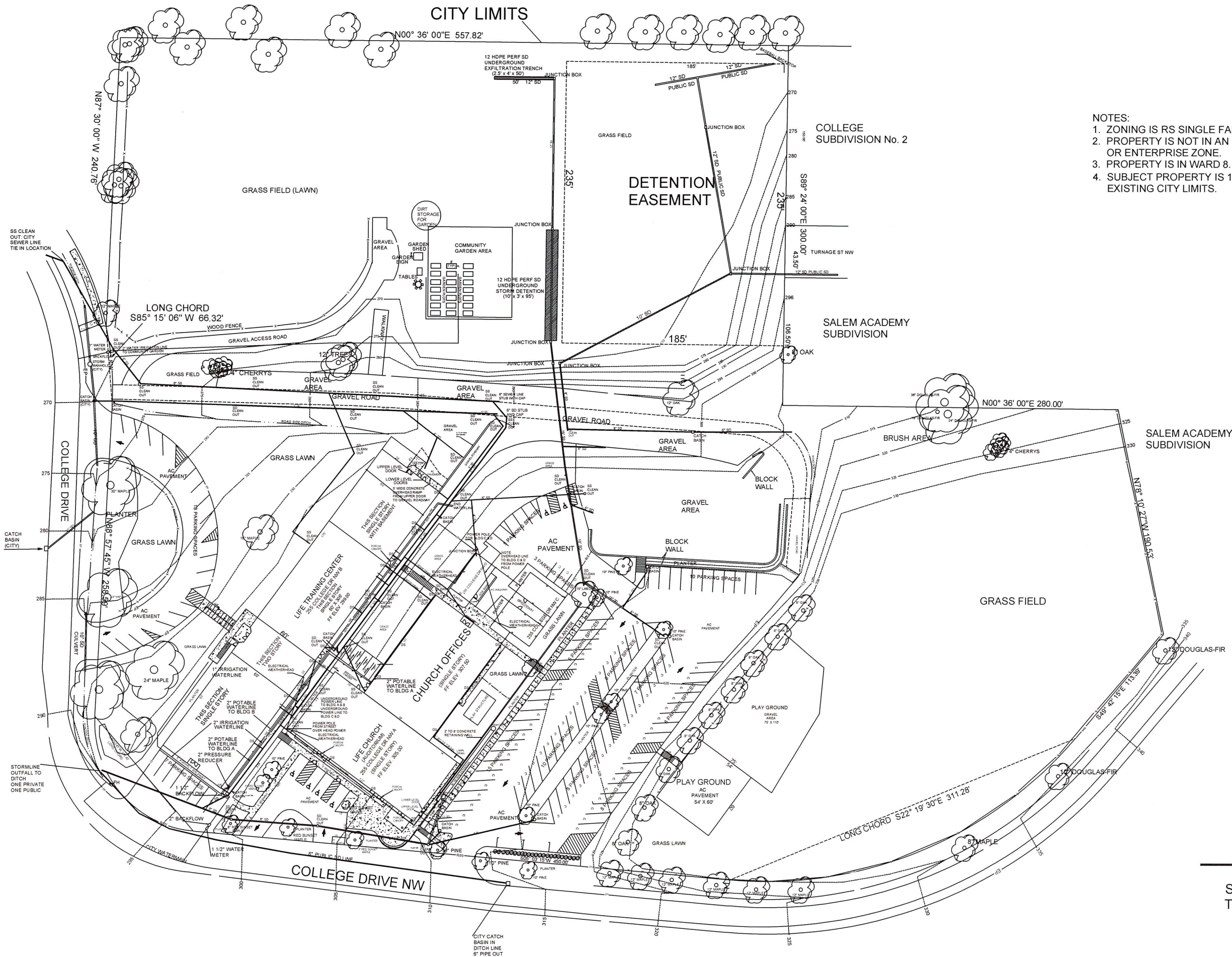




- NOTES:
- 1. ZONING IS RS SINGLE FAMILY RESIDENTIAL
 - 2. PROPERTY IS NOT IN AN OPPORTUNITY ZONE OR ENTERPRISE ZONE.
 - 3. PROPERTY IS IN WARD 8.
 - 4. SUBJECT PROPERTY IS 100% WITHIN THE EXISTING CITY LIMITS.

- LEGEND
- EDGE OF PAVEMENT
 - EDGE OF GRAVEL
 - CONTOUR LINE
 - POWER LINE
 - GAS LINE
 - WATER LINE
 - STORM LINE
 - SEWER LINE



EXPIRES 12/31/25

LIFE CHURCH

255 COLLEGE DR NW

SITE PLAN

DATE: 3/3/2025
SCALE: 1" = 40'

