



NOTICE of FILING

LAND USE REQUEST AFFECTING THIS AREA

There is a development proposal for the property listed in this notice and shown on the attached map. The City is seeking input from neighbors on the proposal. If you have questions or comments about the proposal, contact the case manager.

Esta carta es un aviso sobre una propuesta de desarrollo para la propiedad enumerada y que se muestra en el mapa adjunto. La ciudad está buscando la opinión de los vecinos sobre la propuesta. Si tiene preguntas o comentarios sobre la propuesta, póngase en contacto con nosotros al 503-588-6213.

CASE NUMBER:	Partition Tentative Plan / Urban Growth Preliminary Declaration / Class 3 Site Plan Review / Class 2 Adjustment / Tree Variance / Class 2 Driveway Approach Permit / Class 1 Design Review / Property Line Adjustment Case No. PAR-UGA-SPR-ADJ-TRV-DAP-DR-PLA25-05
PROPERTY LOCATION:	1700 and 1709 Baxter Rd SE, Salem OR 97306
NOTICE MAILING DATE:	March 18, 2025
PROPOSAL SUMMARY:	New multi-family development of a 138-unit apartment complex.
COMMENT PERIOD:	All written comments must be submitted to City Staff no later than <u>5:00 p.m. Tuesday, April 1, 2025</u>. Please direct any questions and/or comments to the Case Manager listed below, or submit comments online at https://egov.cityofsalem.net/PlanningComments. Comments received after the close of the comment period will not be considered. Note: Comments submitted are <u>public record</u>. This includes any personal information provided in your comment such as name, email, physical address and phone number.
CASE MANAGER:	Jamie Donaldson, Planner III , City of Salem Planning Division, 555 Liberty Street SE, Room 305, Salem, Oregon 97301. Telephone: 503-540-2328; E-mail: jdonaldson@cityofsalem.net
NEIGHBORHOOD ASSOCIATION:	<i>Neighborhood associations are volunteer organizations of neighbors coming together to make neighborhoods the best they can be. They receive notice of land use applications within their boundaries, and they often submit comments on the applications to the City. Neighborhood association meetings are open to everyone. Contact your neighborhood association to get involved:</i> South Gateway Neighborhood Association, Mike Hughes, Land Use Co-Chair; Email: hughes.m@comcast.net
ACCESS:	The Americans with Disabilities Act (ADA) accommodations will be provided on request.
CRITERIA TO BE CONSIDERED:	Salem Revised Code (SRC) Chapter(s) 205.005(d) – Partitions; 200.025(d) & (e) – Urban Growth Preliminary Declaration; 220.005(f)(3) – Class 3 Site Plan Review; 250.005(d)(2) – Class 2 Adjustment; 808.045(d) – Tree Variance; 804.025(d) – Class 2 Driveway Approach Permit; 225.005(d) – Class 1 Design Review; 205.055(d) – Property Line Adjustment

Salem Revised Code (SRC) is available to view at this link:
<http://bit.ly/salemorcode>. Type in the chapter number(s) listed above to view the applicable criteria.

PROPERTY OWNER(S):	Linda K Turnidge Living Trust (Louise Turnidge)
APPLICANT(S):	Neighborly Ventures
PROPOSAL REQUEST:	A consolidated application for a Tentative Partition Plan and Property Line Adjustment to separate the northern portion of the property on its own parcel, and divide the remaining 9.5 acres into two parcels with a new street; an Urban Growth Preliminary Declaration, Class 3 Site Plan Review, three Class 2 Driveway Approach Permits, and Class 1 Design Review for development of a new 138-unit multi-family apartment complex on Parcel 1; a Tree Regulation Variance to remove seven significant trees; and five Class 2 Adjustment requests to: (1) Reduce the minimum setback abutting a street for Building G from 20 feet to 16 feet (SRC 514.010(d)); (2) Eliminate the requirement for off-street parking areas not to be located between a building and the street for the area between Building A and Building L (SRC 702.020(d)(2)); (3) Eliminate the requirement for off-street parking areas not to be located between a building and the street for the area between Building G and Building J (SRC 702.020(d)(2)); (4) Reduce the 40 percent buildable width requirement for buildings along the new cul-de-sac at the end of Abbie Avenue (SRC 702.020(e)(4)); and (5) Reduce the 40 percent buildable width requirement for buildings along the new cul-de-sac at the end of Snowball Avenue (SRC 702.020(e)(4)). The subject properties are approximately 11 acres in total size, zoned RM-II (Multiple Family Residential-II), and located at 1700 and 1709 Baxter Rd SE (Marion County Assessor Map and Tax lot number: 083W14BD / 100 and 200).
APPLICATION PROCESS:	Following the close of the Public Comment Period, a decision will be issued and mailed to the applicant, property owner, affected neighborhood association, anyone who submitted written comments, and anyone who received notice of the land use request. Failure to raise an issue in writing prior to the close of the Public Comment Period with sufficient specificity to provide the opportunity to respond to the issue, precludes appeal to the Land Use Board of Appeals (LUBA) on this issue. A similar failure to raise constitutional issues relating to proposed conditions of approval precludes an action for damages in circuit court.
MORE INFORMATION:	All documents and evidence submitted by the applicant are available on the City's online Permit Application Center at https://permits.cityofsalem.net . You can use the search function without registering and enter the permit number listed here: 24 125333. Paper copies can be obtained for a reasonable cost.

PLEASE PROMPTLY FORWARD A COPY OF THIS NOTICE TO ANY OTHER OWNER, TENANT OR LESSEE
For more information about Planning in Salem:
<http://www.cityofsalem.net/planning>

It is the City of Salem's policy to assure that no person shall be discriminated against on the grounds of race, religion, color, sex, marital status, familial status, national origin, age, mental or physical disability, sexual orientation, gender identity and source of income, as provided by Salem Revised Code Chapter 97. The City of Salem also fully complies with Title VI of the Civil Rights Act of 1964, and related statutes and regulations, in all programs and activities. Disability-related modification or accommodation, including auxiliary aids or services, in order to participate in this meeting or event, are available upon request. Sign language and interpreters for languages other than English are also available upon request. To request such an accommodation or interpretation, contact the Community Development Department at 503-588-6173 at least three business days before this meeting or event.

TTD/TTY telephone 503-588-6439 is also available 24/7

REQUEST FOR COMMENTS

Si necesita ayuda para comprender esta información, por favor llame 503-588-6173

REGARDING: Partition Tentative Plan / Urban Growth Preliminary Declaration / Class 3 Site Plan Review / Class 2 Adjustment / Tree Variance / Class 2 Driveway Approach Permit / Class 1 Design Review / Property Line Adjustment Case No. PAR-UGA-SPR-ADJ-TRV-DAP-DR-PLA25-05

PROJECT ADDRESS: 1700 and 1709 Baxter Rd SE, Salem OR 97306

AMANDA Application No.: 24-125333-PLN

COMMENT PERIOD ENDS: Tuesday, April 1, 2025 at 5:00 p.m.

SUMMARY: New multi-family development of a 138-unit apartment complex.

REQUEST: A consolidated application for a Tentative Partition Plan and Property Line Adjustment to separate the northern portion of the property on its own parcel, and divide the remaining 9.5 acres into two parcels with a new street; an Urban Growth Preliminary Declaration, Class 3 Site Plan Review, three Class 2 Driveway Approach Permits, and Class 1 Design Review for development of a new 138-unit multi-family apartment complex on Parcel 1; a Tree Regulation Variance to remove seven significant trees; and five Class 2 Adjustment requests to:

- (1) Reduce the minimum setback abutting a street for Building G from 20 feet to 16 feet (SRC 514.010(d));
- (2) Eliminate the requirement for off-street parking areas not to be located between a building and the street for the area between Building A and Building L (SRC 702.020(d)(2));
- (3) Eliminate the requirement for off-street parking areas not to be located between a building and the street for the area between Building G and Building J (SRC 702.020(d)(2));
- (4) Reduce the 40 percent buildable width requirement for buildings along the new cul-de-sac at the end of Abbie Avenue (SRC 702.020(e)(4)); and
- (5) Reduce the 40 percent buildable width requirement for buildings along the new cul-de-sac at the end of Snowball Avenue (SRC 702.020(e)(4)).

The subject properties are approximately 11 acres in total size, zoned RM-II (Multiple Family Residential-II), and located at 1700 and 1709 Baxter Rd SE (Marion County Assessor Map and Tax lot number: 083W14BD / 100 and 200).

The Planning Division is interested in hearing from you about the attached proposal. Staff will prepare a Decision that includes consideration of comments received during this comment period. We are interested in receiving pertinent, factual information such as neighborhood association recommendations and comments of affected property owners or residents. The complete case file, including all materials submitted by the applicant and any applicable professional studies such as traffic impact analysis, geologic assessments, and stormwater reports, are available upon request.

Comments received by 5:00 p.m. Tuesday, April 1, 2025, will be considered in the decision process. Comments received after this date will be not considered. *Comments submitted are public record. This includes any personal information provided in your comment such as name, email, physical address and phone number. Mailed comments can take up to 7 calendar days to arrive at our office. To ensure that your comments are received by the deadline, we recommend that you e-mail your comments to the Case Manager listed below, or submit comments online at <https://egov.cityofsalem.net/PlanningComments>*

CASE MANAGER: Jamie Donaldson, Planner III, City of Salem, Planning Division; 555 Liberty St SE, Room 305, Salem, OR 97301; Phone: 503-540-2328; E-Mail: jdonaldson@cityofsalem.net.

For information about Planning in Salem, please visit: <http://www.cityofsalem.net/planning>

PLEASE CHECK THE FOLLOWING THAT APPLY:

- ☐ 1. I have reviewed the proposal and have no objections to it.
- ☐ 2. I have reviewed the proposal and have the following comments: _____

