

PAULINA'S BRIDAL EVENT SPACE ADDITION
COMMERCIAL ADDITION
SITE PERMIT 10.24.2024

SKYLANIGANSTUDIOS

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ABBREVIATIONS

AFF ALUM APPROX APT ARCH ASL AVG AWG BD BLDG BLKG BO BOT BRK BYD CAB CH CIP CJ CL CLNG CLOS CLR CMU COL CONC CONT CONTR CPT CT CTSK DBL DF DIA DIAG DIMEN DIV DN DR DTL DRAW DWG EA EJ ELEC ELEV EQ EQ EQUIP EST EXC EXST F.F. FAB FD FN FLEX FLR FLSG FOUN FP FT FTG GA GAL GALV GD GEN GL GR GWB GYP HDWH HORIZ HP HT IN INCH INCR INFO INSUL INT INV JST JT KO KP LAM LAV LIN LOCN LT	ABOVE FINISH FLOOR ALUMINUM APPROXIMATELY APARTMENT ARCHITECTURAL ARCHITECT ABOVE SEA LEVEL AVERAGE AMERICAN WIRE GAUGE BOARD BUILDING BLOCKING BOTTOM OF BOTTOM BRICK BEYOND CABINET CEILING HEIGHT CAST IN PLACE CONTROL JOINT CENTER LINE CEILING CLOSET CLEAR CONCRETE MASONRY WALL COLUMN CONCRETE CONTINUOUS CONTRACTOR CABINET CERAMIC TILE COUNTERSINK DOUBLE DOUGLAS FIR DECOMPOSED GRANITE DIAMETER DIAGONAL DIMENSION DIVISION DOWN DOOR DETAIL DISHWASHER DRAWING DWG EACH EXPANSION JOINT ELECTRICAL ELEVATION EQUAL EQUAL EQUIPMENT ESTIMATED EXCAVATED EXISTING FINISH FLOOR FABRICATED FLOOR DRAIN FINISHED FLEXIBLE FLOOR FLASHING FOUNDATION FIREPROOFING FEET FOOTING GALLON GALLON GALVANIZED GARBAGE DISPOSAL GENERAL GLASS GLAZING GRADE GYPSUM WALL BOARD GYPSUM HARDWOOD HORIZONTAL HIGH POINT HEIGHT INSIDE DIAMETER INCH INCREASE INFORMATION INSULATION INTERIOR INVERT JOIST JOINT KNOCKOUT KICK PLATE LAMINATE LAVATORY LINEAR LOCATION LIGHT	LTG LIGHTING MAS MASONRY MATL MATERIAL MAX MAXIMUM MECH MECHANICAL MEMB MEMBRANE MER MANUFACTURER MIN MINIMUM MISC MISCELLANEOUS MOLDG MOLDING MTL METAL NA NOT APPLICABLE NEG NEGATIVE NIC NOT IN CONTRACT NIS NOT IN SCOPE NO NUMBER NOM NOMINAL NTS NOT TO SCALE O.C. ON CENTER O.D. OUTSIDE DIAMETER OV OVERALL OPG OPENING OPP OPPOSITE OSB ORIENTED STRAND BOARD OVHD OVERHEAD PAR PARALLEL PART PARTITION PC PIECE PERF PERFORATED, PERFORATION PERP PERPENDICULAR PL PLATE, PROPERTY LINE PLAM PLASTIC LAMINATE PLYWD PLYWOOD PAIR PAIR PRELIM PRELIMINARY PROJ PROJECT, PROJECTION PROP PROPERTY PRPT PARAPET PSI POUNDS PER SQUARE INCH PT PRESSURE TREATED R RADIUS, RISER REF REFRIGERATOR REQD REQUIRED RET RETURN REV REVISED RM ROOM RND ROUND RO ROUGH OPENING RUB RUBBER SAD SEE ARCHITECTURAL DRAWINGS SC SCHEDULE SECT SECTION SG SAFETY GLAZING SHT SHEET SHTG SHEATHING SIM SIMILAR SPEC SPECIFICATIONS SQ SQUARE SS STAINLESS STEEL SSD SEE STRUCTURAL DRAWINGS STD STANDARD STL STEEL STOR STORAGE STRUCT STRUCTURAL SUB SUBSTITUTE SUSP SUSPENDED SYM SYMMETRICAL SYS SYSTEM T TREAD TAG TONGUE & GROOVE T-STAT THERMOSTAT T.C. TRASH COMPACTOR TEMP TEMPERATURE THRESH THRESHOLD THRU THROUGH TOC TOP OF CONCRETE TOL TOILET TOP TOP OF PLANTER TOS TOP OF SLAB TOW TOP OF WALL TYP TYPICAL UL UNDERWRITER'S LABORATORY UNFIN UNFINISHED VAR VARIES VERT VERTICAL VFI VERIFY IN FIELD VOL VOLUME W WITH WC WATER CLOSET W/O WITHOUT WAN WAINSCOT WD WOOD WH WATERHEATER WIN WINDOW WP WATERPROOFING WS WEATHERSTRIP WT WEIGHT YD YARD
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GENERAL NOTES

1. Dimensions are to face of finish unless otherwise noted. Dimensions noted with +/- symbol can "float" depending on actual field dimensions. Dimensions without +/- symbol are to be fixed as written. Grid dimensions are to center of structure unless otherwise noted.
2. Do not scale drawings. Written dimensions and notes to take precedence over scaled dimensions. Large scale drawings take precedence over small scale drawings.
3. New walls or footings to be aligned with existing walls. Any work relating to but not aligning with existing conditions shall be brought to the Designer's attention by the Contractor.
4. Contractor to notify Designer of discrepancies before starting work or as they arise.
5. Designer will not be responsible for any changes in plans, details or specifications unless approved in advance of construction.
6. Coordinate exact location of all electrical fixtures and outlets with Designer in field.
7. All Mechanical equipment including, but not limited to, grills, ducts, vents, registers, flues etc., to be coordinated with Architectural drawings.
8. Contractor is responsible for locating and protecting all on site utilities and conditions as necessary. CALL BEFORE DIGGING 1-800-227-2600 (Underground Service Alert)

OWNERSHIP AND USE OF DOCUMENTS

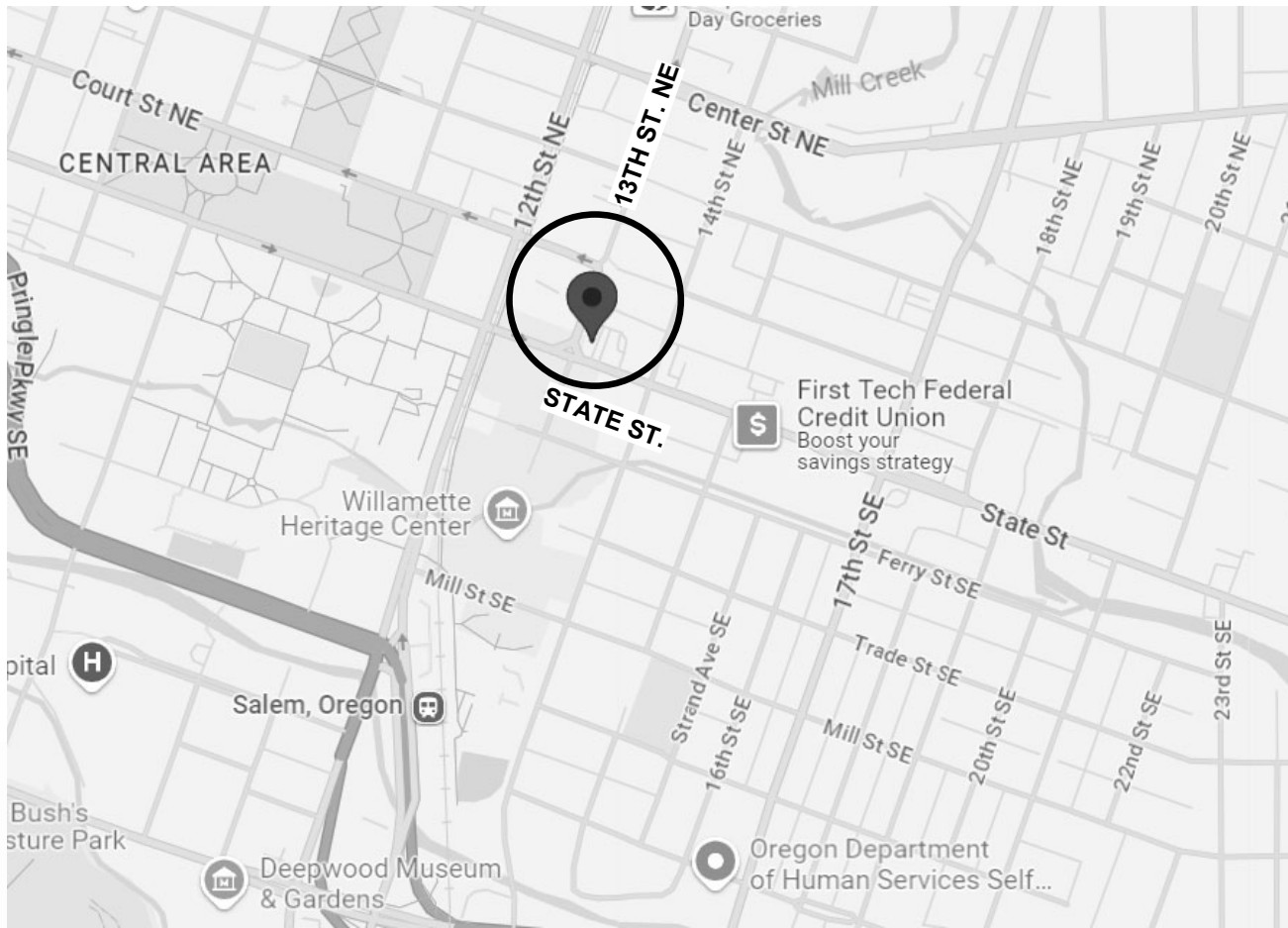
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VICINITY MAP