SHEET 402 OF 415

SCALE: 1" = 40'
THIS SHEET HALF SIZED

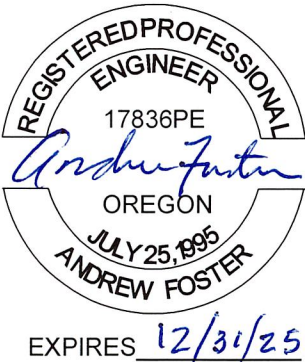
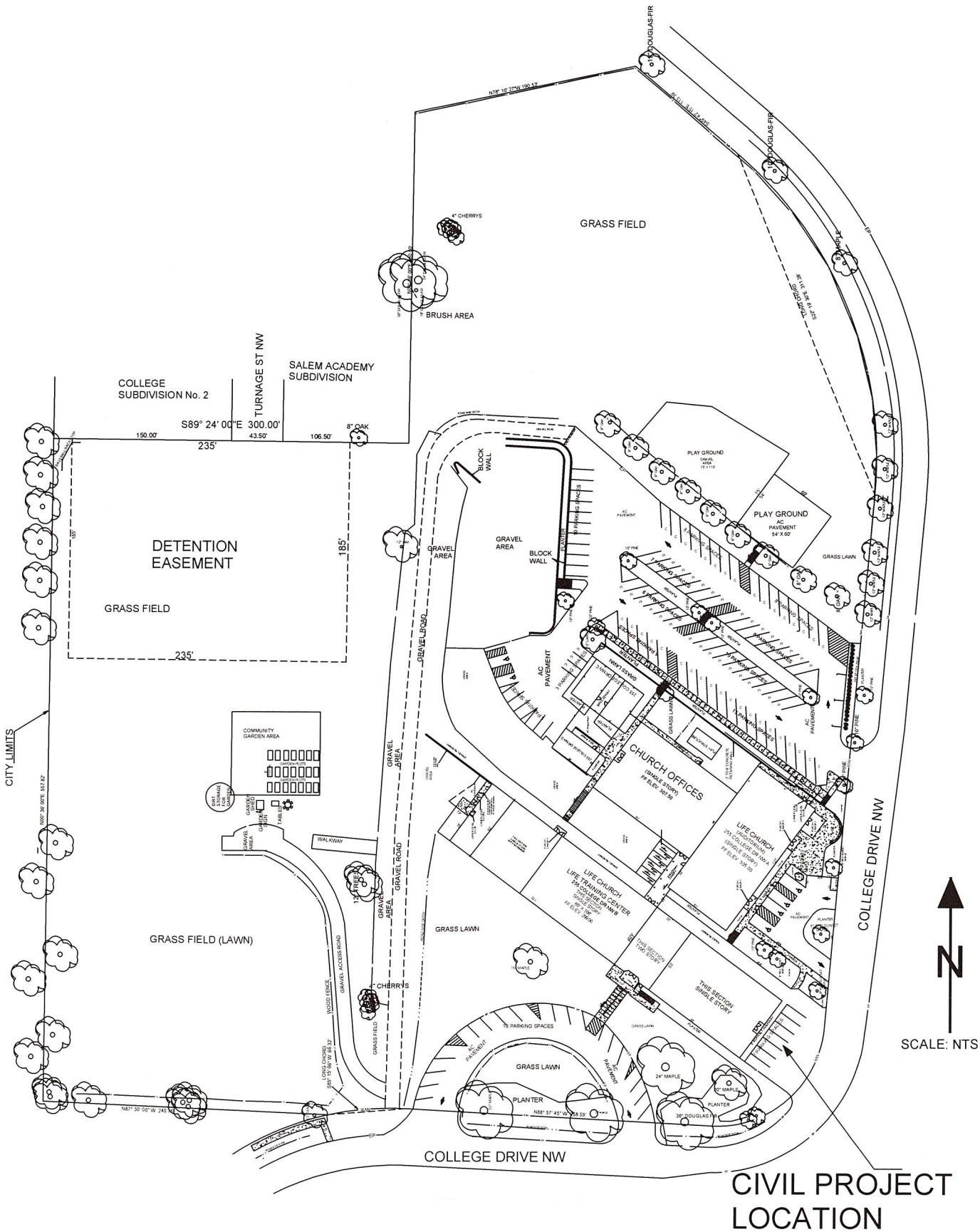
LIFE CHURCH
LIFE TRAINING CENTER BUILDING
PARKING LOT CONVERSION

THE PURPOSE OF THIS PROJECT IS TO RE-BUILD AN EXISTING PARKING LOT SECTION TO ADA STANDARDS. CREATING 4 ADA PARKING SPACES, WHEEL CHAIR RAMPS ADA ACCESSIBLE SIDEWALK, AND PARKING LOT STRIPING AND SIGNAGE. THIS PROJECT IS BEING DONE IN CONJUNCTION WITH THE REMODELING OF A PORTION OF BUILDING B AT 255 COLLEGE DRIVE NW. CURRENTLY THERE ARE NO ADA PARKING SPACES FOR BUILDING B, THIS PROJECT WILL PROVIDE THE REQUIRED ADA PARKING SPACES.

