

NOTICE OF DECISION

PLANNING DIVISION
555 LIBERTY ST. SE, RM 305
SALEM, OREGON 97301
PHONE: 503-588-6173
FAX: 503-588-6005



Si necesita ayuda para comprender esta información, por favor llame 503-588-6173

DECISION OF THE PLANNING ADMINISTRATOR

CLASS 1 SITE PLAN REVIEW

APPLICATION NO.: 25-103905-PLN

NOTICE OF DECISION DATE: February 28, 2025

REQUEST: A Class 1 Site Plan Review for interior tenant improvements for one suite and establishing an *outpatient medical services and laboratories* use for four suites in a 10,041 square foot single-story commercial building. The subject property is 0.71 acres in size, zoned CG (General Commercial), and is located at 966 12th Street SE, Suites 110, 120, 130, and 140 (Marion County Assessor's Map and Tax Lot Number: 073W26CC / 11400).

APPLICANT: Blake Bural, on behalf of Collin Blattner

LOCATION: 966 12th Street SE, Suites 110, 120, 130, and 140

FINDINGS: The findings are in the attached Decision dated February 28, 2025.

DECISION: The **Planning Administrator APPROVED** the application based upon the submitted materials and the findings as presented in the decision.

The rights granted by the attached decision, which are effective as of the date of this decision, must be exercised by February 28, 2029, or this approval shall be null and void.

Case Manager: Quincy Miller, Planner I, gmiller@cityofsalem.net, (503) 584-4676

This decision is final; there is no local appeal process. Any person with standing may appeal this decision by filing a "Notice of Intent to Appeal" with the Land Use Board of Appeals, 775 Summer St NE, Suite 330, Salem OR 97301, **not later than 21 days after February 28, 2025**. Anyone with questions regarding filing an appeal with the Oregon Land Use Board of Appeals should contact an attorney.

The following items are submitted to the record: 1) All materials and evidence submitted by the applicant, including any applicable professional studies; and 2) All materials, evidence, and comments from City Departments and public agencies. The application materials are available on the City's online Permit Application Center at <https://permits.cityofsalem.net>. To view the materials without registering, you may use the search function and enter the permit number listed here: 25 103905.

<http://www.cityofsalem.net/planning>

BEFORE THE PLANNING ADMINISTRATOR OF THE CITY OF SALEM

DECISION

IN THE MATTER OF APPROVAL OF) FINDINGS & ORDER
CLASS 1 SITE PLAN REVIEW)
25-103905-PLN)
966 12 TH STREET SE) FEBRUARY 28, 2025

In the matter of the application for a Class 1 Site Plan Review, the Planning Administrator, having received and reviewed the evidence and application materials, makes the following findings and adopts the following order as set forth herein.

REQUEST

A Class 1 Site Plan Review for interior tenant improvements for one suite and establishing an outpatient medical services and laboratories use for four suites in a 10,041 square foot single-story commercial building. The subject property is 0.71 acres in size, zoned CG (General Commercial), and is located at 966 12th Street SE, Suites 110, 120, 130, and 140 (Marion County Assessor's Map and Tax Lot Number: 073W26CC / 11400).

PROCEDURAL FINDINGS

1. On February 13, 2025, an application for a Class 1 Site Plan Review was submitted for property located at 966 12th Street SE.
2. On February 27, 2025, the application was deemed complete.

SUBSTANTIVE FINDINGS

1. Proposal

The proposed Class 1 Site Plan Review affects property located at 966 12th Street SE, Suites 110, 120, 130, and 140 (**Attachment A**). The Class 1 Site Plan Review proposes interior tenant improvements for Suite 140, and establishing an *outpatient medical services and laboratories* use for Suites 110, 120, 130, and 140. The proposed development plans are included as **Attachment B**.

DECISION CRITERIA FINDINGS

2. Analysis of Class 1 Site Plan Review Approval Criteria

The purpose of Site plan review is to provide a unified, consistent, and efficient means to review for development activity that requires a building permit, to ensure that such development meets all applicable standards of the UDC, including, but not limited to, standards related to access, pedestrian connectivity, setbacks, parking areas, external refuse storage areas, open areas, landscaping, and transportation and utility infrastructure.

Pursuant to SRC 220.005(b)(1), Class 1 Site Plan Review is required for any development that requires a building permit, that does not involve a land use decision or limited land use

decision, as those terms are defined in ORS 197.015, and that involves a change of use or change of occupancy where only construction or improvements to the interior of the building or structure are required.