PROJECT TEAM

OWNER Ana Oragel Hernandez 1492 Yakima Ct. NW Salem OR 97304	STRUCTURAL ENGINEER ProStruct Engineers 5331 S Macadam Ave Portland OR 97239
ARCHITECT Sky Lanigan Sky Lanigan Studios 3385 Acorn Ln. S Salem, OR 97302 OR License # ARI-14328	GENERAL CONTRACTOR Javier Cisneros JCR Construction 5790 Macleay Rd. SE Salem OR 97317 CCB License # 203016
m: 510.292.8151 e: skylanigan@gmail.com	m: 503.991.6855 e: cisneros6855@gmail.com

CODE COMPLIANCE

ZONING DATA
Jurisdiction: City of Salem
Jurisdiction Address: 555 Liberty St. SE, Room 320, Salem, OR 97301
Project Address: 1317 State Street, Salem, OR 97301
Zoning District: MU-1
Seismic Design Category: D
Wind Speed: OSSC Table 1609.3
Wind Exposure: B
Climate Zone: 8

BUILDING DATA Construction Type: Year Built: Stories: Bath: Use Type: Occupancy:	Type III 1959 2 3 Commercial M	PROPOSED Addition - Type V NO CHANGE 6 NO CHANGE Addition A2
Lot Area Gross Floor Area Max. Roof Height	23,154 SF 4190 SF 24'	NO CHANGE 8900 SF (4710 SF addition) NO CHANGE

STORMWATER
This project does not meet the Large Project threshold requiring additional stormwater system requirements, per the SRC version in effect on the date of our Site Permit acceptance by the Planning Department, 10/29/2024.

See Site Surface Plan Diagram, area calculations, code interpretation and system details on sheet A102.

APPLICABLE CODES & REQUIREMENTS
2024 Salem Revised Code (SRC)
2022 Oregon Structural Specialty Code (OSSC)
2021 Oregon Energy Efficiency Specialty Code (OEESC)
2023 Oregon Electrical Specialty Code (OESC)
2022 Oregon Mechanical Specialty Code (OMSC)
2023 Oregon Plumbing Specialty Code (OPSC)



PROJECT INFORMATION

LOCATION 1317 State Street, Salem, OR 97301	
SCOPE OF WORK Building Addition, including event space, bathrooms, and kitchen. Includes structural, electrical, plumbing and mechanical work.	
1st Floor:	4700 SF Addition, includes 4045 SF double height event space and 655 SF single height kitchen and bathroom wing.
Site:	Alterations to off-street parking, side yard and sidewalks. Two curb cuts at State Street to be removed and replaced with sidewalk.

DRAWING INDEX

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A111	EXISTING / DEMO FLOOR PLANS
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A402	BUILDING ELEVATIONS - EAST
A403	BUILDING ELEVATIONS - SOUTH
A404	BUILDING ELEVATIONS - WEST

COMMERCIAL ADDITION
Paulina's Bridal & Quinceaneras
1317 State Street, Salem, OR 97301

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REVISION + ISSUES

No.	Description	Date
	SITE PERMIT SUBMITTAL	10.24.2024
	BLDG. PERMIT SUBMITTAL	12.26.2024
1	SITE PERMIT REV1	03.07.2025

GENERAL INFORMATION

A001

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COMMERCIAL ADDITION
Paulina's Bridal & Quinceaneras
1317 State Street, Salem, OR 97301

PAULINA'S

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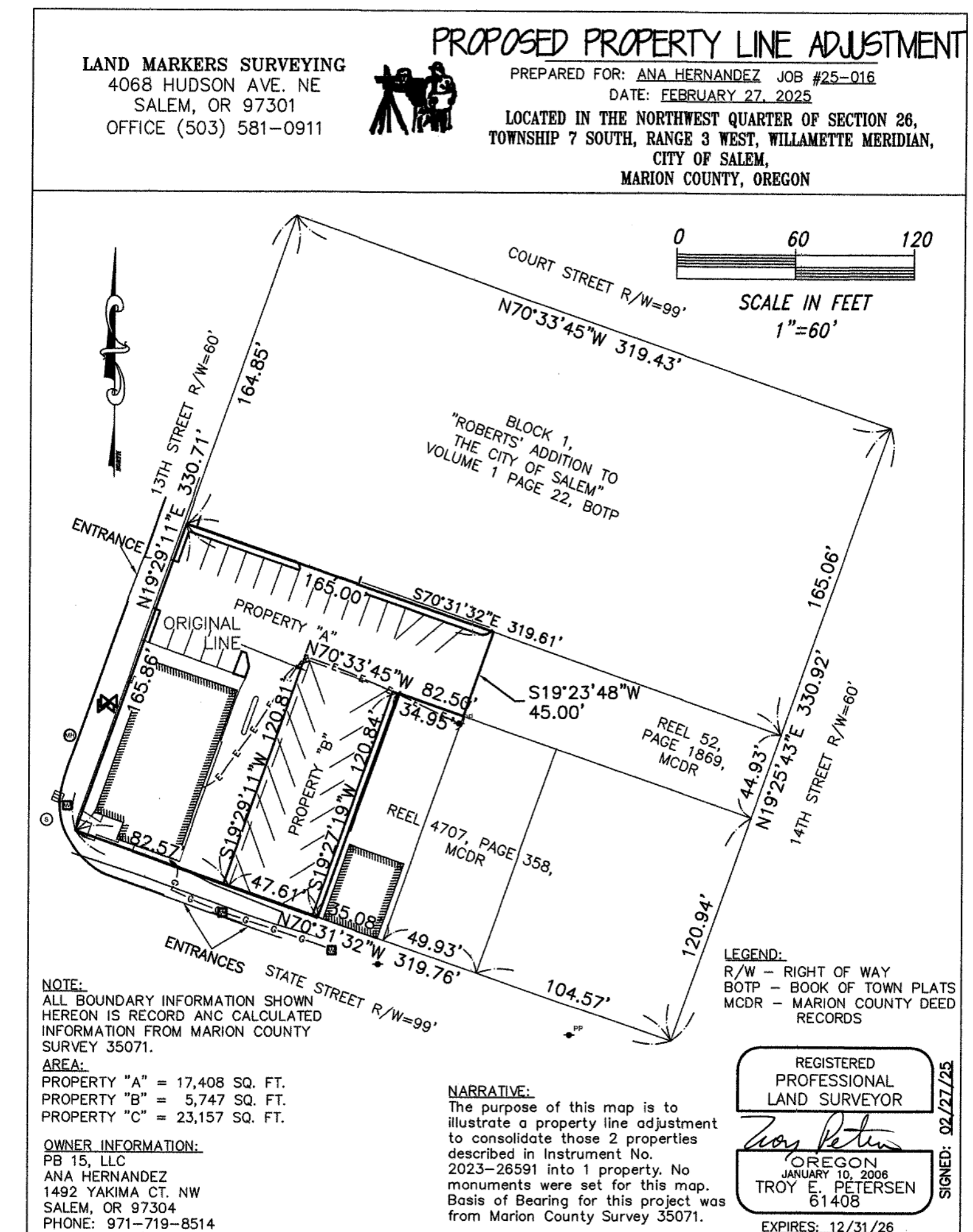