- INDEX OF SHEETS
- 201 COVER SHEET
 - 202 EXISTING CONDITIONS
 - 203 EROSION CONTROL
 - 204 DEMOLITION
 - 205 PARKING LOT IMPROVEMENTS (ADA IMPROVEMENTS)

PROJECT PLAN SETS

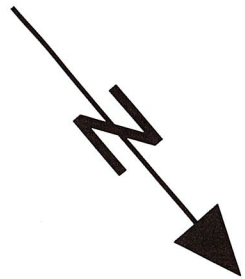
- CIVIL SET
201-205
- ARCHITECTURAL SET
401-415
- FIRE SYSTEMS SET
601-605



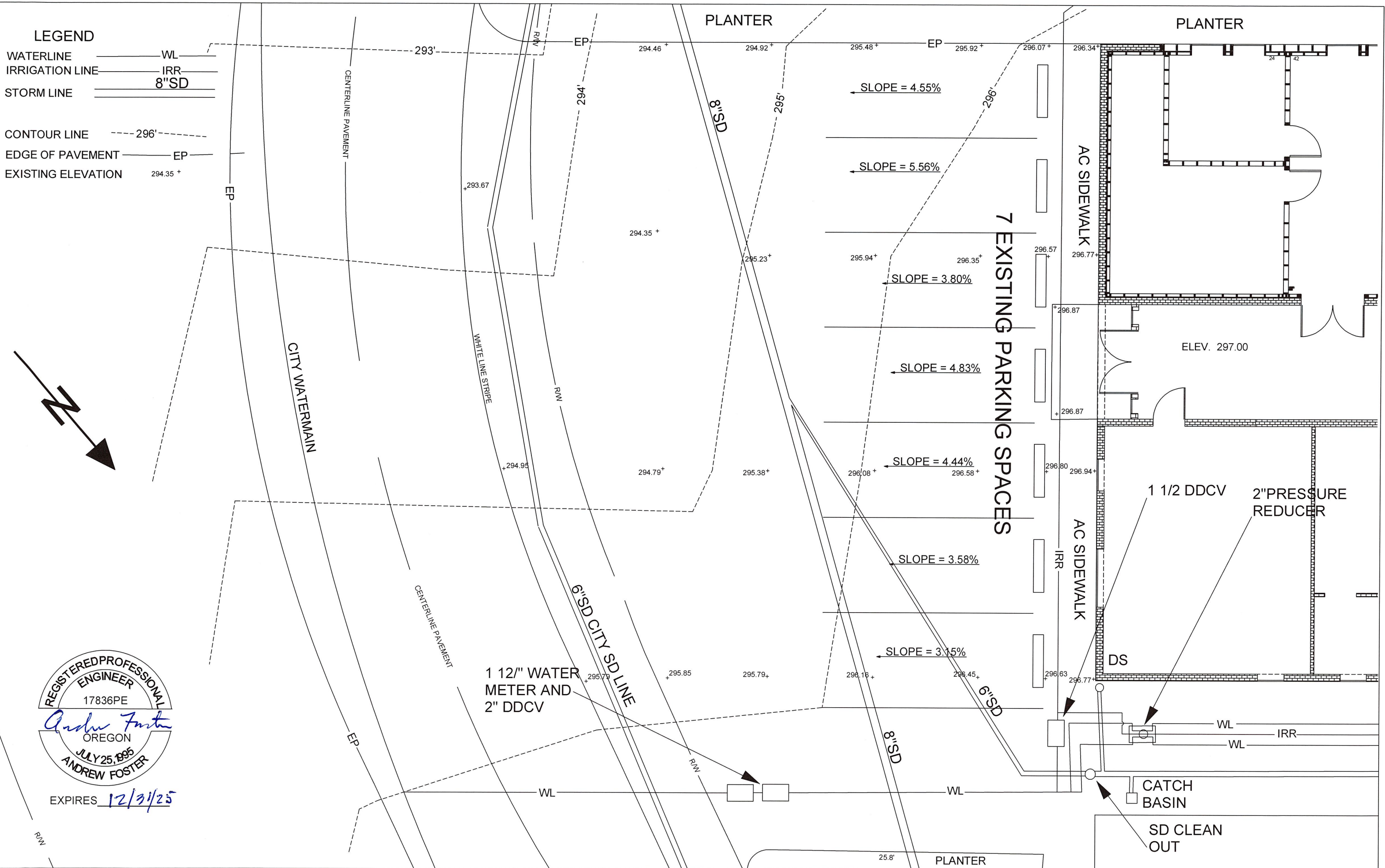
LEGEND

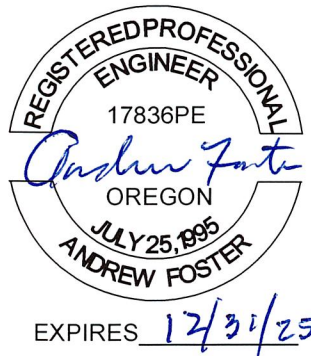