Name/Agency: _____
Address: _____
Phone: _____
Email: _____
Date: _____

IMPORTANT: IF YOU MAIL COMMENTS, PLEASE FOLD AND RETURN THIS POSTAGE-PAID FORM



POSTAGE WILL BE PAID BY ADDRESSEE

PLANNING DIVISION
CITY OF SALEM RM 305
555 LIBERTY ST SE
SALEM OR 97301-9907

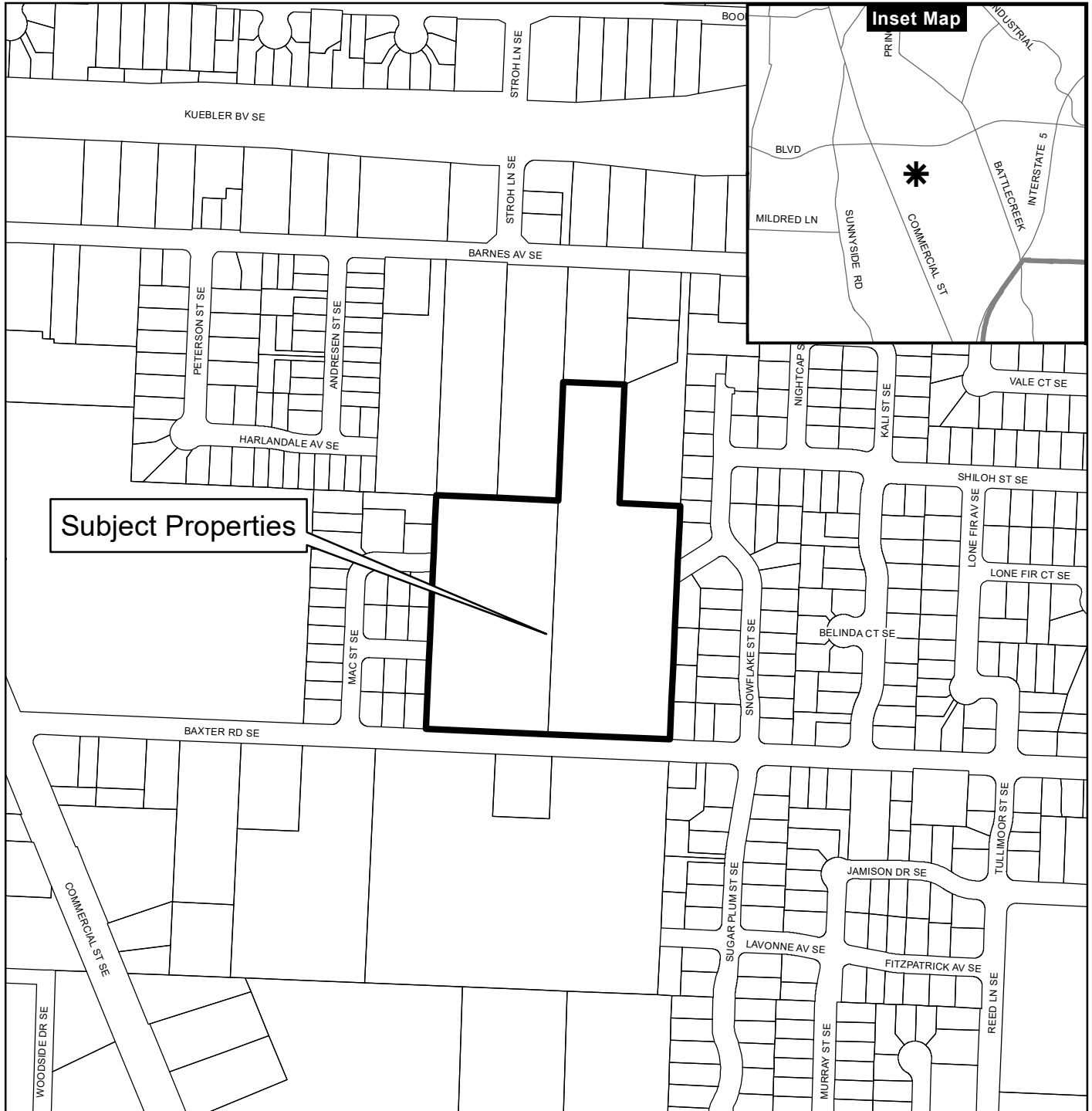


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UNITED STATES



Vicinity Map

1700 & 1709 Baxter Road SE



Legend

- Taxlots
- Urban Growth Boundary
- City Limits
- Outside Salem City Limits
- Historic District
- Schools

- Parks

CITY OF Salem
AT YOUR SERVICE
Community Planning and Development

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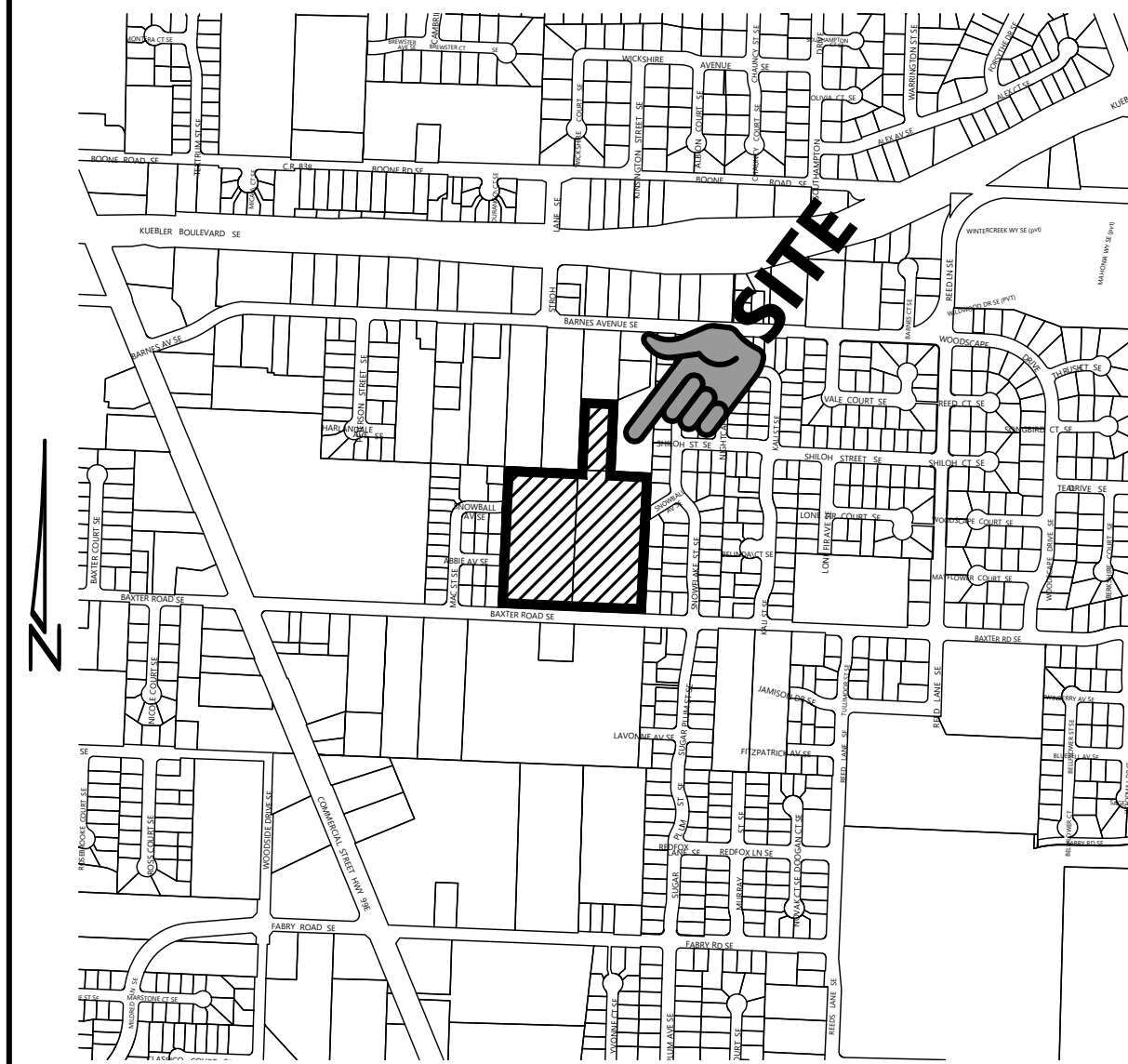
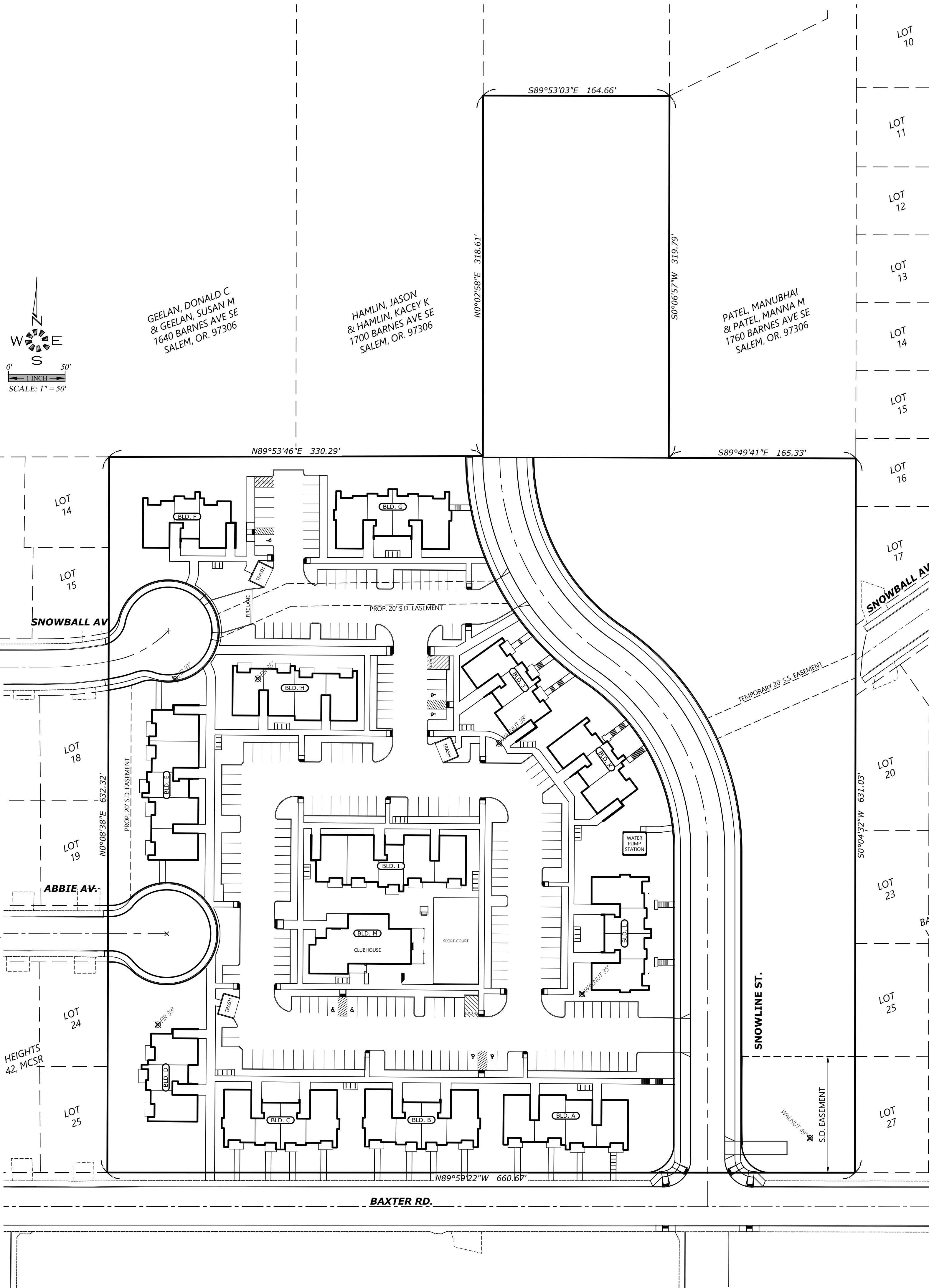
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ABBREVIATIONS