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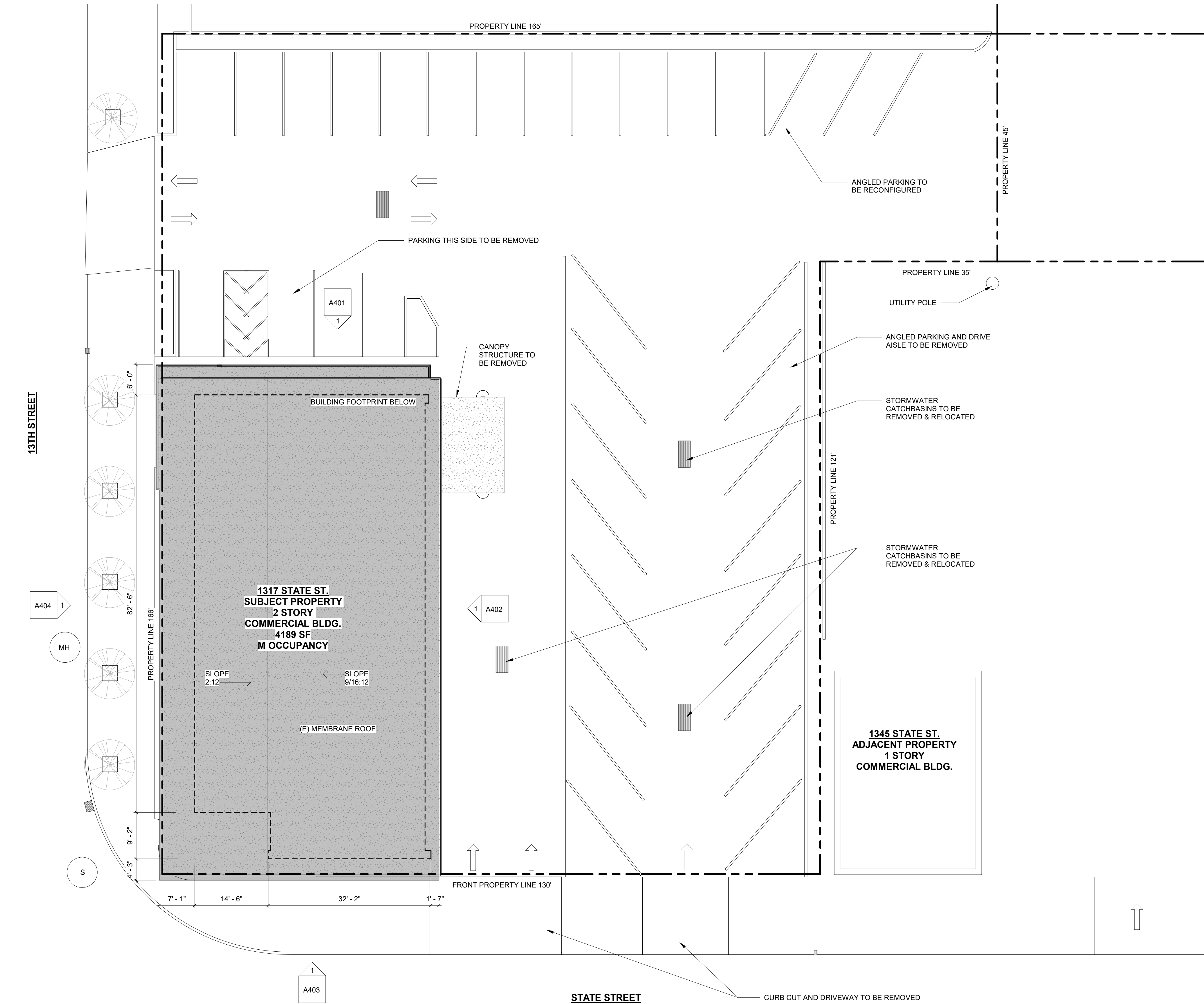
SITE SURVEY

A001A



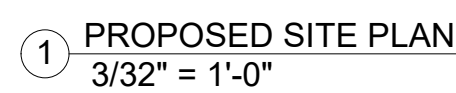


EXISTING SITE PLAN

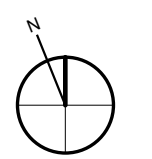


1 EXISTING SITE PLAN
3/32" = 1'-0"

PROPOSED SITE PLAN



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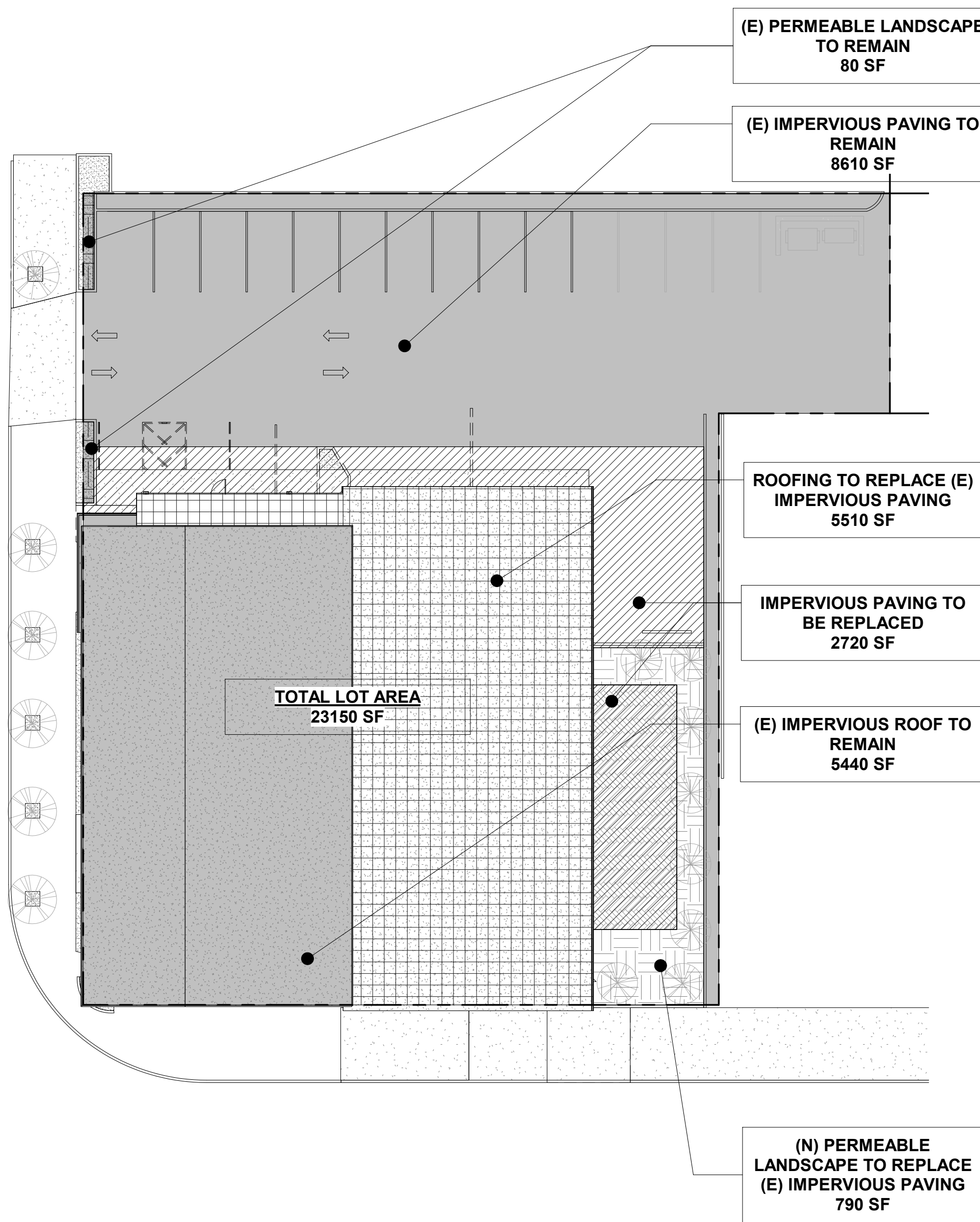


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SITE UTILITY & STORMWATER PLAN

A102



2 SITE SURFACE PLAN DIAGRAM
1" = 20'-0"

<u>SITE SURFACE CALCULATIONS</u>	
<i>ALL AREAS ROUNDED TO NEAREST 10</i>	
<u>TOTAL LOT AREA</u>	
<i>NO CHANGE</i>	
(E) IMPERVIOUS SURFACE	23070 SF
(E) PERVIOUS LANDSCAPE	80 SF
TOTAL	23150 SF
<u>(E) SURFACE TO REMAIN</u>	
IMPERVIOUS PAVING	8610 SF
IMPERVIOUS ROOF	5440 SF
PERVIOUS LANDSCAPE	80 SF
TOTAL	14130 SF
<u>NEW/REPLACED SURFACE</u>	
IMPERVIOUS PAVING (REPLACEMENT)	2720 SF
IMPERVIOUS ROOF (REPLACEMENT)	5510 SF
(N) PERVIOUS LANDSCAPE	790 SF
TOTAL	9020 SF
<u>OVERALL IMPERVIOUS SURFACE CHANGE</u>	
(E) IMPERVIOUS SURFACE	21300 SF
PROPOSED TOTAL IMPERVIOUS SURFACE	21250 SF
TOTAL IMPERVIOUS CHANGE	-750 SF

STORMWATER SYSTEM

Large Project definition for Stormwater systems:
Our project is subject to the SRC version in effect on the date of our Site Permit acceptance by the Planning Department, 10/29/2024, prior to changes implemented by Salem ordinance ORD 9-24, which took effect on 11/01/2024.