WATERLINE WL
IRRIGATION LINE IRR
STORM LINE 8"SD

CONTOUR LINE 296'
EDGE OF PAVEMENT EP
EXISTING ELEVATION 294.35 +



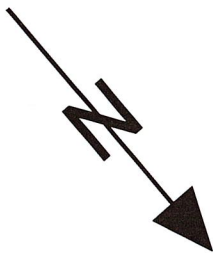
EXPIRES 12/31/25





INSTALL STRAW WATTLES
ACROSS EXISTING DITCH
TWO LOCATIONS

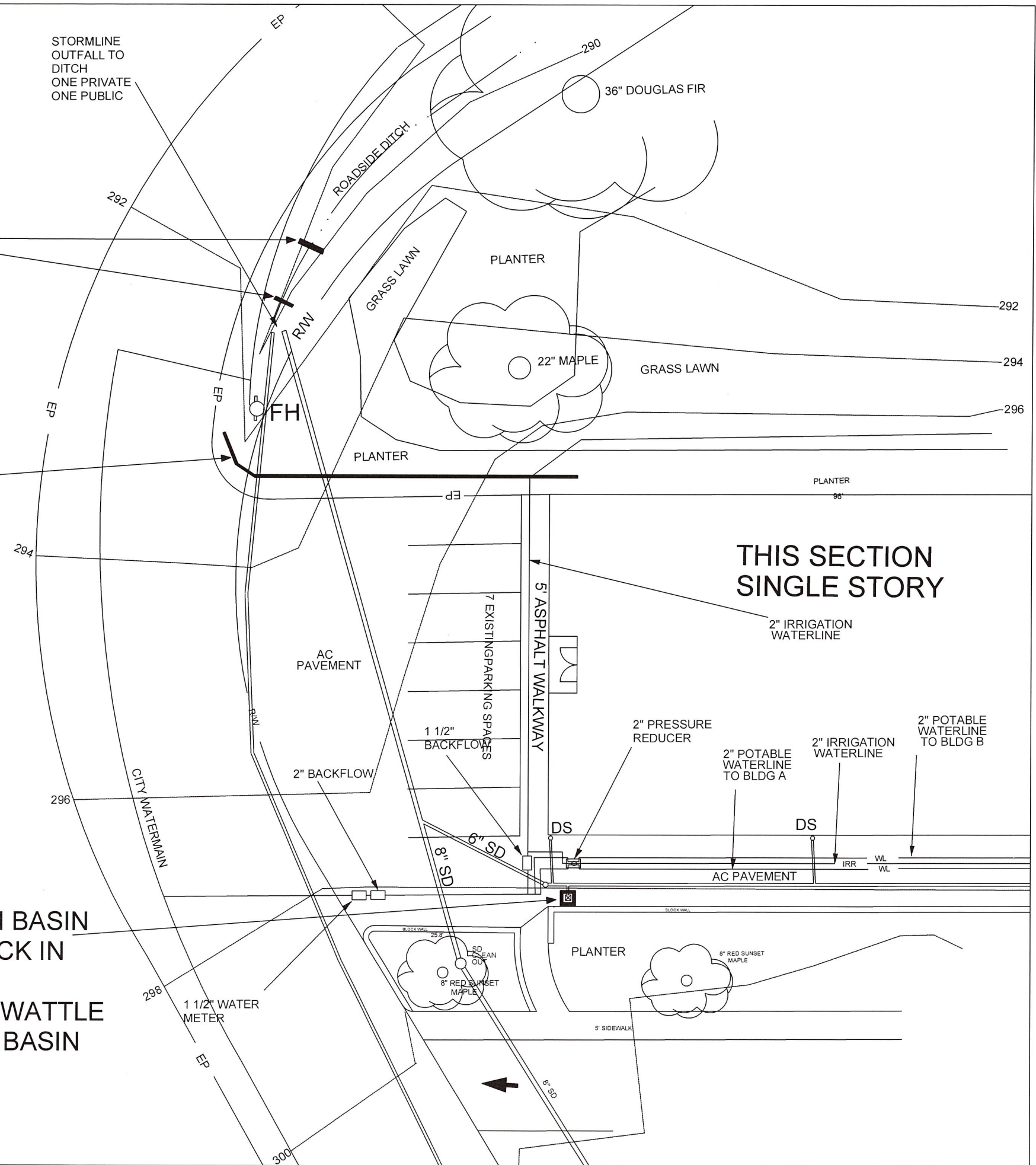
INSTALL 65 FEET OF STRAW
WATTLE IN PLANTER AREA
FOR EROSION CONTROL