A.C.	ASPHALTIC CONCRETE	L	LENGTH, LINE
ACMP	ALUMINIZED CMP	L.P.	LIGHT POLE
ASSY.	ASSEMBLY	M	METER, MAIN
B.O.	BLOW OFF	M.H.	MANHOLE
B.F.V.	BUTTERFLY VALVE	MTL	METAL
C & G	CURB & GUTTER	O.H.	OVERHEAD
CATV	CABLE TELEVISION	PC	POINT OF CURVE
CB	CATCH BASIN	PCC	POINT OF CONTINUING CURVE
C.B.C.O.	CATCH BASIN CLEANOUT	PED.	PEDESTAL
C.B.I.	CATCH BASIN INLET	PRC	POINT OF REVERSE CURVE
CCR	COMPACTED CRUSHED ROCK	PROP.	PROPOSED
C.L.	CENTERLINE	PT	POINT OF TANGENCY
CMP	CORRUGATED METAL PIPE	PUB.	PUBLIC
C.O.	CLEANOUT	PUE	PUBLIC UTILITY EASMT.
CONC.	CONCRETE	PVC	POLYVINYL CHLORIDE
CONST.	CONSTRUCT	PVT.	PRIVATE
D.I.	DUCTILE IRON	P.P.	POWER POLE
DIA.	DIAMETER	P.L.	PROPERTY LINE
DWG.	DRAWING	R	RADIUS
EASMT.	EASEMENT	R-	RIM
E.G.	EXIST. GRADE / GROUND	RD	ROOF DRAIN
EOP, E.P.	EDGE OF PAVEMENT	R.O.W.	RIGHT-OF-WAY
ELEC.	ELECTRIC	SAN.S. or S.S.	SANITARY SEWER
ELEV. or EL.	ELEVATION	S	SLOPE
EX. or EXIST.	EXISTING	S.Q.F.	STORMWATER QUALITY FACILITY
F.D.C.	FIRE DEPT. CONNECTION	STA.	STATION
FT.	FEET	STD.	STANDARD
F.F.	FINISH FLOOR	STL.	STEEL
F.G.	FINISH GRADE	STM.DRN. or S.D.	STORM DRAIN
F.H.	FIRE HYDRANT	SVC.	SERVICE
F.M.	FORCE MAIN	SW	SIDEWALK
GUT. or GTR.	GUTTER	T.C.	TOP OF CURB
G.V.	GATE VALVE	TEL	TELEPHONE
IMP.	IMPROVEMENT	TYP.	TYPICAL
INST.	INSERT	U.G.	UNDERGROUND
INV. or I-	INVERT	VL.	VAULT
		W.M.	WATER MAIN

SYMBOLS

EX.	PROP.	EX.	PROP.
	BLOW OFF ASSY.		MANHOLE SAN. SEWER
	CATCH BASIN		MANHOLE STORM DRAIN
	CATCH BASIN CLEANOUT		2" DIA. C.O. / M.H.
	CATCH BASIN CURB INLET		MANHOLE TELEPHONE
	CATV PED. / BOX		MANHOLE WATER
	CLEANOUT		REDUCER / INCREASER
	ELEC. PED. / BOX		TEL. PED. / BOX
	FIRE HYDRANT		TRAFFIC PED. / BOX
	GAS LOCATION MARKER		UTILITY / POWER POLE
	GAS VALVE		WATER METER
	MAIL BOX		WATER VALVE
	CABLE TELEVISION		SANITARY SEWER EXIST.
	CENTERLINE		SANITARY SEWER CONST.
	DITCH C.L.		STORM DRAIN EXIST.
	ELECTRICAL LINE		STORM DRAIN CONST.
	NATURAL GAS LINE		WATER MAIN EXIST.
	TELEPHONE LINE		WATER MAIN CONST.



VICINITY MAP

B.M. 406.76
BENCH MARK 8300 - 2" ALUMINUM DISK
IN B.R. OF CURB. NE CORNER INTERSECTION
BAXTER CT. AND BAXTER ROAD, 20' WEST OF
C.B. 37' NE FIRE HYDRANT., 45' E MANHOLE

BAXTER DEVELOPMENT

MULTI-FAMILY HOUSING
SEC. 14, T. 08 S., R. 03 W., W.M.
CITY OF SALEM
MARION COUNTY, OREGON

Owner / Developer:

NEIGHBORLY VENTURES

2925 S RIVER ROAD, STE. 100
SALEM, OR 97302

SHEET INDEX

SDR1	COVER SHEET
SDR2	EXISTING CONDITIONS PLAN
SDR3	SITE PLAN
SDR4	SHADOW PLAN
SDR5	OPEN SPACE PLAN
SDR6	GRADING PLAN
SDR7	PRIVATE STORM DRAIN PLAN
SDR8	PRIVATE SANITARY SEWER PLAN
SDR9	PRIVATE DOMESTIC WATER PLAN
SDR10	PRIVATE FIRE SERVICE PLAN

L0.0	LANDSCAPE COVER SHEET
L1.1	PRELIMINARY PLANT SCHEDULE
L1.2	PRELIMINARY PLANTING PLAN
L1.3	PRELIMINARY PLANTING PLAN
L1.4	TREE CANOPY PLAN



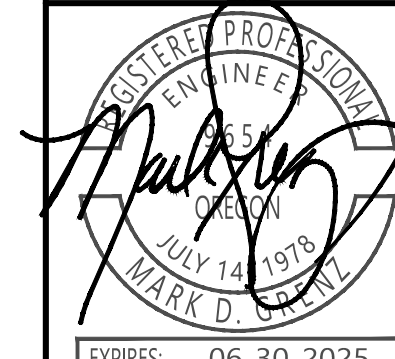
ENGINEERING SERVICES, INC.
11555 13th ST., S.E. SALEM, OR. 97302
PH. (503) 363 - 9227 FAX (503) 364-1260
www.intengineering.net office@intengineering.net

COVER SHEET

BAXTER DEVELOPMENT

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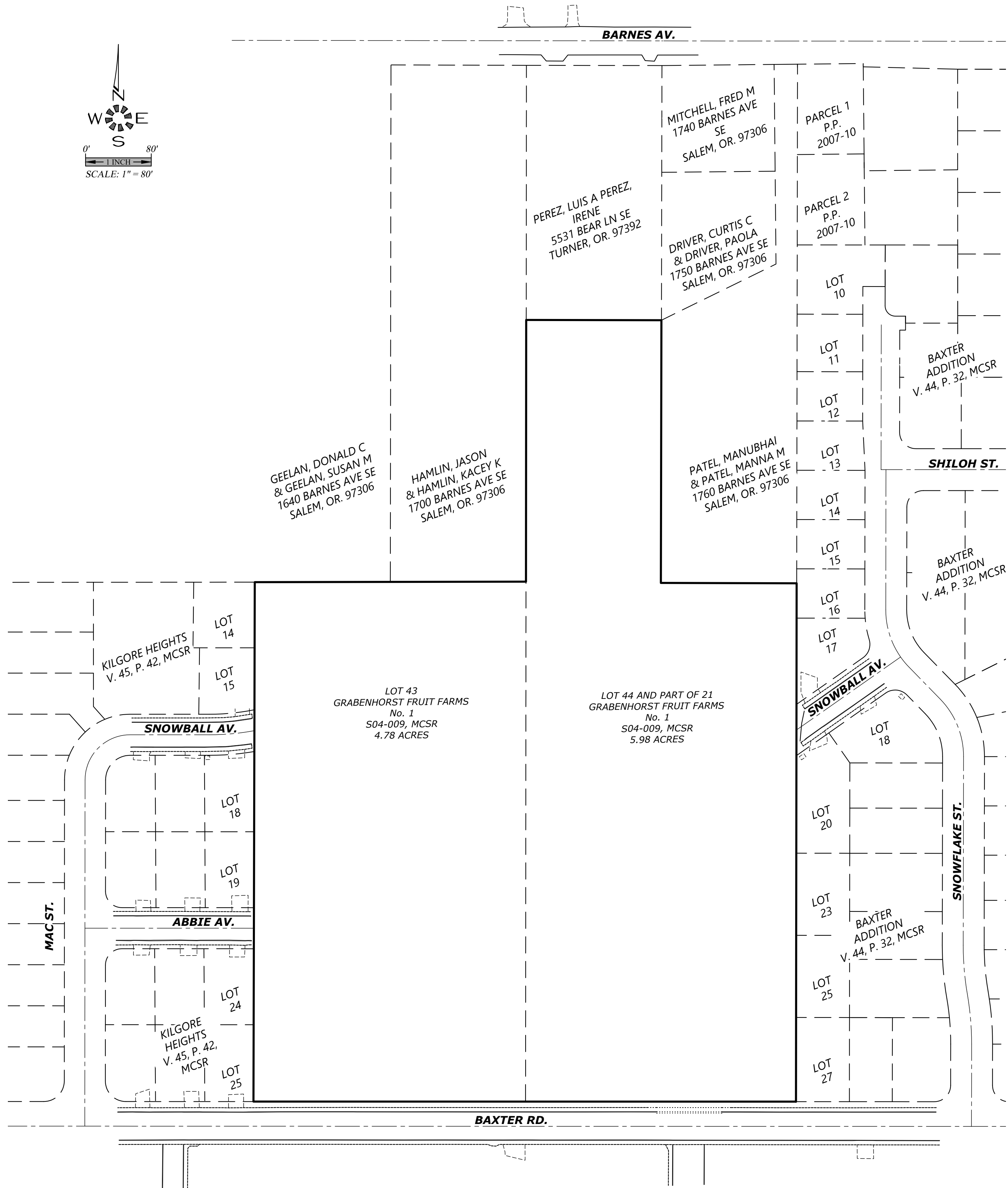
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Drawn: J.P.H.
Checked: B.M.G.
Issue Date: 2/24/25
Scale: AS SHOWN