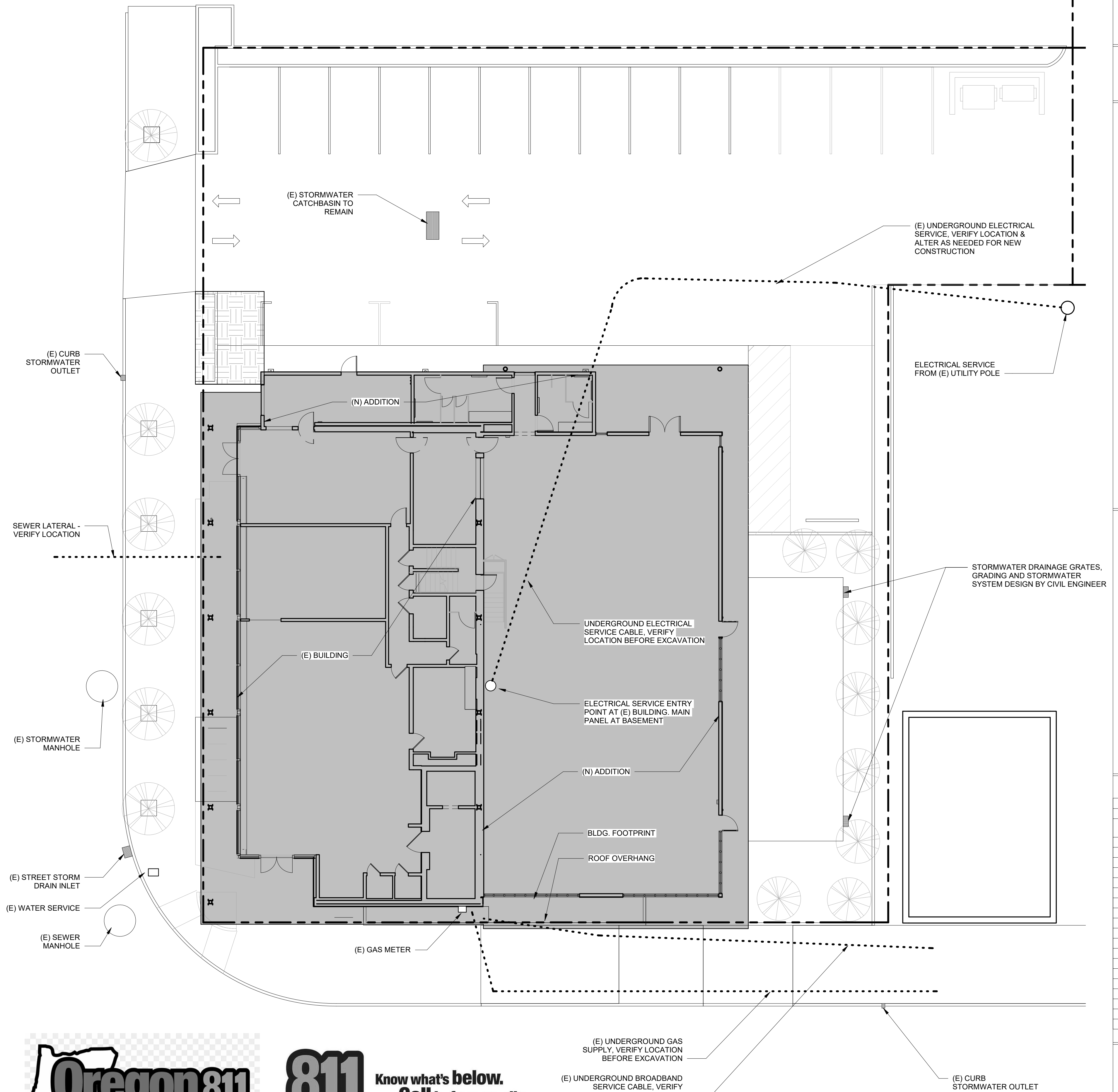
By this definition, our new and replaced surface area combined equals 9020 SF, and does not trigger the stormwater system requirements for Large Projects.

SRC 70.005 (historical version, previous to 11/01/2024. Language later modified by ORD 9-24 shown in **bold type**):

"Large project" means a project including 10,000 square feet or more of new pervious surface, new impervious surface, or replaced impervious surface, individually or combined, on private property; or a project including 10,000 square feet or more of new pervious surface, new impervious surface, or replaced impervious surface, individually or combined, in public right-of-way."

Small Project - Proposed system alterations:
Alterations will conform to SRC Chapter 71. Existing parking lot stormwater inlets will be decommissioned where affected by new construction, and replacement inlets at patio and new paving will be connected to existing system. All new and altered roof drainage downspouts will be connected to existing system.

Because overall proposed impervious surface on the property is decreasing, no additional load will be added to existing stormwater system. Small Project alterations do not require design by Civil Engineer.



1 SITE UTILITY & STORMWATER PLAN
3/32" = 1'-0"

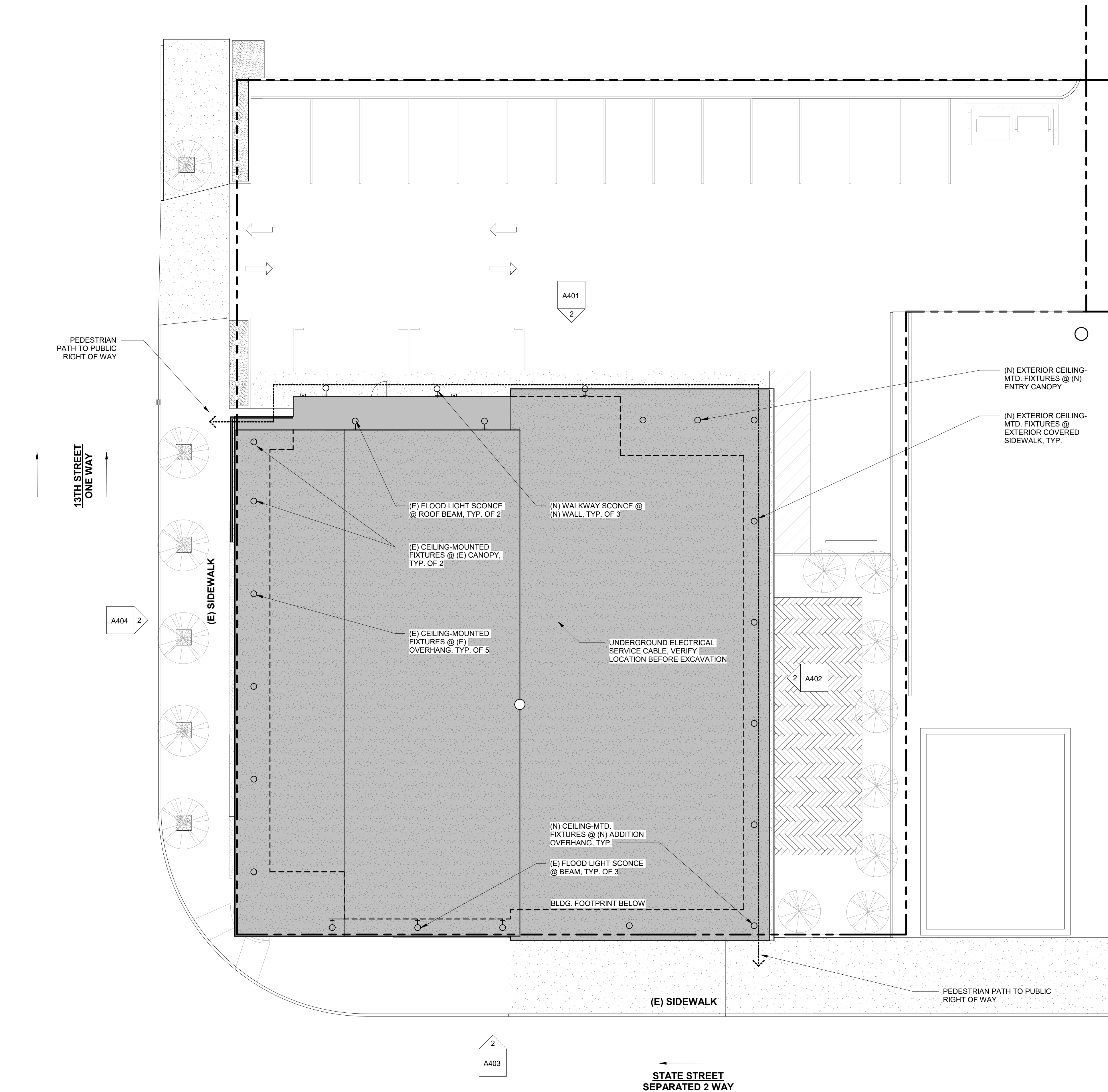


**Know what's below.
Call before you dig.®**



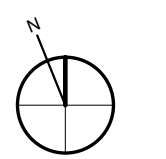
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A103



