
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KEYNOTES: (x)

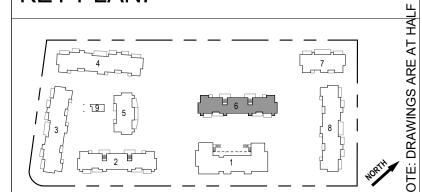
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- 419 ADD-ALT #11: NEW CANE DETECTION (24" H, LENGTH PER PLANS)
- 420 EXISTING STAIRS TO REMAIN TREAD REPLACEMENT AS REQUIRED PER ALLOWANCE, TYPICAL
- 421 ADD-ALT #12: NEW GUARDRAIL (42" H) & HANDRAIL
- 422 EXISTING COLUMN & BEAM TO REMAIN -REPLACEMENT AS REQUIRED PER ALLOWANCE,

LEGEND:

EXTERIOR ELEVATION LEGEND:

ASPHALT ROOFING SYSTEM LAP SIDING (7" EXPOSURE) -PAINTED, TYPICAL BOARD & BATTEN SIDING -PAINTED, TYPICAL PANEL SIDING - PAINTED

KEY PLAN:



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BLDG 6 - EXTERIOR ELEVATIONS

> PROJECT NO. 24007

03.31.25



GENERAL NOTES:

EXTERIOR ELEVATIONS GENERAL NOTES:

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 ALL EXTERIOR DOORS & FRAMES (INT SIDE SHOULD
 BE DIFFERENT COLOR THAN EXT SIDE)
- ROOF FASCIA UNDERSIDE OF SOFFITS
- UNDERSIDE OF SOFFITS

 UNDERSIDE OF EAVES AND RAKES

 UNDERSIDE OF DECK SUPPORT STRUCTURE

 EXISTING STRUCTURE (BEAMS, COLUMNS, ETC.)
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KEYNOTES: (x)

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- 411 NEW BUILDING SIGNAGE, TYPICAL
- 416 FIBER CEMENT SOFFIT PANEL PAINTED
- 417 NEW FIBER CEMENT BELLY BAND PAINTED, TYPICAL
- 422 EXISTING COLUMN & BEAM TO REMAIN REPLACEMENT AS REQUIRED PER ALLOWANCE, TYPICAL
- 424 EXISTING GAS METER AND EQUIPMENT TO REMAIN

BLDG 7 & 9 - EXTERIOR ELEVATIONS

PROJECT NO.

03.31.25

REVISIONS: #

EXTERIOR ELEVATION LEGEND:

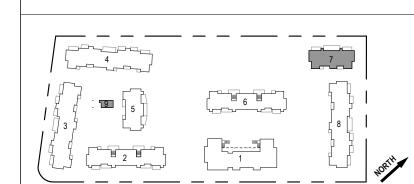
LEGEND:

ASPHALT ROOFING SYSTEM LAP SIDING (7" EXPOSURE) PAINTED, TYPICAL BOARD & BATTEN SIDING PAINTED, TYPICAL

PANFL SID

PANEL SIDING - PAINTED

KEY PLAN:



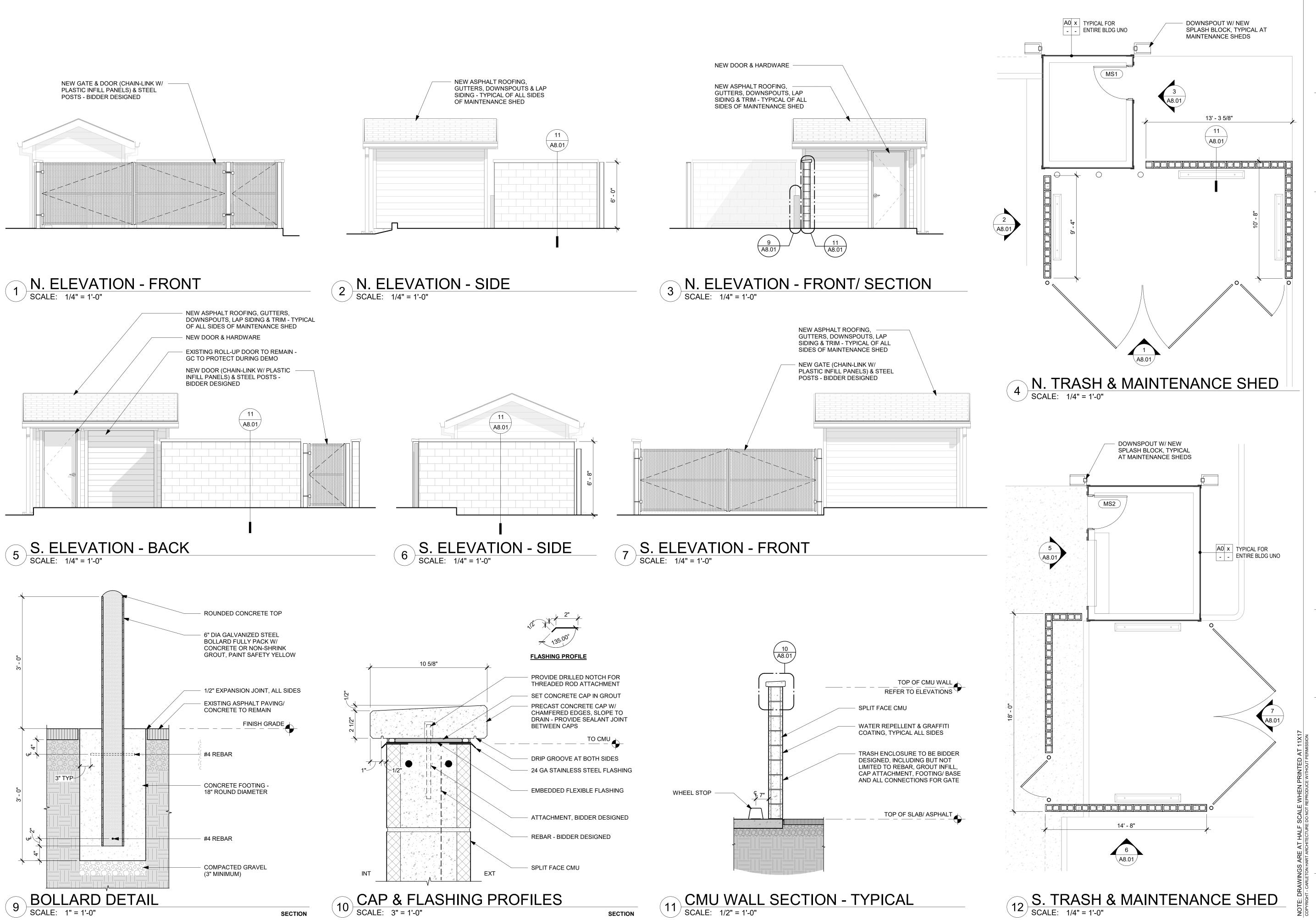
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COLONIA LIBERTAD 1
2911 SADDLE CLUB ROAD
SALEM, OREGON 97317
AND USE: DESIGN REVIEW &
SITE PLAN REIVEW

SITE DETAILS - TRASH ENCLOSURES

> PROJECT NO. 24007

03.31.25

REVISIONS: #

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