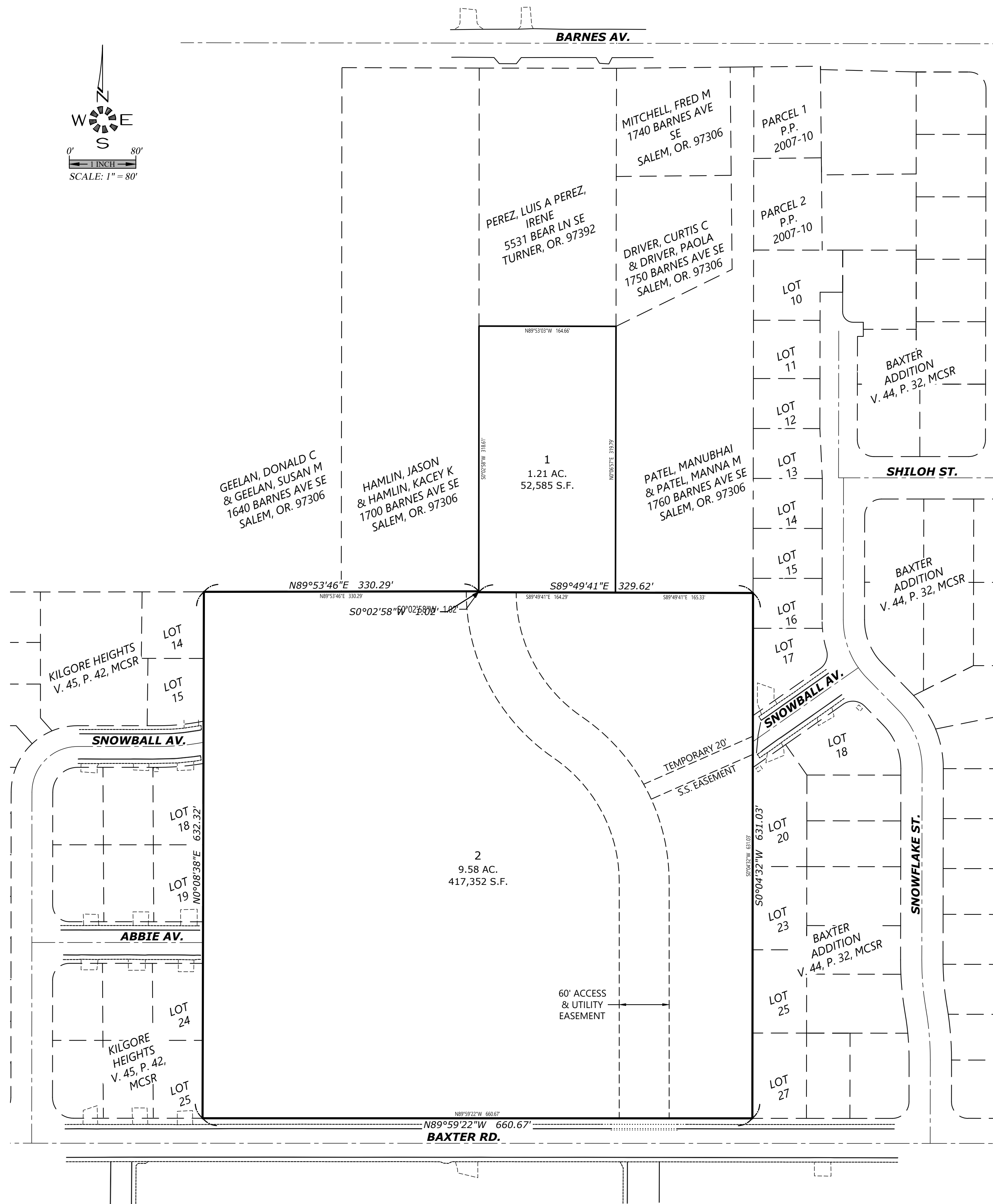
JOB # 7707

SDR1

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EXISTING LOT LINES



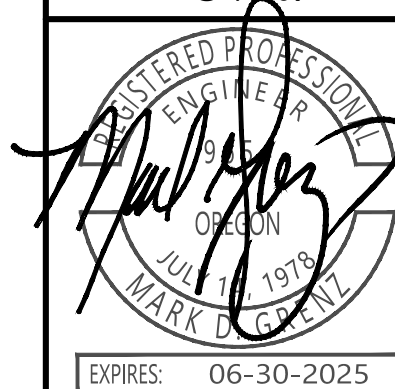
PROPOSED LOT LINES

LOT LINE ADJUSTMENT PLAN

BAXTER DEVELOPMENT

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Issue Date: 3/4/25
Scale: AS SHOWN



EXPIRES 06-30-2025

JOB # 7707

BAXTER DEVELOPEMENT

MULTI-FAMILY HOUSING
SEC. 14, T. 08 S., R. 03 W., W.M.
CITY OF SALEM
MARION COUNTY, OREGON

Owner / Developer:

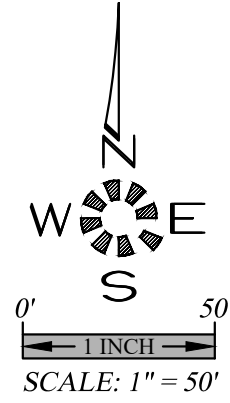
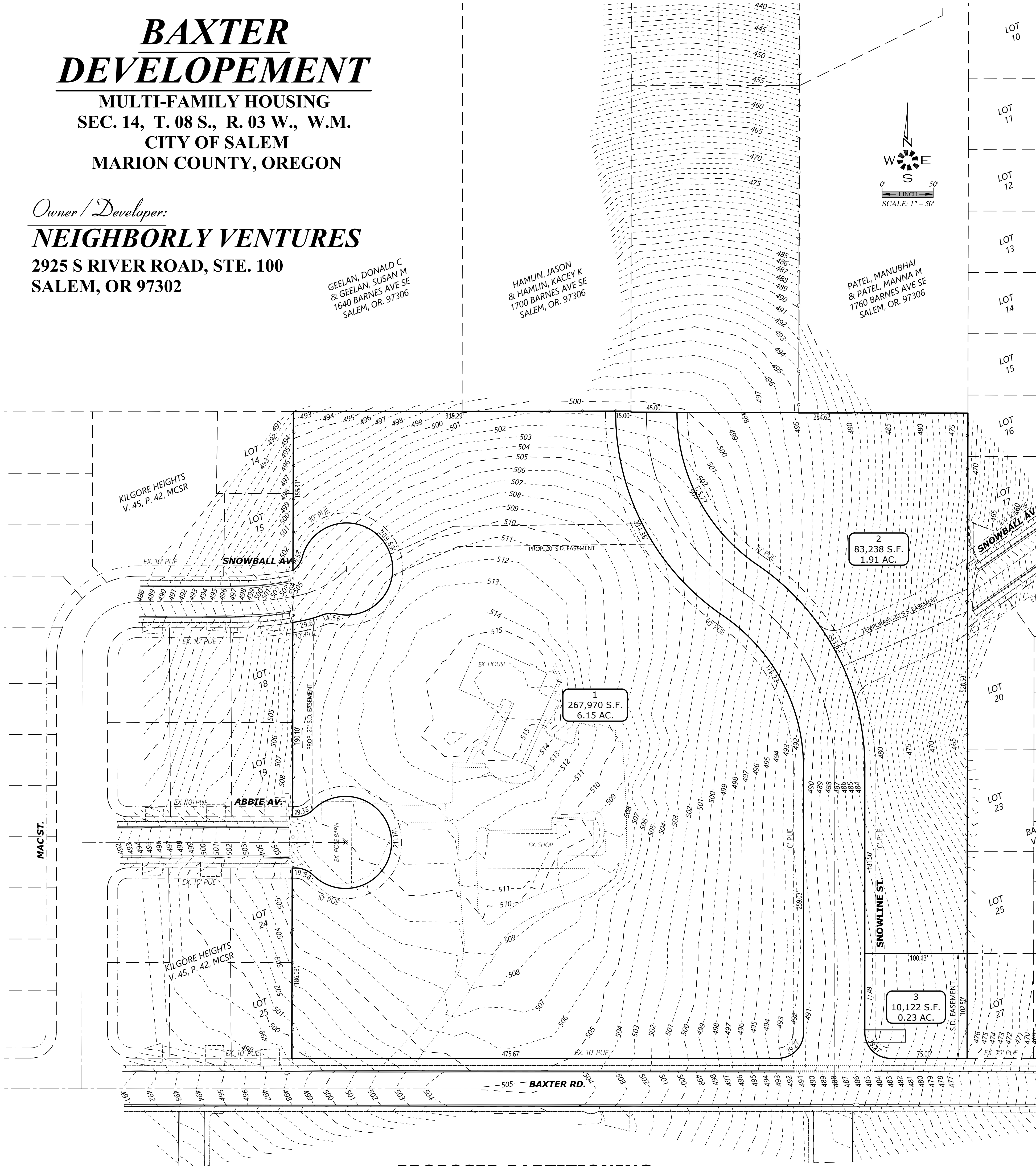
NEIGHBORLY VENTURES