BOUNDARY

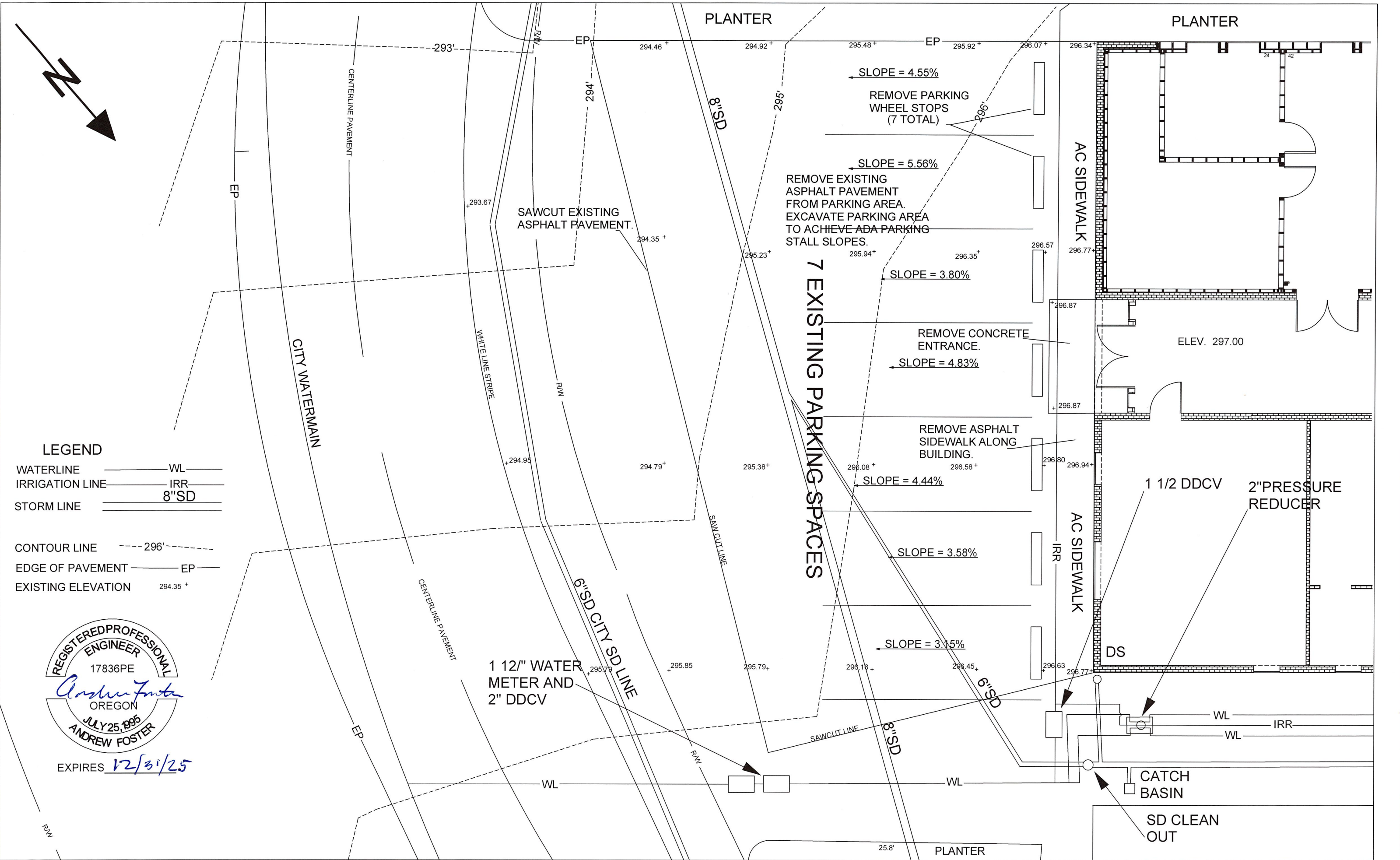


LEGEND

- WATERLINE _____ WL _____
- IRRIGATION LINE _____ IRR _____
- STORM LINE _____ 8"SD _____
- CONTOUR LINE ----- 296' -----
- EDGE OF PAVEMENT _____ EP _____

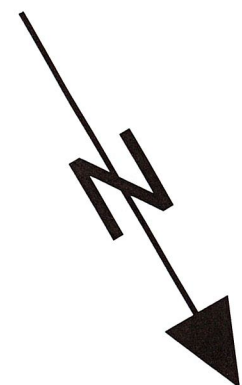
EXISTING CATCH BASIN
INSTALL SILT SACK IN
CATCH BASIN.
INSTALL STRAW WATTLE
AROUND CATCH BASIN