1 SITE LIGHTING & EGRESS PLAN
3/32" = 1'-0"

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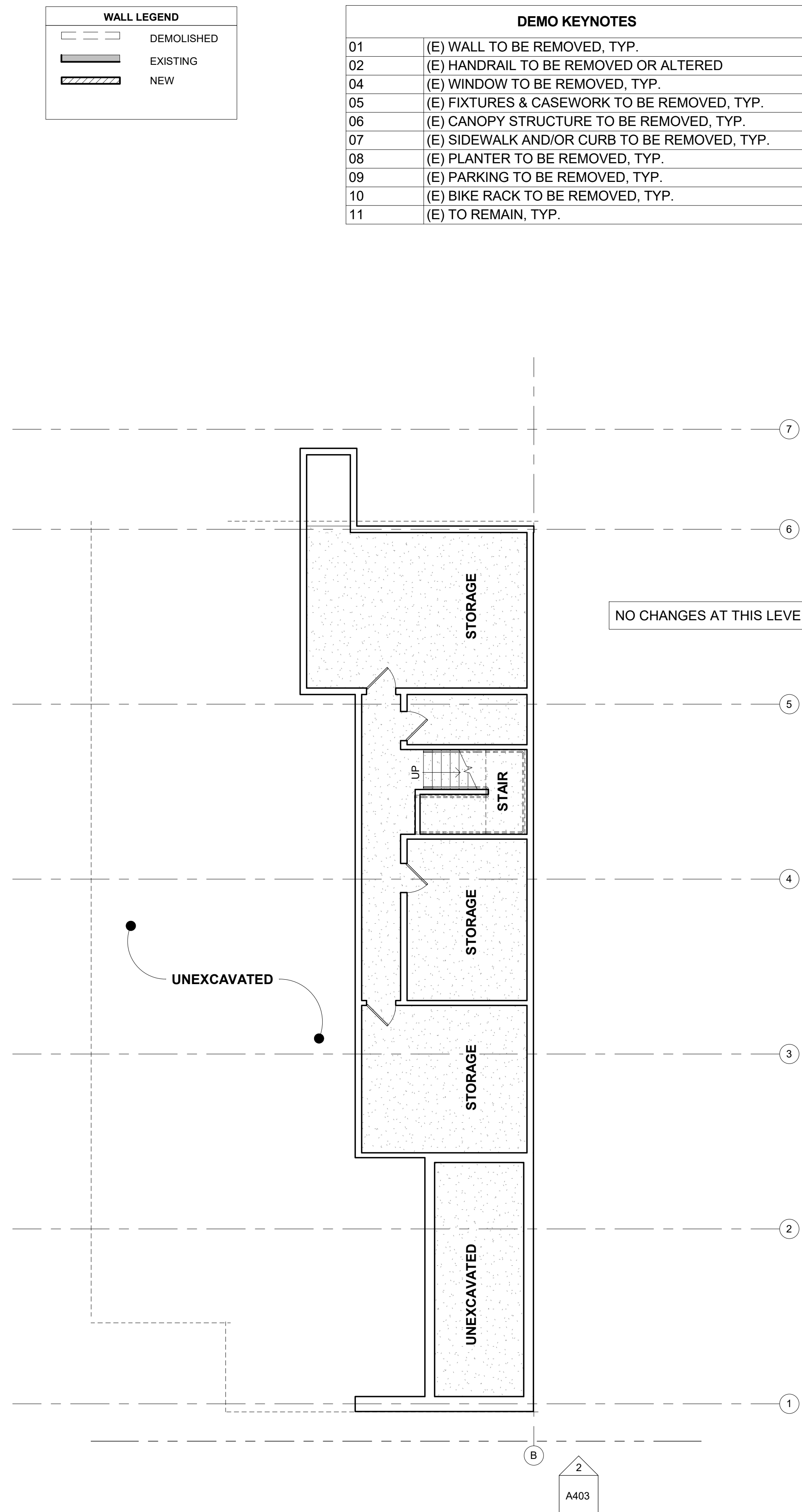


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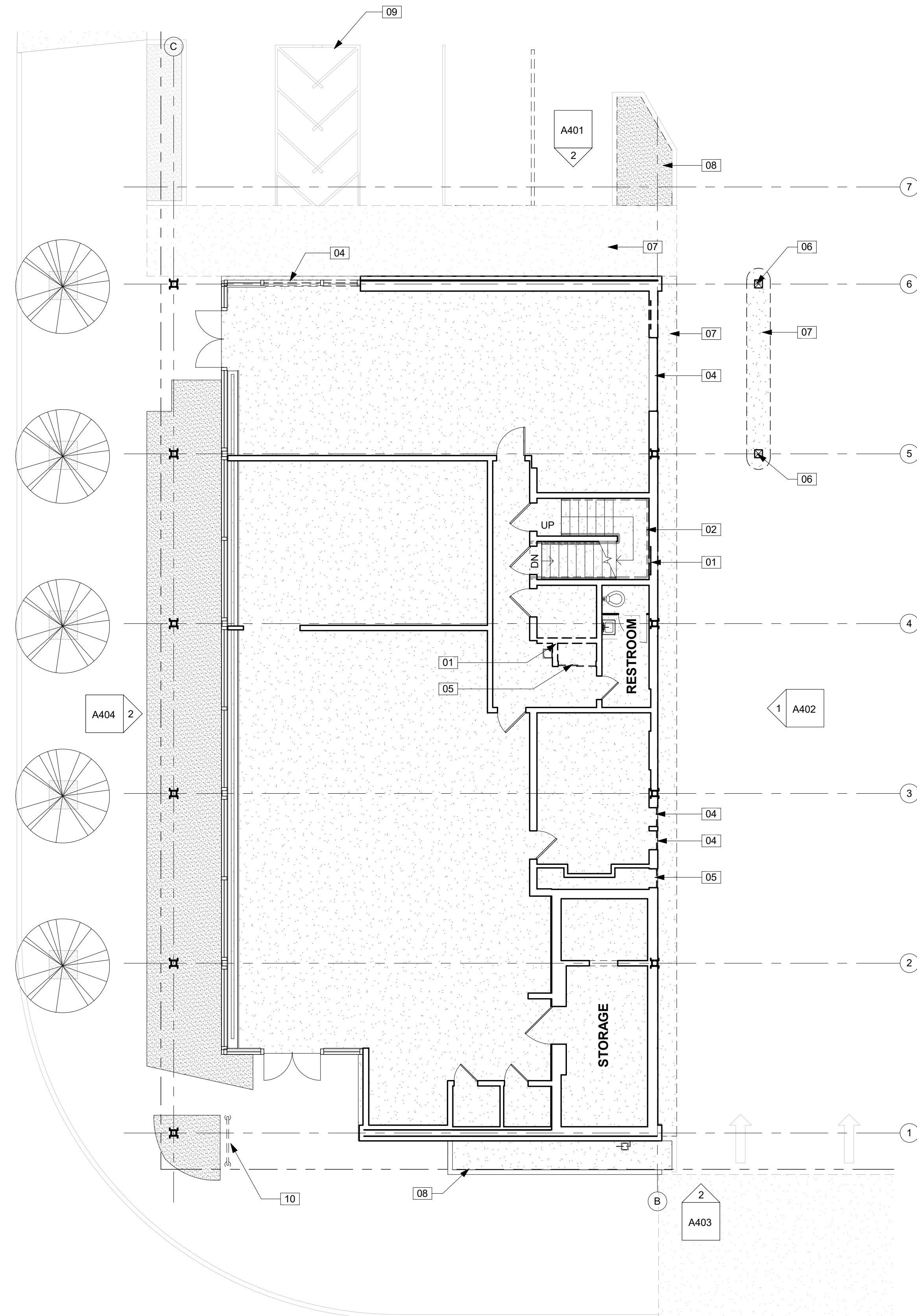
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**EXISTING / DEMO
FLOOR PLANS**

A110

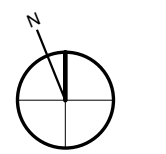


1 BASEMENT FLOOR PLAN - EXISTING/DEMO
1/8" = 1'-0"



2 1ST FLOOR PLAN - EXISTING/DEMO
1/8" = 1'-0"