2925 S RIVER ROAD, STE. 100
SALEM, OR 97302

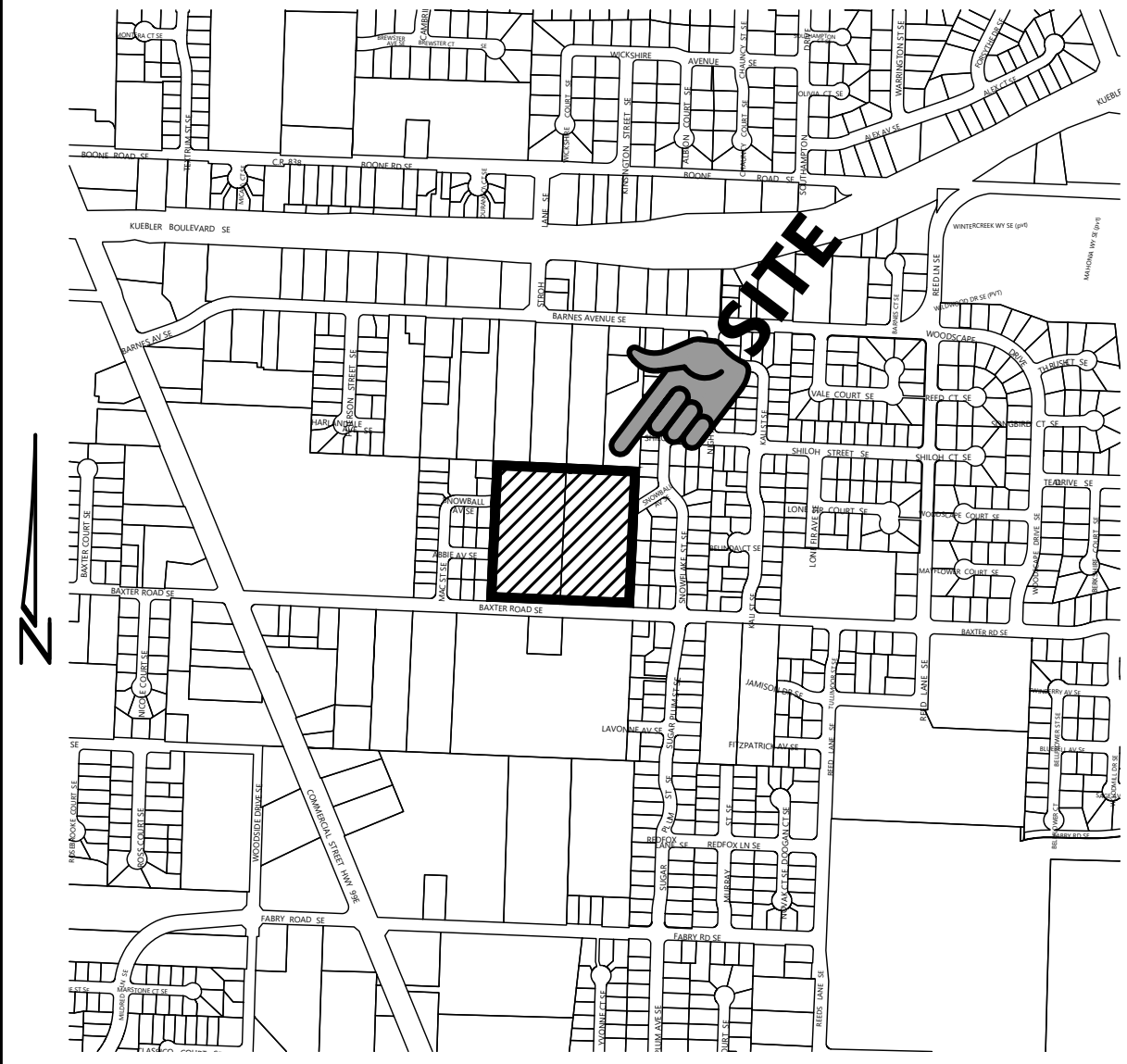
GEELAN, DONALD C
& GEELAN, SUSAN M
1640 BARNES AVE SE
SALEM, OR. 97306

HAMLIN, JASON
& HAMLIN, KACEY K
1700 BARNES AVE SE
SALEM, OR. 97306

PATEL, MANUBHAI
& PATEL, MANNA M
1760 BARNES AVE SE
SALEM, OR. 97306

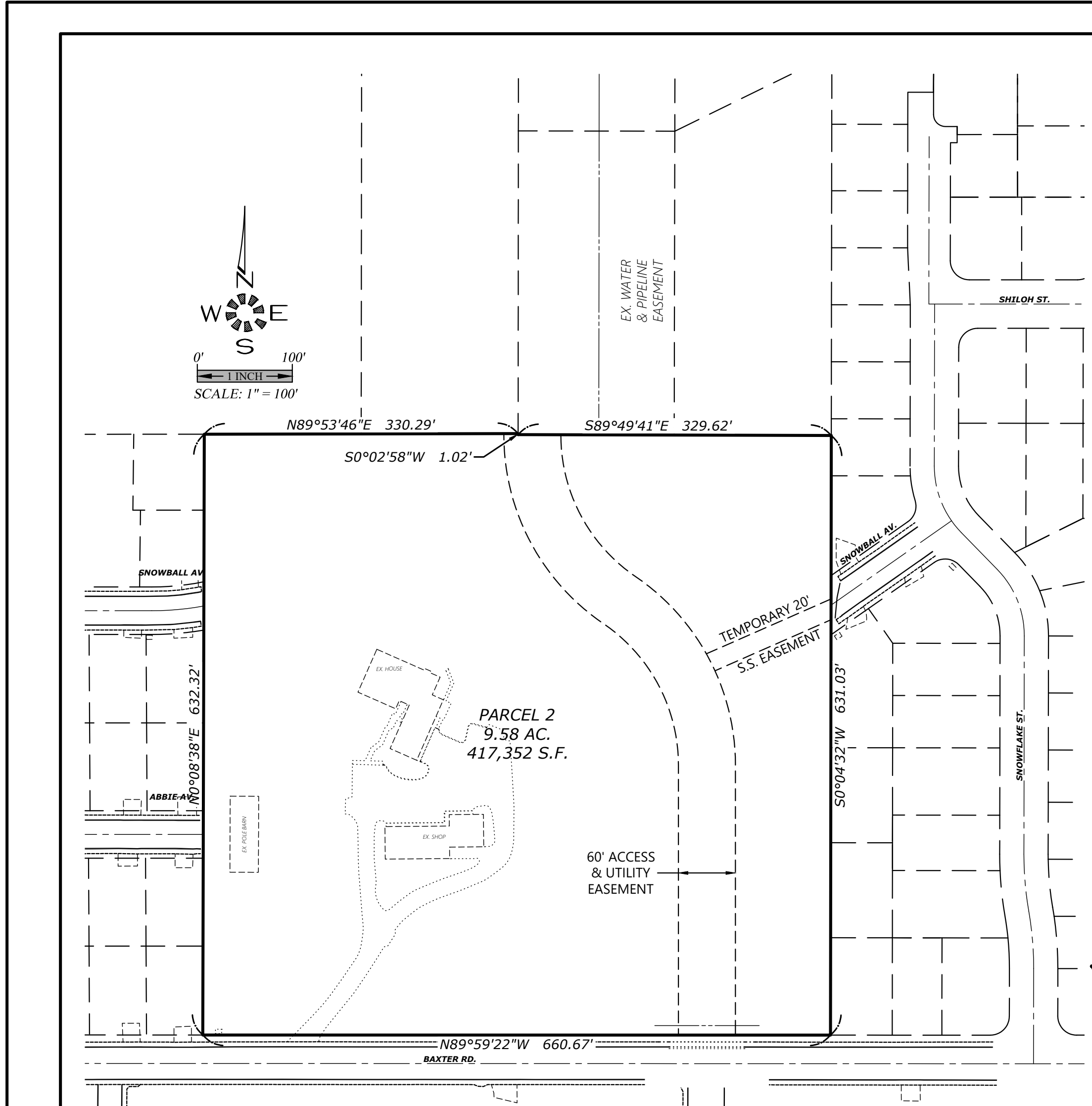


B.M. 406.76
BENCH MARK 8300 - 2" ALUMINUM DISK
IN B.R. OF CURB. NE CORNER INTERSECTION
BAXTER CT. AND BAXTER ROAD, 20' WEST OF
C.B. 37' NE FIRE HYDRANT, 45' E MANHOLE



VICINITY MAP

- SHEET INDEX**
- P1 PARTITIONING PLAN
 - P2 SHADOW PLAN
 - P3 TREE PLAN
 - P4 GRADING PLAN
 - P5 TREE REMOVAL PLAN
 - P6 STREET PLAN - SNOWLINE ST.
 - P7 STREET PLAN - HARLANDALE AV. & SNOWBALL AV. (EAST)
 - P8 STREET PLAN - ABBIE AV.
 - P9 STREET PALN - SNOWBALL AV. (WEST)



EXISTING SITE

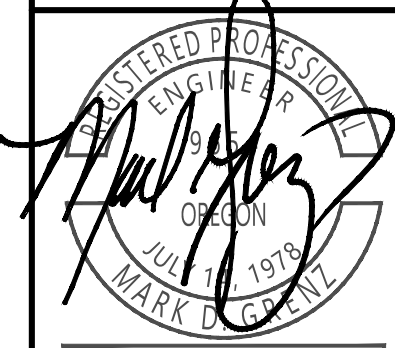


PARTITIONING PLAN

BAXTER DEVELOPEMENT

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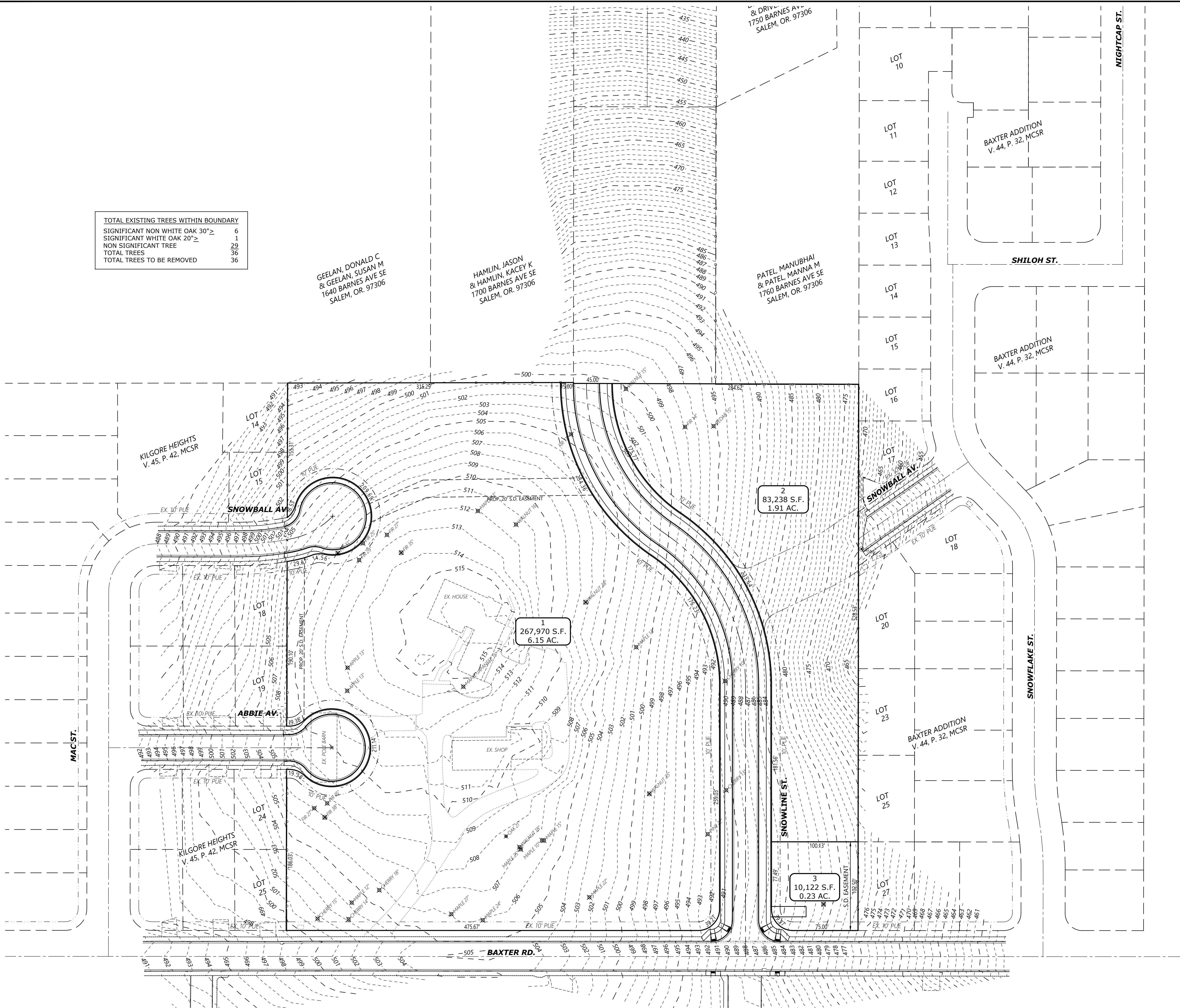
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Drawn: J.P.H.
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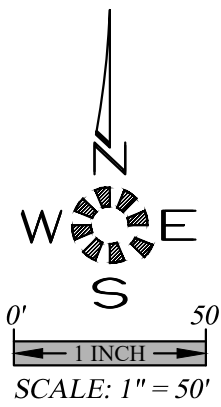
EXPIRES 06-30-2025

JOB # 7707

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TOTAL EXISTING TREES WITHIN BOUNDARY	
SIGNIFICANT NON WHITE OAK 30"≥	6
SIGNIFICANT WHITE OAK 20"≥	1
NON SIGNIFICANT TREE	29
TOTAL TREES	36
TOTAL TREES TO BE REMOVED	36



MULTI/TECH

ENGINEERING SERVICES, INC.
1155 13th St., S.E. Salem, OR, 97302
PH: (503) 363 - 9227 FAX: (503) 364-1260
www.rntengineering.net office@rntengineering.net