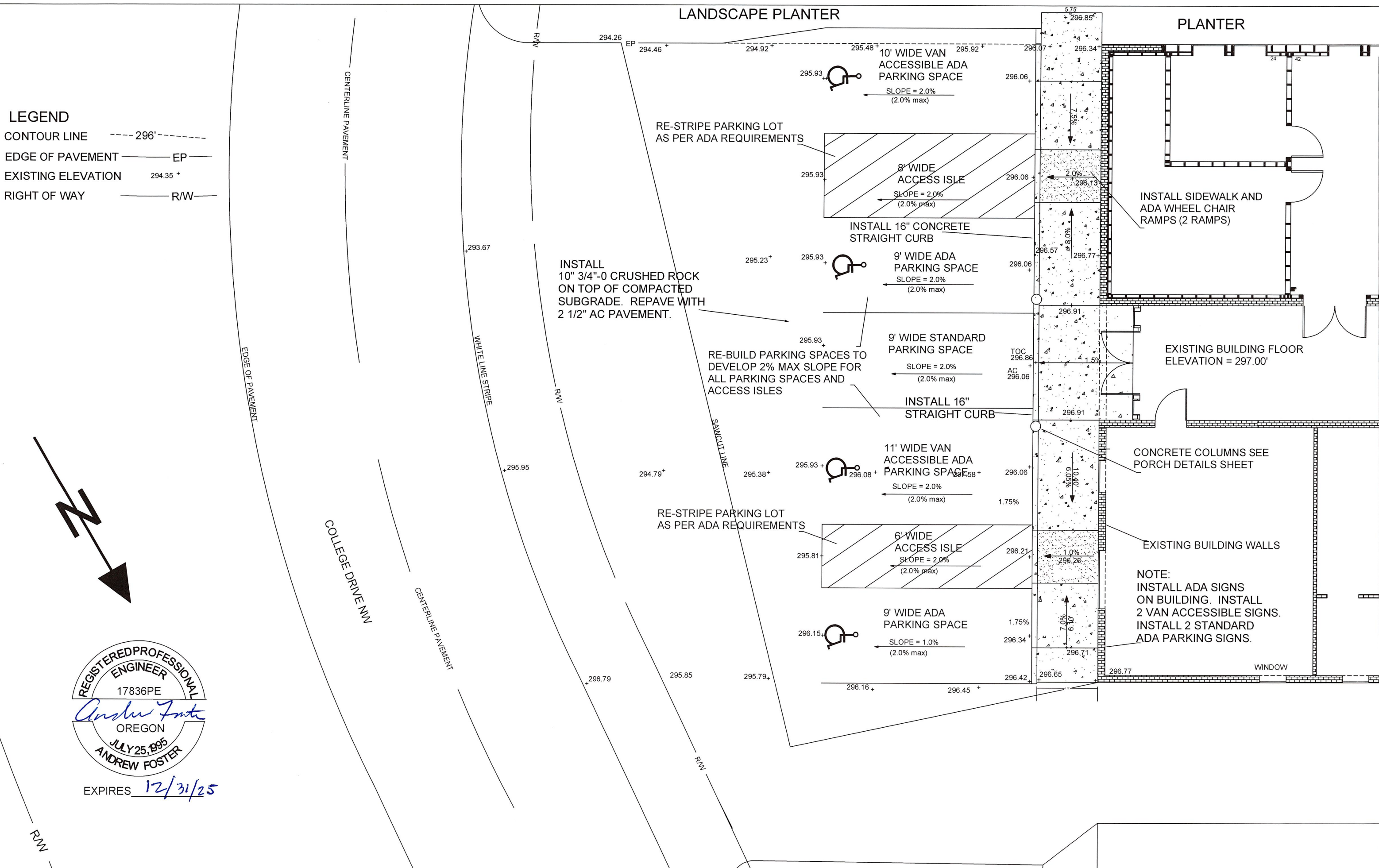


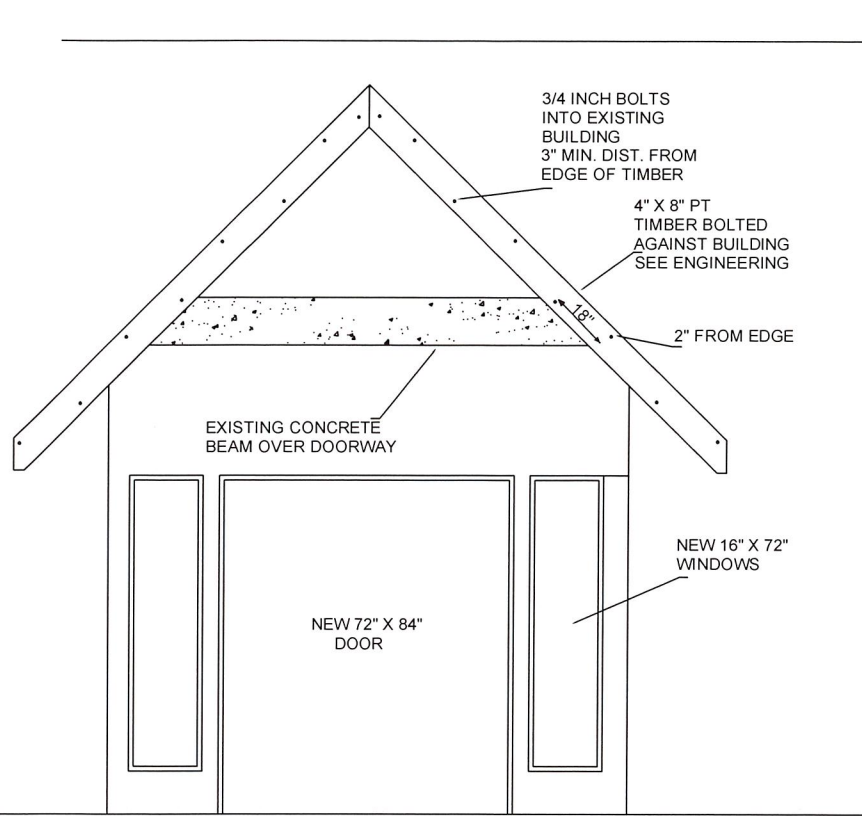
LEGEND

CONTOUR LINE --- 296' ---
EDGE OF PAVEMENT — EP —
EXISTING ELEVATION 294.35 +
RIGHT OF WAY — R/W —

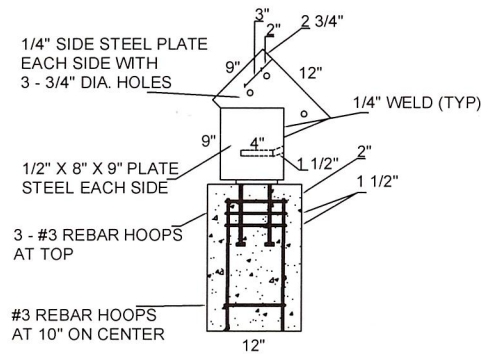


EXPIRES 12/31/25

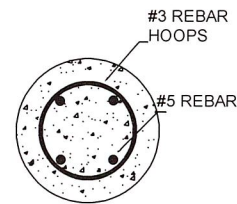




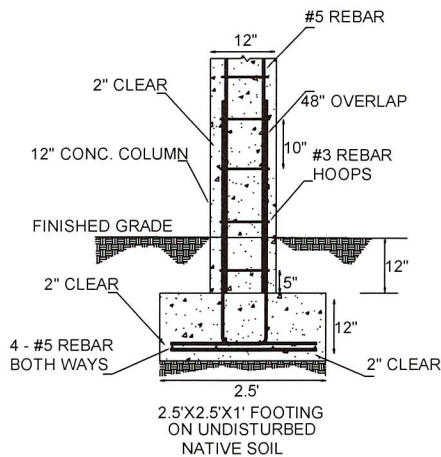
PT TIMBER TO BUILDING DETAIL
SCALE 1/4" = 1'