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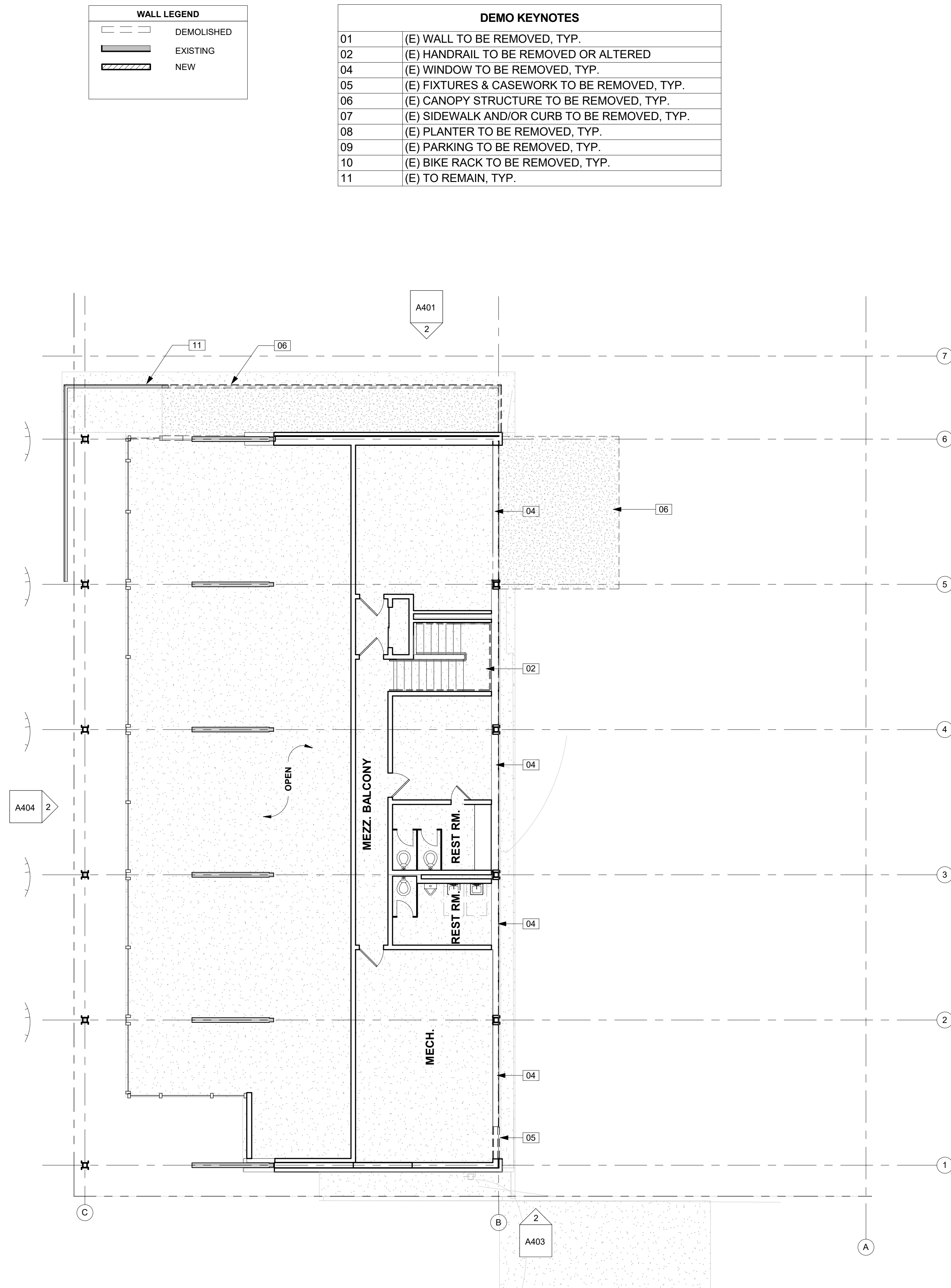


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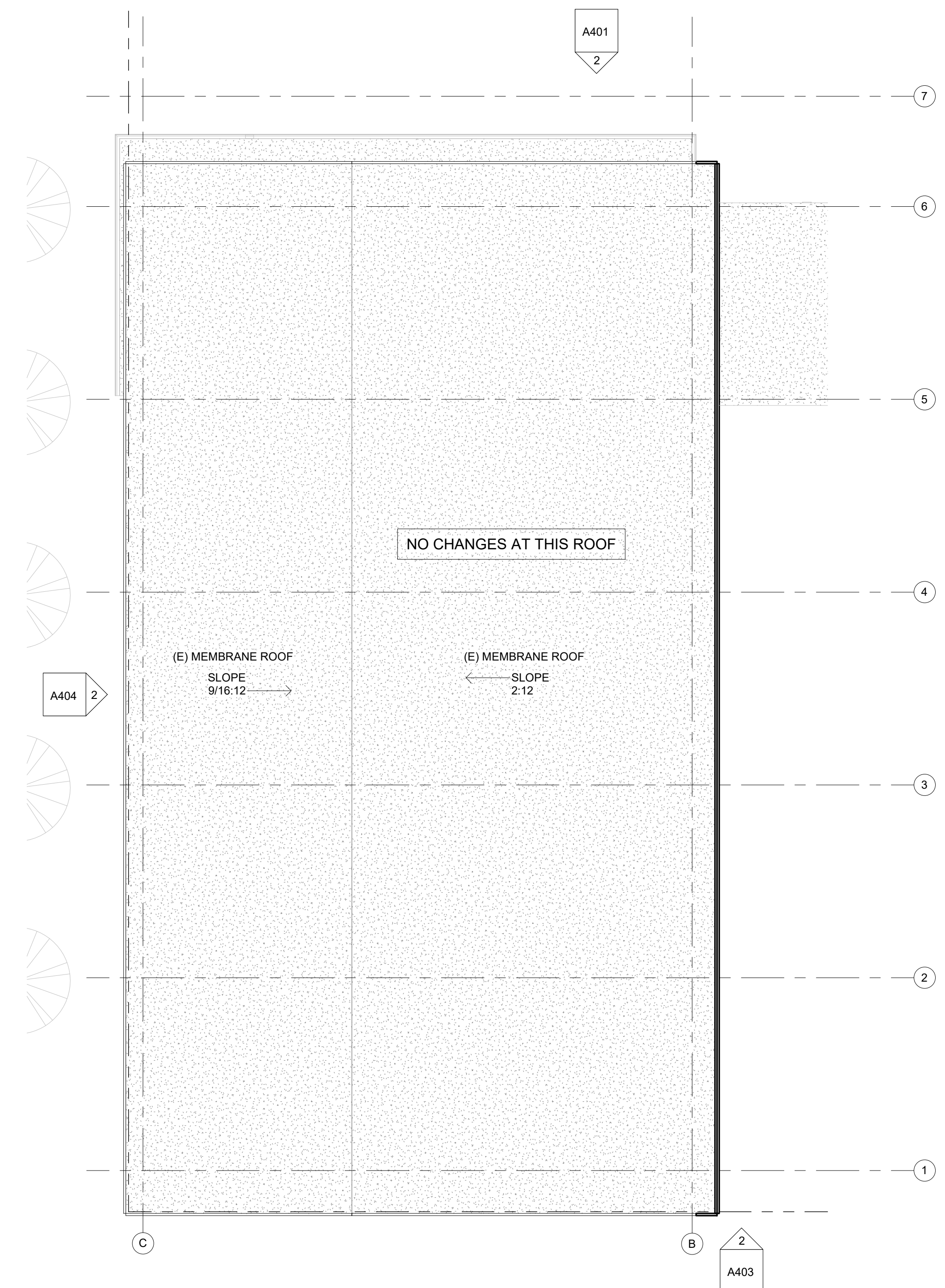
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EXISTING / DEMO
FLOOR PLANS