TREE PLAN

BAXTER DEVELOPMENT

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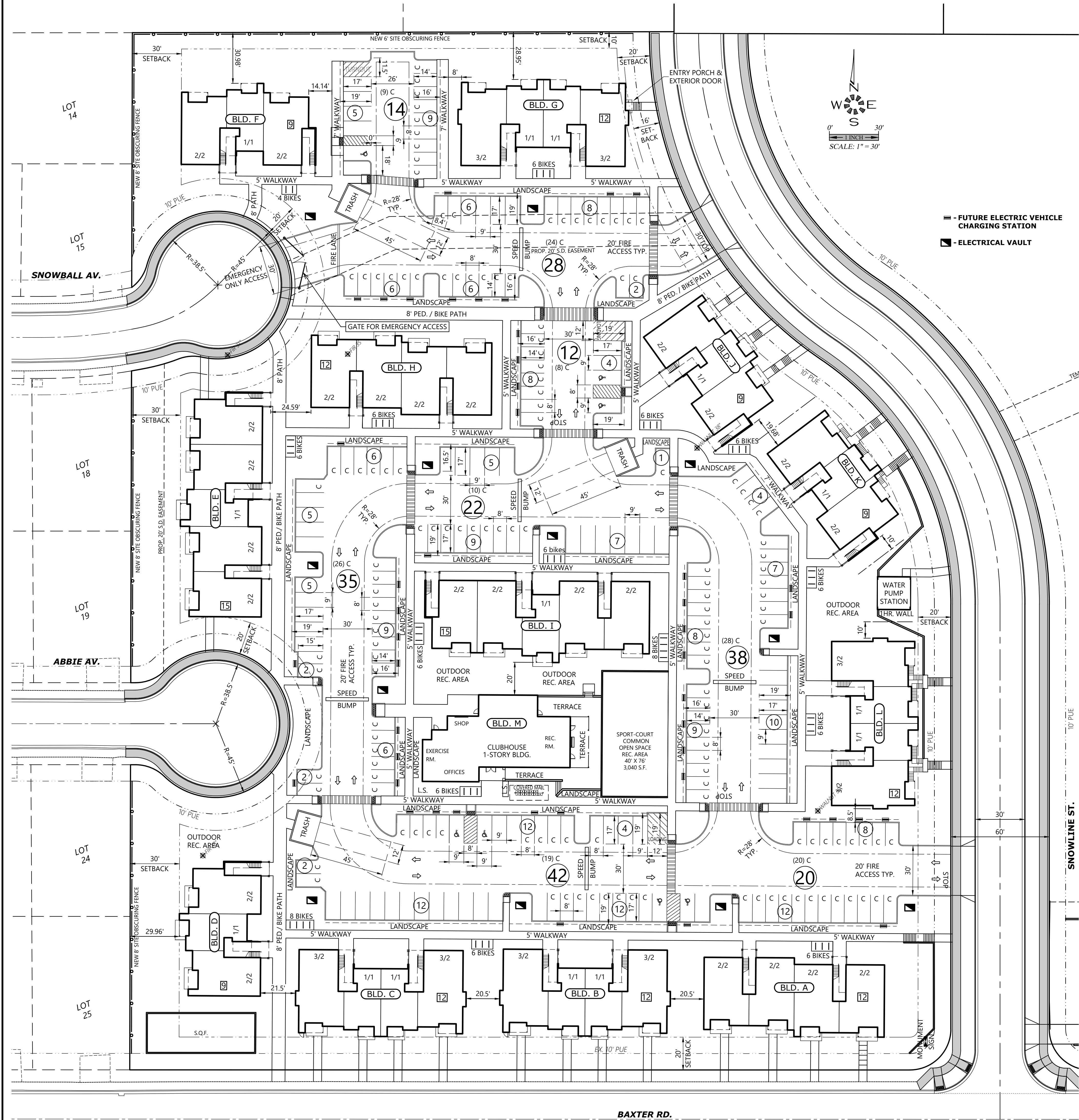
7707BAXTER - P3 TREE

Design: M.D.G.
Drawn: J.P.H.
Checked: B.M.G.
Issue Date: 3/4/25
Scale: AS SHOWN

REGISTERED PROFESSIONAL ENGINEER
JUL 14 1978
MARK D. GREGG
EXP. 06-30-2025

JOB # 7707

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SITE & PROJECT DATA

ZONING: RM-II

TOTAL SITE AREA: 268,018 S.F. (6.15 +/- ACRES)

DENSITY ALLOWED: 15 UNITS PER ACRE MINIMUM; 31 UNITS PER ACRE MAXIMUM.
22.4 UNITS PER ACRE PROPOSED.

PROJECT TYPE: MARKET RATE APARTMENTS - (138) UNITS

OCCUPANCY GROUP: R2- APARTMENT UNITS, A3- COMMUNITY HALL, U-PUMP HOUSE & TRASH

MAXIMUM HEIGHT ALLOWED: 50' TO THE AVERAGE OF THE HIGHEST GABLE ROOF FROM HIGHEST BLDG. GRADE.
33'-3" & 34'-11" MAXIMUM HEIGHT TO HIGHEST AVERAGE GABLE PROPOSED BY BUILDING TYPE.

BLDG. SETBACKS REQUIRED: 20'-0" FRONT YARD, & 10'-0" SIDE YARD; 10'-0" REAR YARD, BASE SETBACKS. PER TABLE 702.5 SETBACK INCREASES ABUTTING RS ZONE.
1' SETBACK PER FOOT OF BLDG. HEIGHT SETBACK REQUIRED ABUTTING RS SINGLE FAMILY ZONE 34' MAX. PROPOSED HEIGHT = REQUIRED SETBACK = 34' AT WEST PROPERTY LINE.
WEST REQUIRED SETBACK IS REDUCED TO 30'-0" MIN. BY PROPOSING AN 8' TALL SCREEN FENCE.

PROPOSED SETBACKS: 20'-0" STREET FRONT YARDS, 12' SIDE & REAR YARDS; 30'-0" WHERE ABUTTING RS SINGLE FAMILY ZONE., THEREFORE O.K.
(16'-0" STREET YARD SETBACK AT N.E. BLDG. G. REQUIRES SETBACK ADJUSTMENT).

ENCROACHMENTS ALLOWED: BELT COURSES & ORNAMENT= 24 INCHES, ROOF EAVES= 24 INCHES.

PROPOSED ENCROACHMENTS: DECK GUARDRAIL= 3"; ROOF EAVES = 24 INCHES, THEREFORE O.K.

CONSTRUCTION TYPE APTS:
TYPE V-B "NON-RATED" W/ 1 HR UNIT SEPARATION WALLS
& FLOOR/CEILING SEPARATION. 100% FIRE SPRINKLED.

PROPOSED BUILDING AREA:
UNIT TYPES:
(42) TYPE 1 UNITS (1BR./1BA.) 722 S.F. + 24 S.F. STOR. = 746 S.F. = 31,332 S.F.
(72) TYPE 2 UNITS (2BR./2BA.) 998 S.F. + 24 S.F. STOR. = 1,022 S.F. = 73,584 S.F.
(24) TYPE 3 UNITS (3BR./2BA.) 1,184 S.F. + 24 S.F. STOR. = 1,208 S.F. = 28,992 S.F.
(138) UNITS TOTAL: 133,908 S.F.

RECREATION BLDG. = 3,408 S.F. FLOOR AREA.
COVERED TRASH = 870 S.F. FLOOR AREA.
MAIL ROOF = 215 S.F. FLOOR AREA.
PUMP HOUSE = 400 S.F. FLOOR AREA.

TOTAL BUILDING SQUARE FOOTAGE = 138,801 S.F.

PARKING PROVIDED:
STANDARD STALLS: 60 STALLS
COMPACT STALLS: 144 STALLS (68% OF STALLS < 75% ALLOWED)
HANDICAP STALLS: 7 STALLS
TOTAL PARKING PROVIDED = 211 STALLS

PARKING RATIO PROPOSED = 1.53 STALLS PER UNIT

E.V. READY CAR PARKING REQUIRED: (211) STALLS X 40% = 85 STALLS MIN.
PROPOSED E.V. STALLS =(2) ADA + (88) FUTURE = 90 TOTAL, O.K.

BICYCLE PARKING REQUIRED: 1 BIKE STALL PER UNIT X 138 UNITS = 138 BIKE STALLS

BICYCLE PARKING PROVIDED:
(1) STALL PER GROUND FLOOR LIVING UNIT = (46) LONG TERM BIKE STALLS
(12) SIX BIKE, + (2) EIGHT BIKE + (1) 4 BIKE RACK = (92) SHORT TERM BIKE STALLS
TOTAL BIKE PARKING PROVIDED = 138 BIKE STALLS

LOADING STALLS: 100 TO 199 UNITS = (2) LOADING STALLS 12' X 19'

LOADING STALLS PROPOSED = (2) 12' X 19'

COMMON OPEN SPACE:
ENTIRE SITE = 145,995 S.F. (54.48%)
WITHIN SETBACKS = 47,148 S.F. (32.29%)

COMMON OPEN SPACE RECREATION AREA:
REQUIRED = (1,000 S.F.) + (250 S.F. FOR EA. 20 UNITS OVER FIRST 20 UNITS)
REQUIRED = (1,000 S.F.) + [250 S.F. X (138-20) /20] = 2,500 S.F. MIN.; 25' MIN. DIM.
PROVIDED = 3,040 S.F., 40' MIN. DIM., O.K.

LOT COVERAGE BY BLDGS.:
PROPOSED GROUND FLOOR BUILDING FOOTPRINT/BALCONY/COVERED PORCH AREA = 53,124 S.F.
MAXIMUM ALLOWED LOT COVERAGE = 50%
PROPOSED BUILDING LOT COVERAGE = 53,124 S.F. / 268,018 S.F. = 20%

PARKING & MANEUVERING A.C. PAVING AREA:
INCLUDES PLANTER CURBS: = 77,100 S.F.

CONCRETE AREAS:
WALKWAYS, PATIOS, REC. PATIO/TERRACE, TRASH ENCL. = 35,714 S.F.

LANDSCAPE AREA:
TOTAL LANDSCAPE (GREEN) AREA PROPOSED = 102,139 S.F. / 268,018 S.F. = (38.1%) OF SITE AREA

INTERIOR PARKING AREA LANDSCAPING:
PARKING & MANEUVERING AREA PLUS PLANTER FINGERS & CORNERS = 86,167 S.F.
REQUIRED PARKING LOT LANDSCAPE = 8 % MIN. X 86,167 S.F. = 6,894 S.F. MIN. REQ'D.

PROPOSED INTERIOR PARKING AREA LANDSCAPE = 20,171 S.F. = 19.8% PROVIDED, O.K.
(NOTE THAT THIS DOES NOT INCLUDE L.S. STRIP IN ADDITION TO MIN. 5' WALKWAY OR L.S. BETWEEN PARKING & BLDG.)

CLIMATE MITIGATION TREE PLANTING AT PARKING:
MIN. 40% SHADE TREE OVERLAP REQUIRED = 86,167 S.F. X .40 = 34,467 S.F. OVERLAP REQUIRED.
PROPOSED CLIMATE MITIGATION TREE OVERLAP PROVIDED = 35,623 S.F. (41.3%), O.K.

AIRPORT OVERLAY McNARY FIELD REQUIREMENTS:
PROPOSED SITE DEVELOPMENT OCCURS IN CONICAL SURFACE OVERLAY (20:1) WHICH ALLOWS FOR 350' MAXIMUM BUILDING HEIGHT ABOVE AIRPORT ELEVATION.
McNARY FIELD ELEVATION = +213.4' ABOVE SEA LEVEL +213.4' + 350.0' MAXIMUM HEIGHT = 563.4' MAXIMUM ELEVATION.

PROPOSED MAXIMUM SITE GRADE BASE AT HIGHEST BUILDING:
+508.0' + (37.5' TO HIGHEST ROOF PEAK) = +545.5' MAXIMUM ROOF RIDGE ELEVATION, O.K.