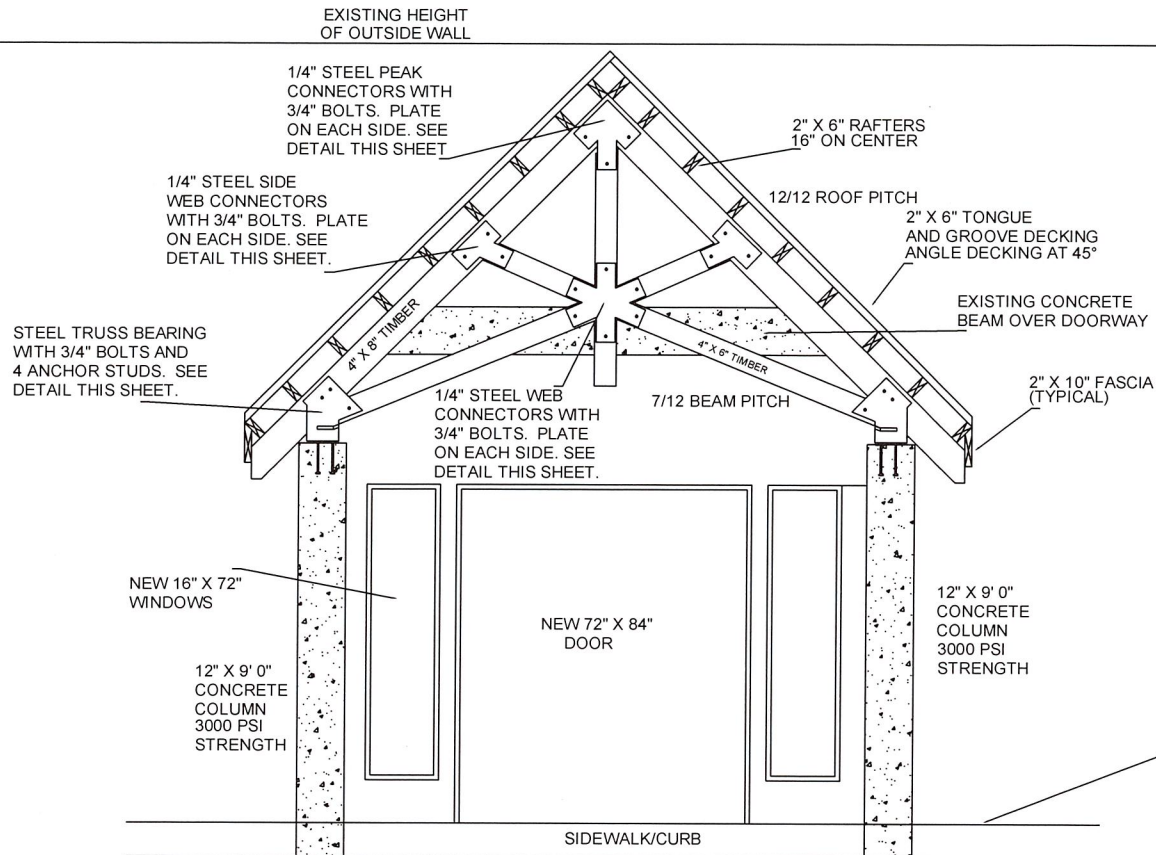
TRUSS BEARING
DETAIL
SCALE 1/2" = 1'



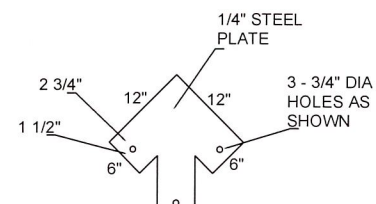
12" X 9' 0"
CROSS - SECTION
CONCRETE COLUMN
DETAIL



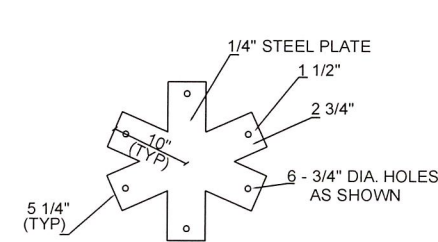
FOOTING & COLUMN DETAIL



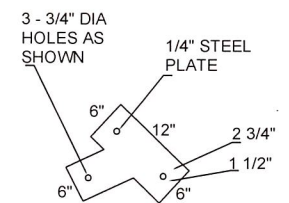
ENTRANCE/PORCH DETAIL
FRONT VIEW
SCALE 1/4" = 1'