A111

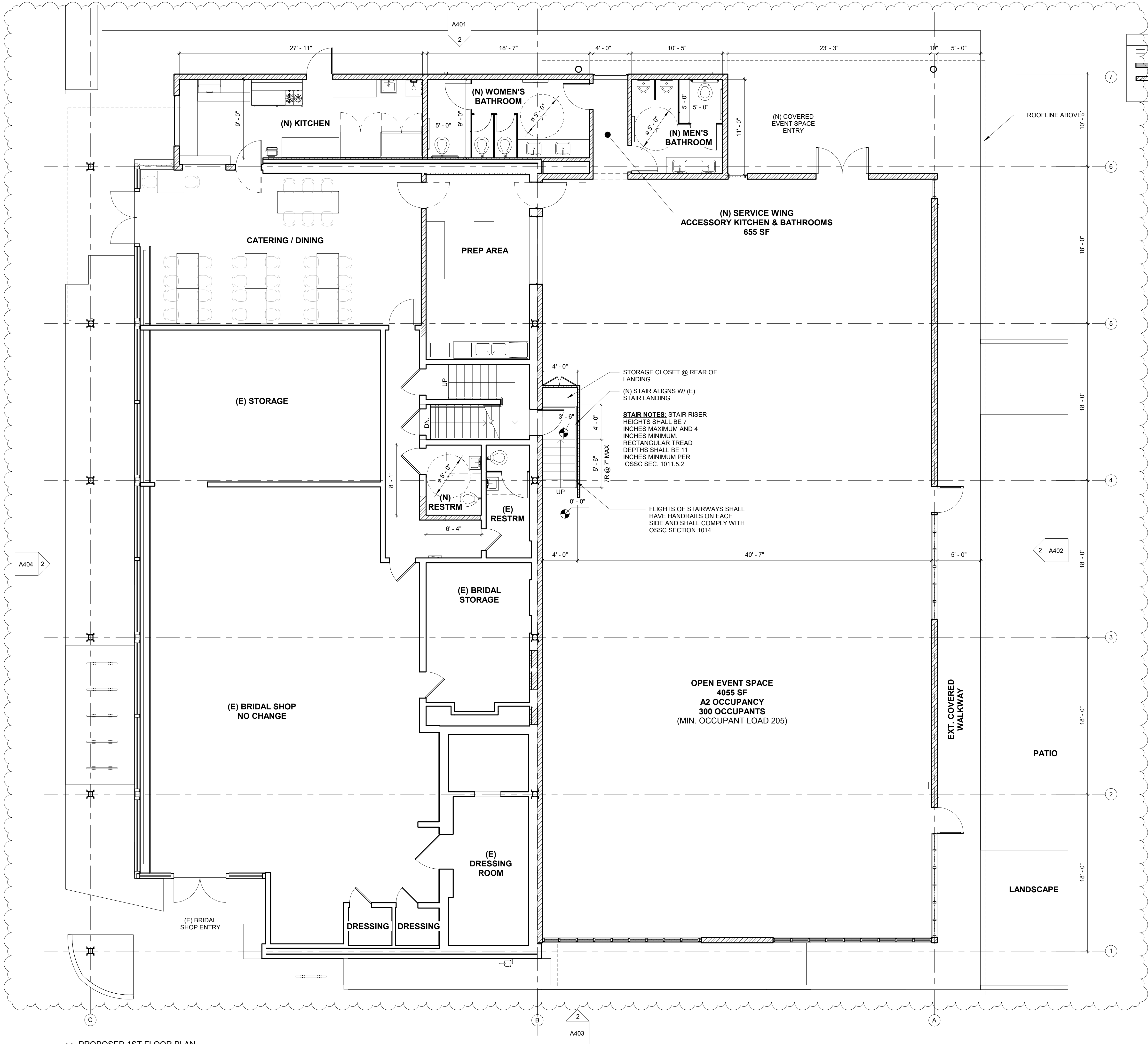


1 2ND FLOOR PLAN - EXISTING/DEMO
1/8" = 1'-0"



2 ROOF PLAN - EXISTING/DEMO
1/8" = 1'-0"

3/7/2025 12:08:12 PM



1 PROPOSED 1ST FLOOR PLAN
3/16" = 1'-0"

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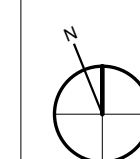
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PROPOSED 1ST FLOOR PLAN

A201

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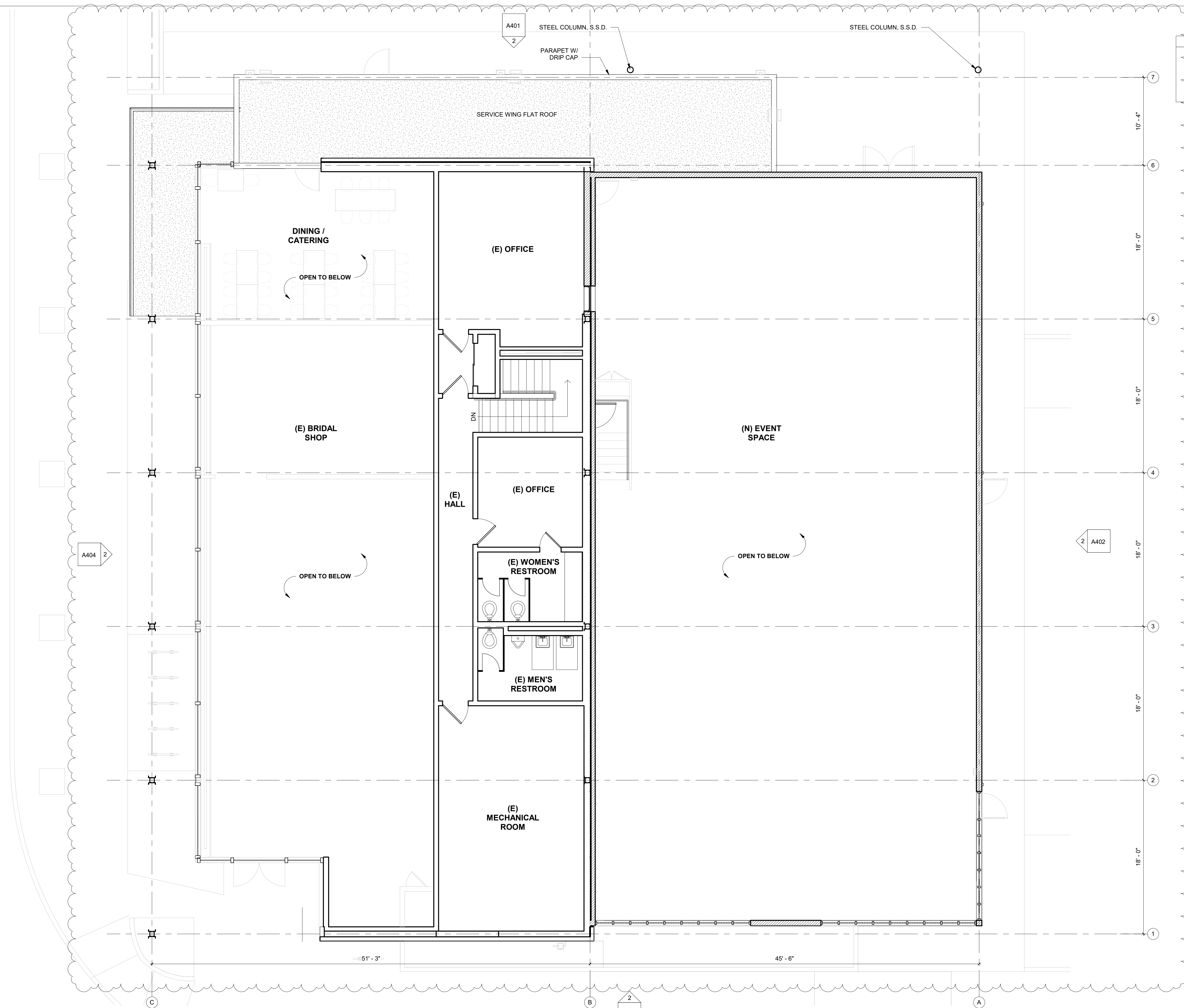


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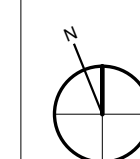
**PROPOSED 2ND FLOOR
PLAN**

A202



① PROPOSED 2ND FLOOR PLAN
3/16" = 1'-0"

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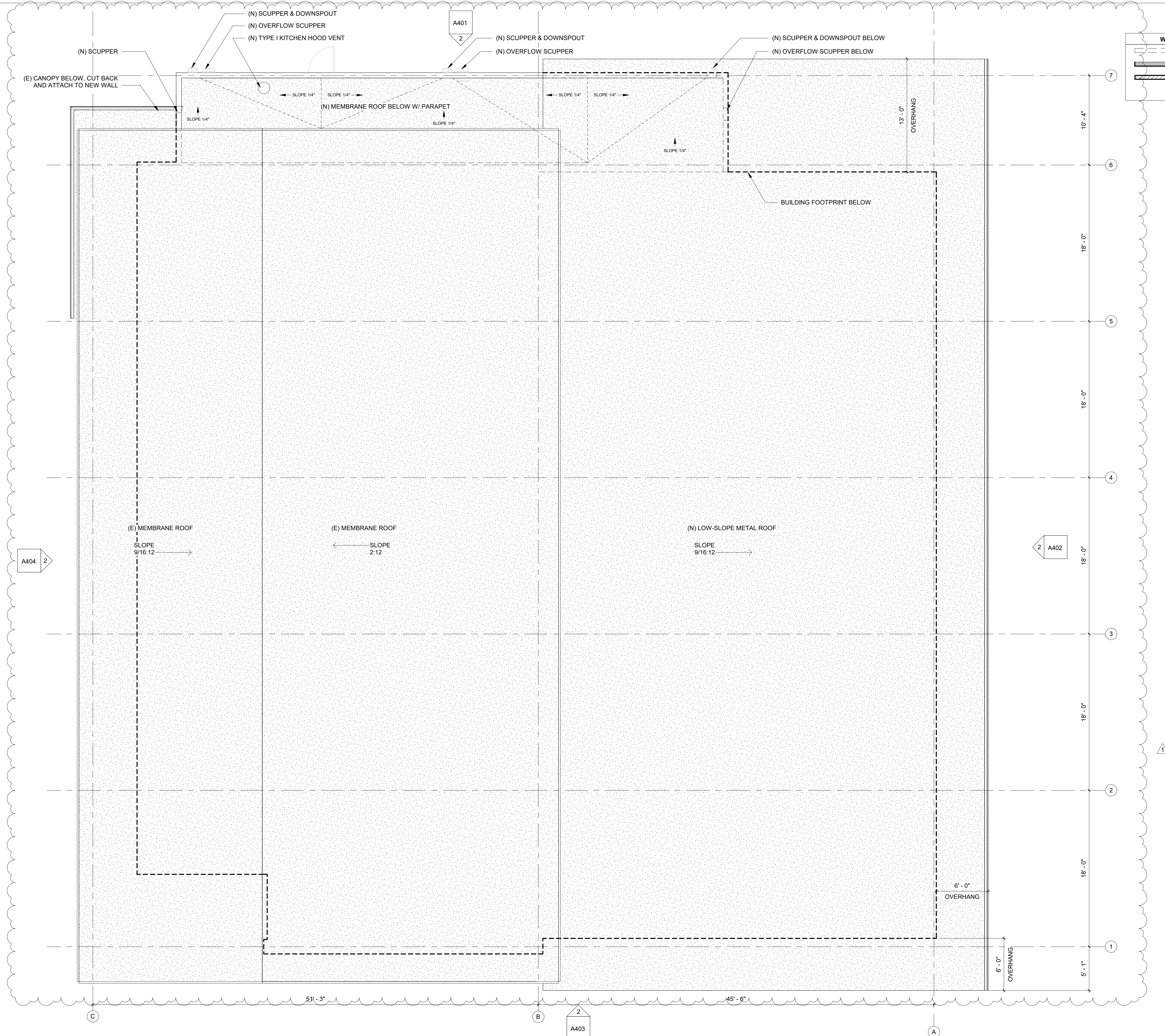