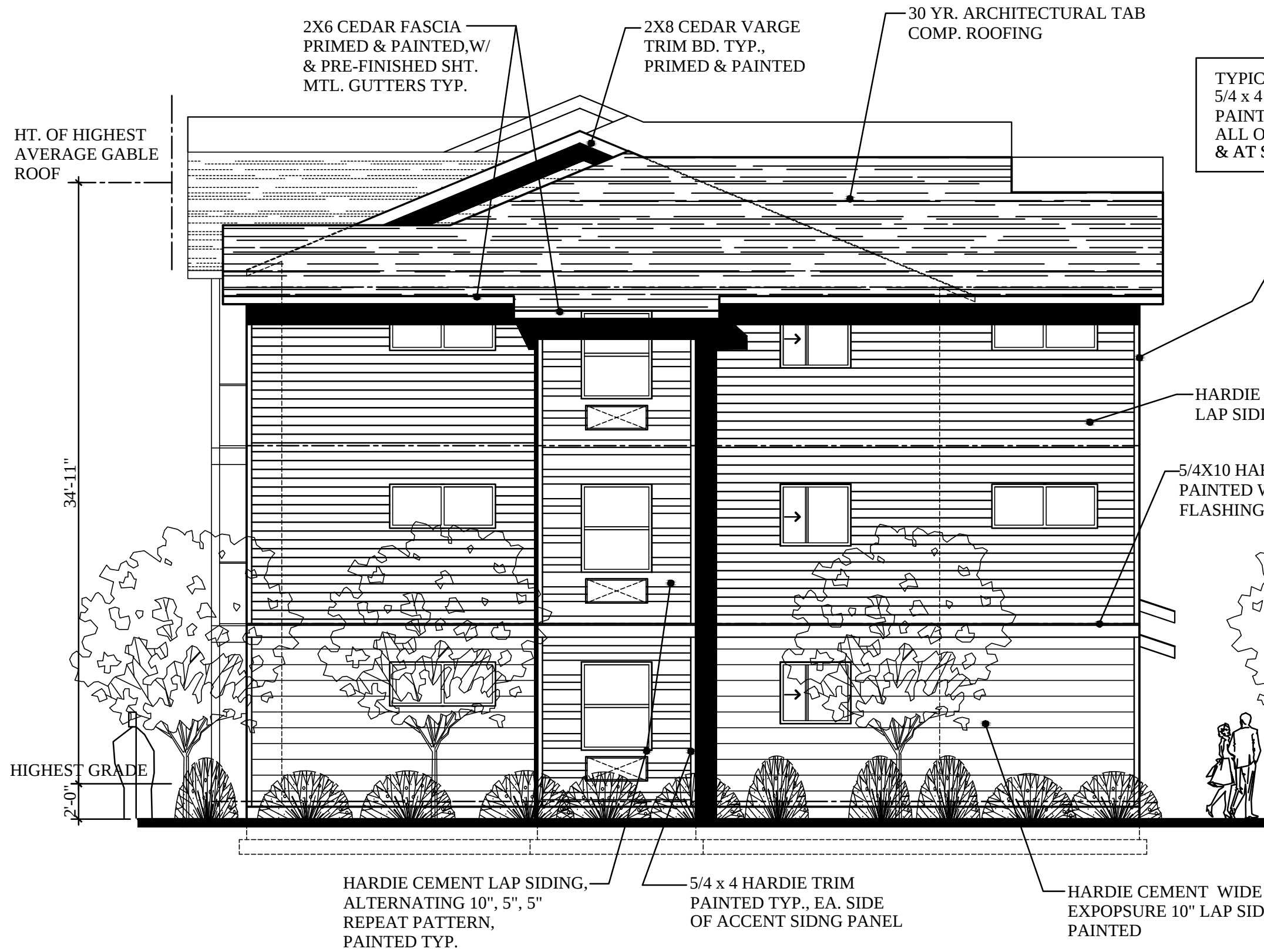
NO CHANGES, MODIFICATIONS
OR REPRODUCTIONS TO BE
MADE TO THESE DRAWINGS
WITHOUT WRITTEN
AUTHORIZATION FROM THE
DESIGN ENGINEER.
DIMENSIONS & NOTES TAKE
PRECEDENCE OVER
GRAPHICAL REPRESENTATION.