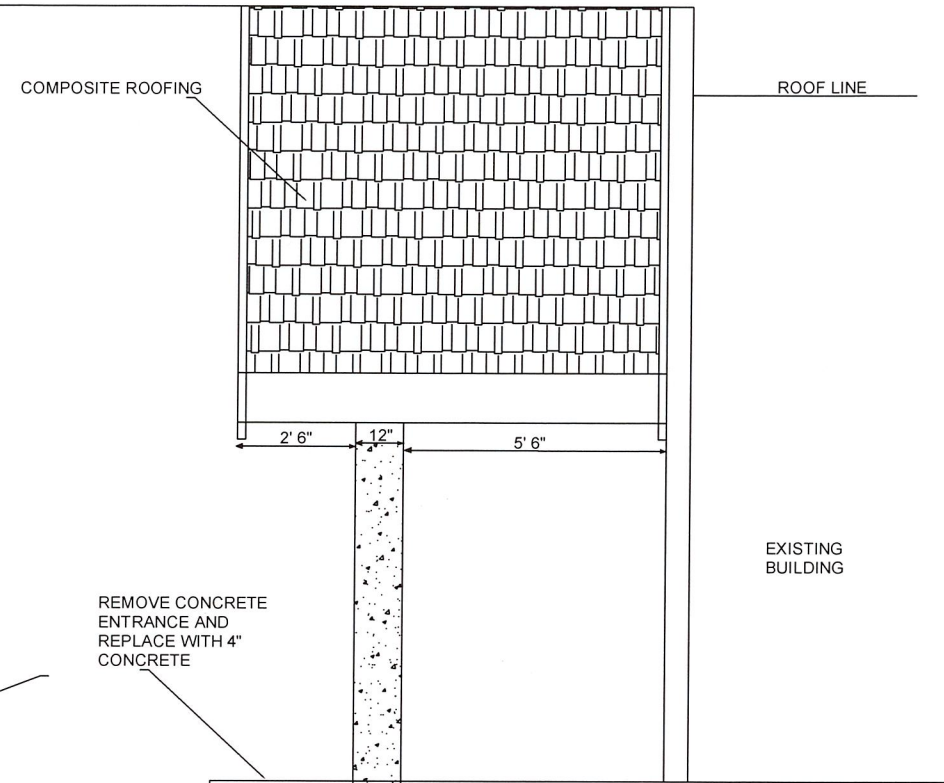
PEAK
CONNECTION
DETAIL
SCALE 1/2" = 1'



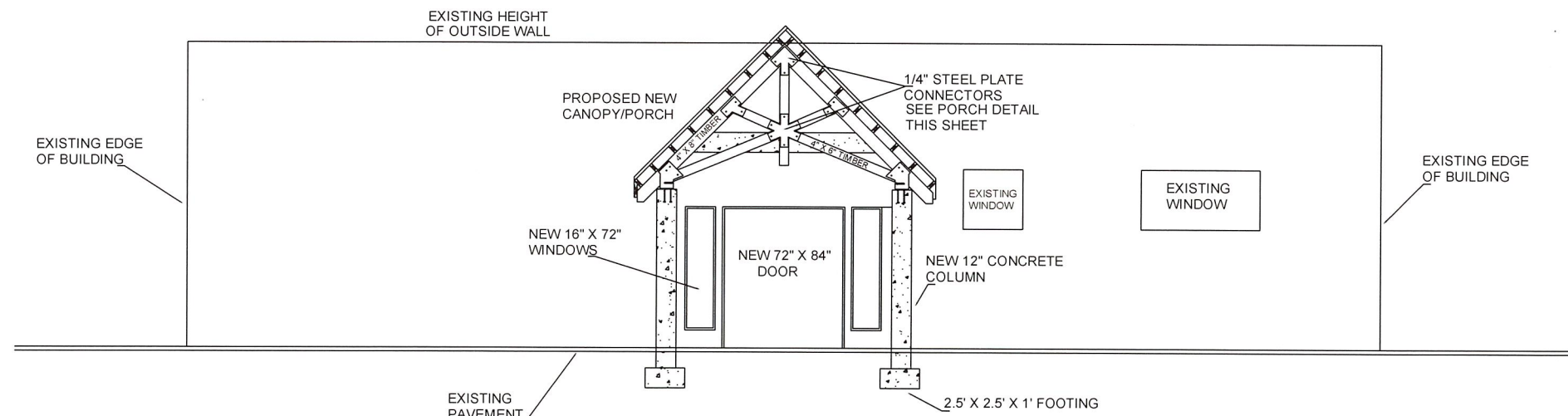
WEB CONNECTION
DETAIL
SCALE 1/2" = 1'

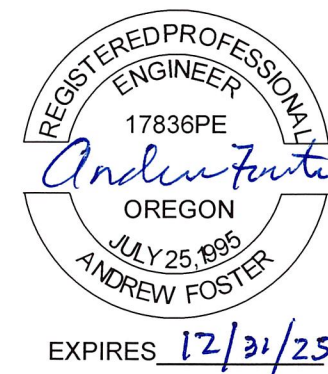


SIDE WEB
CONNECTION
DETAIL
SCALE 1/2" = 1'



ENTRANCE/PORCH DETAIL
SIDEVIEW
SCALE 1/4" = 1'





EXISTING HEIGHT
OF OUTSIDE WALL

PROPOSED NEW
CANOPY/PORCH

1/4" STEEL PLATE
CONNECTORS

EXISTING EDGE
OF BUILDING

EXISTING EDGE
OF BUILDING

NEW 16" X 72"
WINDOWS

NEW 72" X 84"
DOUBLE DOOR

EXISTING
WINDOW

EXISTING
WINDOW

NEW 12" CONCRETE
COLUMN

EXISTING
PAVEMENT

2.5' X 2.5' X 1' FOOTING