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PROPOSED ROOF PLAN

A203



1 PROPOSED ROOF PLAN
3/16" = 1'-0"

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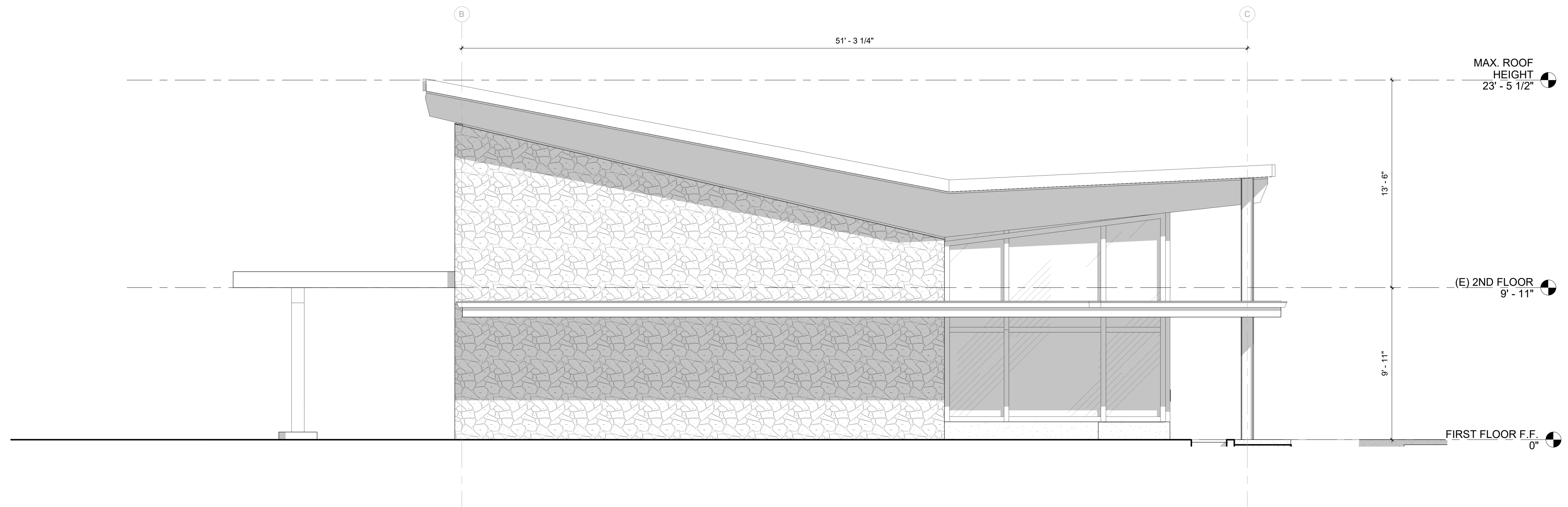
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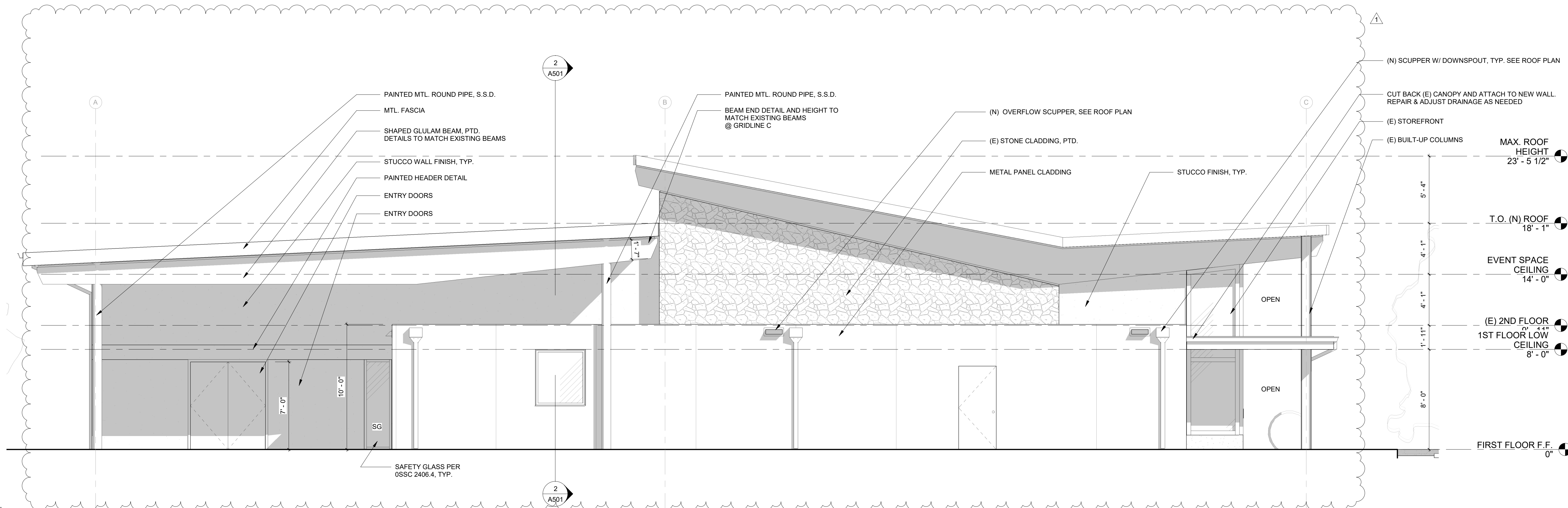
**BUILDING ELEVATIONS
- NORTH**

A401

NOTE: DEMOLITION NOT SHOWN
ON EXISTING ELEVATIONS FOR
CLARITY. SEE DEMO PLANS A101
FOR DEMOLITION DETAILS



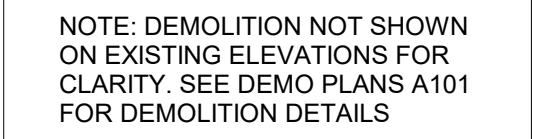
① EXISTING ELEVATION - NORTH
1/4" = 1'-0"



2 PROPOSED ELEVATION - NORTH
1/4" = 1'-0"

1	SITE PERMIT REV1	03.07.2025
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A403



Architectural elevation drawing of a building facade showing proposed glazing additions. The drawing includes dimensions, material callouts, and a summary table for the proposed glazing.

Dimensions:

- 51' - 3"
- 45' - 6"
- 9' - 11"
- 6' - 0"
- 4' - 7"
- 1' - 4"
- 4' - 1"
- 5' - 4"

Callouts:

- (E) STOREFRONT, NO CHANGE
- (E) BEAMS, PTD.
- (E) STONE CLADDING, PTD.
- STUCCO WALL FINISH
- METAL ROOF, 9/16:12 PTD. MTL. FASCIA 6" OVERHANG
- BEAM DETAIL TO MATCH EXISTING
- BRONZE MTL. STOREFRONT, TYP.
- HEADER PER STRUCT
- (N) BICYCLE RACKS PER SRC 806.045-806.060, SEE SITE PLAN A101 FOR DETAILS
- (E) GAS METER
- PTD. CORNER COLUMN CLADDING, S.S.D.
- WEEP SCREEN @ B.O. STUCCO FINISH
- TILED BASE DETAIL OVER CONCRETE STEM

Glazing Details:

- 217 SF GLAZING
- 217 SF GLAZING
- SG

Summary Table:

PROPOSED ADDITION GLAZING AT STATE STREET	
ADDITION FACADE SURFACE AREA TOTAL	= 720 SF
TRANSPARENT WINDOWS AREA	= 434 SF
TOTAL TRANSPARENCY PERCENTAGE	= 60%

Other Labels:

- MAX. ROOF HEIGHT 23' - 5 1/2"
- T.O. (N) ROOF 18' - 1"
- EVENT SPACE CEILING 14' - 0"
- (E) 2ND FLOOR 9' - 11"
- FIRST FLOOR F.F. 0"

2 PROPOSED ELEVATION - SOUTH
1/4" = 1'-0"

[illegible]

A404

1 EXISTING ELEVATION - WEST
1/4" = 1'-0"

② PROPOSED ELEVATION - WEST
1/4" = 1'-0"