Design: M.D.G.
Drawn: J.P.H.
Checked: B.M.G.
Issue Date: 2/24/25
Scale: AS SHOWN

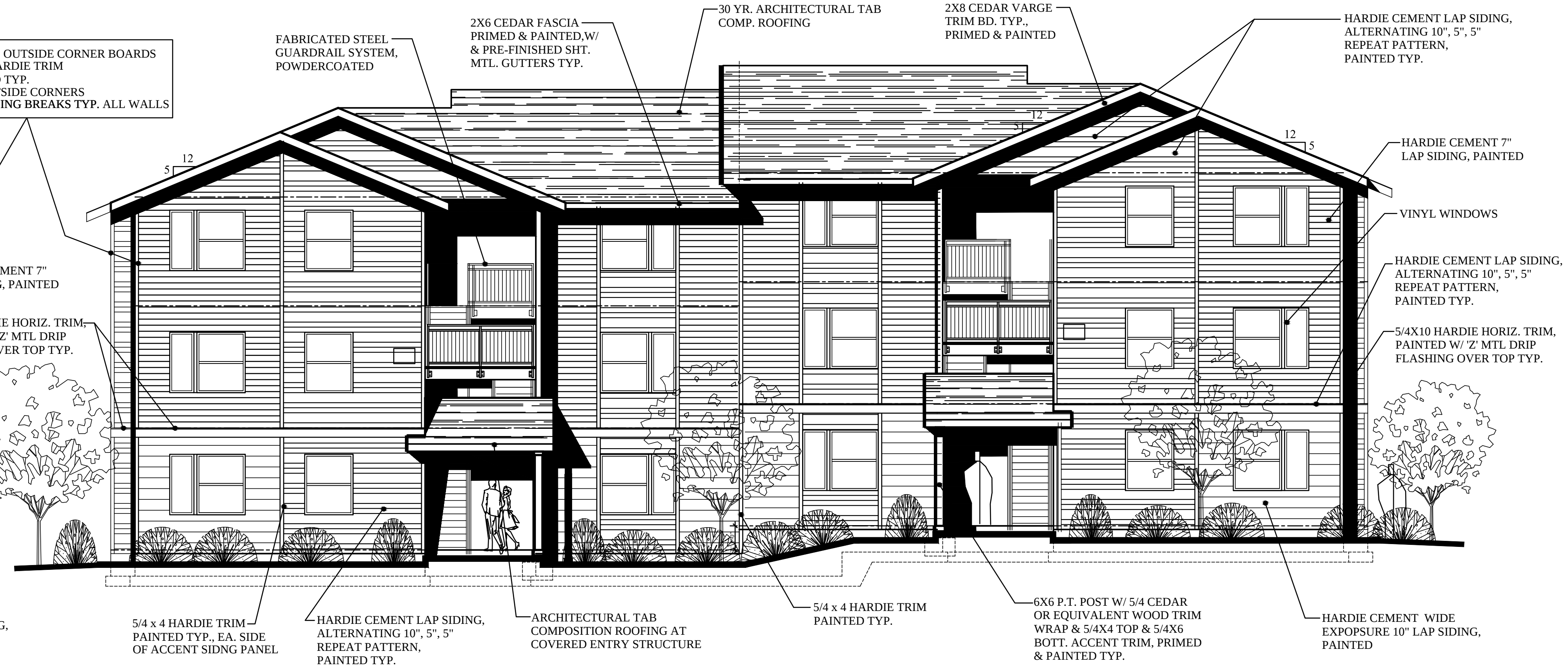
REGISTERED PROFESSIONAL
ENGINEER
JULIA A. MARK
MARK O.P.R.
EXPIRES 06-30-2025

JOB # 7707

SDR3

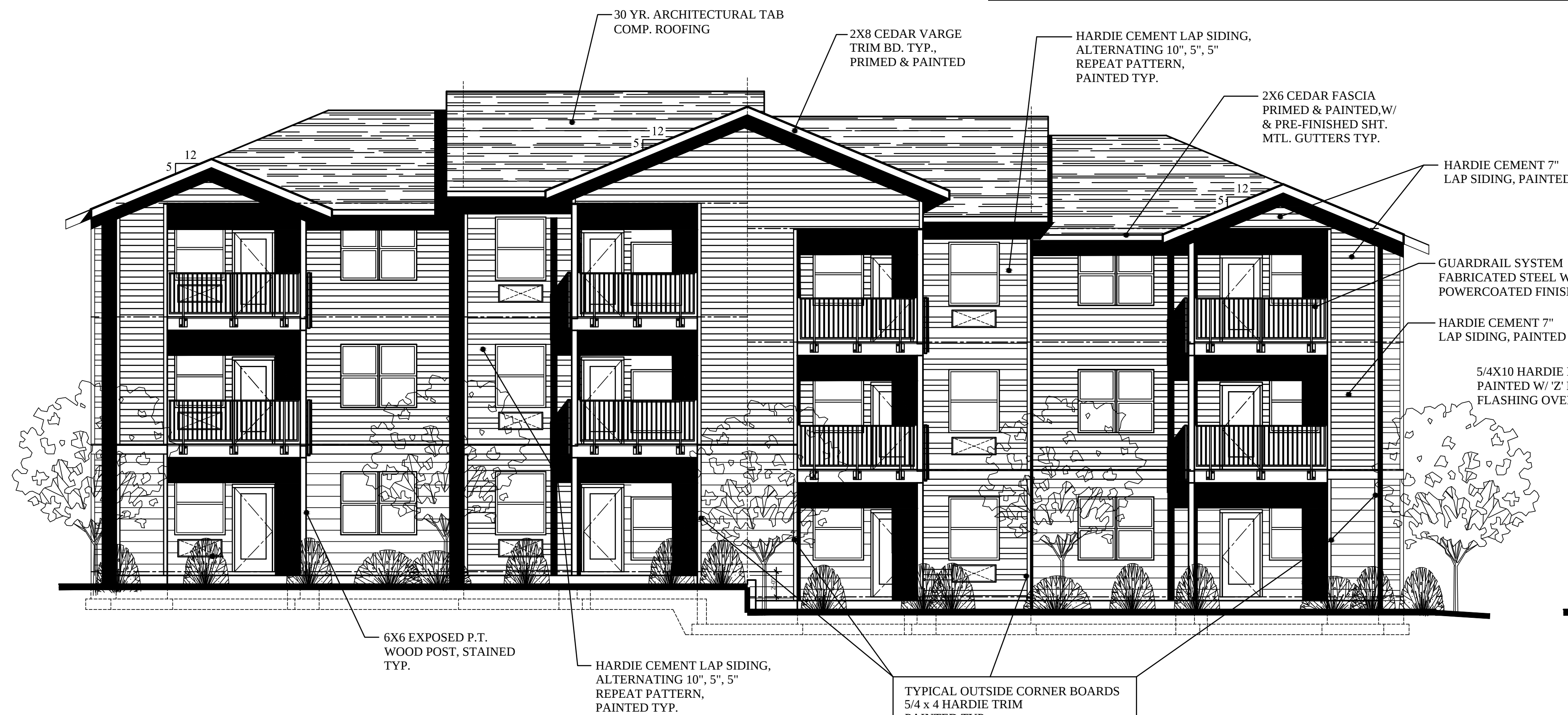


LEFT END ELEVATION 12-PLEX

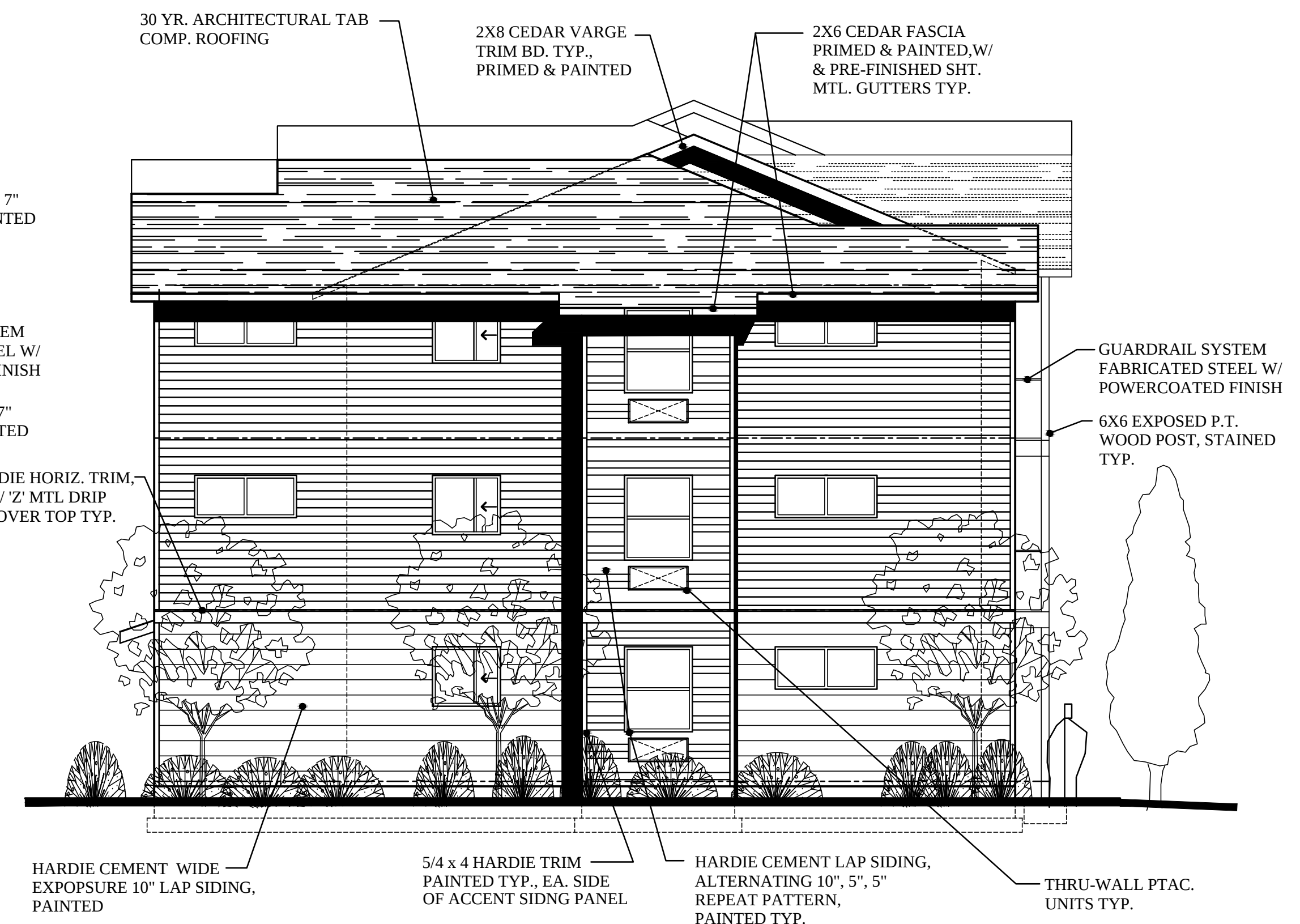


FRONT ELEVATION 12-PLEX

BLDGS. B & C similar



REAR ELEVATION 12-PLEX



RIGHT END ELEVATION 12-PLEX

PRELIMINARY
NOT FOR
CONSTRUCTION

SCOTT BECK
ARCHITECT, LLC
361 N.E. Third Avenue
Canby, Oregon 97013
(503) 266-9270

BAXTER RD.
MULTIFAMILY HOUSING
1709 BAXTER RD. S.E.
SALEM, OREGON

DEVELOPER:
NEIGHBORLY VENTURES, INC.
2595 RIVER ROAD S., SUITE 100
SALEM, OR 97302 TEL: (503) 990-8909

12-PLEX
BLDG. TYPE III
EXTERIOR
ELEVATIONS
BLDGS. B & C

revisions:

date: 1-27-2025
scale: 5/32"=1'-0"
drawn: S.R.B.
job no: 2411

A5.4



FRONT ELEVATION 15-PLEX



LEFT END ELEVATION 15-PLEX

BLDG. E



RIGHT END ELEVATION 15-PLEX



REAR ELEVATION 15-PLEX

PRELIMINARY
NOT FOR
CONSTRUCTION

SCOTT BECK
ARCHITECT, LLC
361 N.E. Third Avenue
Canby, Oregon 97013
(503) 266-9270

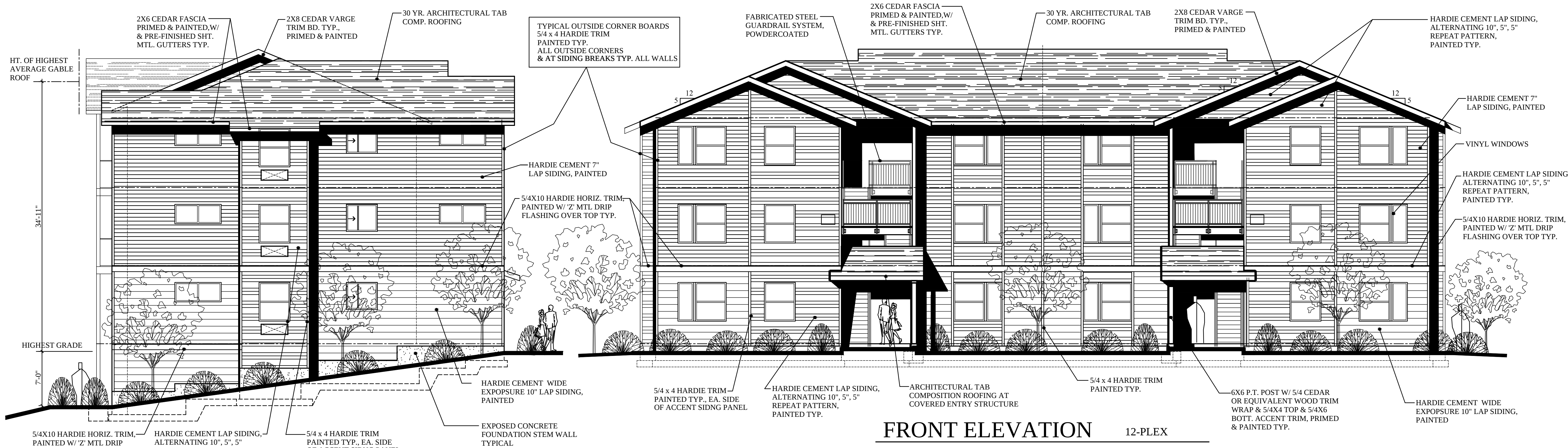
BAXTER RD.
MULTIFAMILY HOUSING
1709 BAXTER RD. S.E.
SALEM, OREGON
DEVELOPER:
NEIGHBORLY VENTURES, INC.
2595 RIVER ROAD S., SUITE 100
SALEM, OR 97302, TEL.: (503) 990-8909

15-PLEX
BLDG. TYPE IV
EXTERIOR
ELEVATIONS
BLDG. E

revisions:

date: 1-27-2025
scale: 5/32"=1'-0"
drawn: S.R.B.
job no: 2411

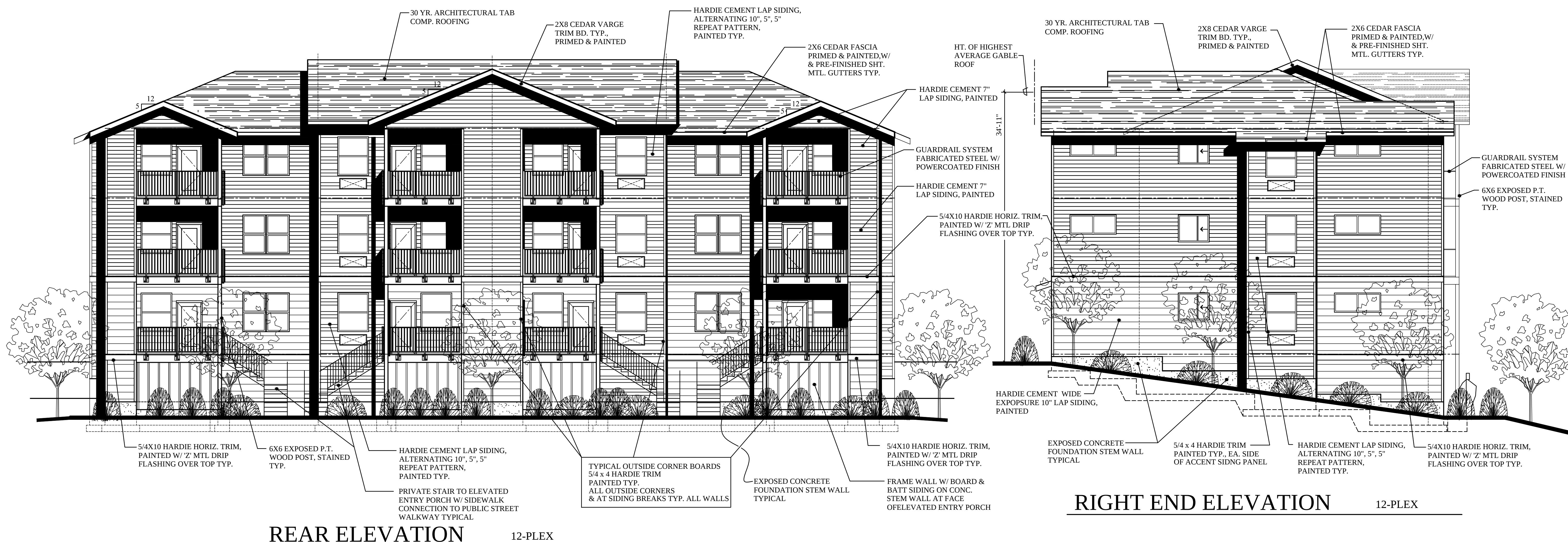
A5.5



LEFT END ELEVATION 12-PLEX

BLDG. L

FRONT ELEVATION 12-PLEX



REAR ELEVATION 12-PLEX

RIGHT END ELEVATION 12-PLEX

PRELIMINARY
NOT FOR
CONSTRUCTION

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ARCHITECT, LLC
361 N.E. Third Avenue
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12-PLEX
BLDG. TYPE III
EXTERIOR
ELEVATIONS
BLDG. L

revisions:

date: 1-27-2025
scale: 5/32"=1'-0"
drawn: S.R.B.
job no: 2411

A5.4B