SRC 220.005(f)(1) provides that an application for Class 1 Site Plan Review shall be granted if:

(a) The application involves only a change of use or a change of occupancy, and there is no pending application for an associated land use decision or limited land use decision;

Finding: The applicant is requesting an interior only tenant improvement and establishment of use. There are no associated land use or limited land use decisions with this request.

(b) Only construction or improvements to the interior of the building or structure will be made;

Finding: The scope of work for the project only includes interior improvements to the existing building.

(c) The new use or occupancy will not require exterior improvements to the building or structure or alteration to existing parking, landscaping, or buffer yards.

Finding: Modification to the exterior of the site is not in the scope of work for the proposed establishment of use.

(d) Only clear and objective standards which do not require the exercise of discretion or legal judgment are applicable to the site plan review application; and

Finding: Only clear and objective standards apply to the proposed development. Complete findings are included in the section below.

(e) The application meets all applicable standards of the SRC.

Finding: The subject property is zoned CG (General Commercial). Development of the property is therefore subject to the use and development standards of the CG zone (SRC Chapter 523) and all other applicable standards of the UDC. The proposal conforms to SRC Chapter 523 and all other applicable development standards of the UDC as follows:

Development Standards – CG (General Commercial) Zone:

SRC 523.005(a) – Uses:

The permitted (P), special (S), conditional (C), and prohibited (N) uses in the CG zone are set forth in Table 523-1.

Finding: The proposed development includes interior improvements to create Suite 140 for 1,095 square feet of *outpatient medical services and laboratories* use, along with establishing the *outpatient medical services and laboratories* use for Suites 110, 120, and 130. The proposed use is permitted in the CG zone, meeting the standard.

Off-Street Parking and Driveways

SRC 806.015 – Amount Off-Street Parking.

- (a) *Maximum Off-Street Parking.* Except as otherwise provided in this section, and unless otherwise provided under the UDC, off-street parking shall not exceed the amounts set forth in Table 806-1. For the purposes of calculating the maximum amount of off-street parking allowed, driveways shall not be considered off-street parking spaces.

Finding: No modification to the existing off-street parking area is proposed for the development. Therefore, this standard is not applicable.

Bicycle Parking

SRC 806.045 – General Applicability.

- (a) Bicycle parking shall be provided as required under this chapter for each proposed new use or activity; any change of use or activity; or any intensification, expansion, or enlargement of a use or activity.
- (b) *Applicability to change of use of existing building in Central Business District (CB) zone.* Notwithstanding any other provision of this chapter, the bicycle parking requirements for a change of use of an existing building within the CB zone shall be met if there are a minimum of eight bicycle parking spaces located within the public right-of-way of the block face adjacent to the primary entrance of the building. If the minimum number of required bicycle parking spaces are not present within the block face, the applicant shall be required to obtain a permit to have the required number of spaces installed. For purposes of this subsection, "block face" means the area within the public street right-of-way located along one side of a block, from intersecting street to intersecting street.
- (c) *Applicability to nonconforming bicycle parking area.* When bicycle parking is required to be added to an existing bicycle parking area that has a nonconforming number of spaces, the number of spaces required under this chapter for any new use or activity, any change of use or activity, or any intensification, expansion, or enlargement of a use or activity shall be provided, in addition to the number of spaces required to remedy the existing deficiency.

SRC 806.050 – Proximity of Bicycle Parking to use or Activity Served.

Bicycle parking shall be located on the same development site as the use or activity it serves.

SRC 806.055 – Amount of Bicycle Parking.

Unless otherwise provided under the UDC, bicycle parking shall be provided in amounts not less than those set forth in Table 806-9.

Finding: As the proposed development includes establishing an *outpatient medical services and laboratories* use, the bicycle parking standards of SRC 806.045 apply. Per Table 806-9 in SRC 806.055, an *outpatient medical services and laboratories* use requires one bicycle parking space per 3,500 square feet or four bicycle parking spaces, whichever is greater. As 10,041 square feet of *outpatient medical services and laboratories* use is proposed, four bicycle parking spaces are required. Two bicycle racks for a total of four bicycle parking spaces are shown on the development site on the site plan, meeting the standard.

SRC 806.060 – Bicycle Parking Development Standards

Unless otherwise provided under the UDC, bicycle parking areas shall be developed and maintained as set forth in this section.

(a) Location.

- (1) Short-term bicycle parking.* Short-term bicycle parking shall be located outside a building within a convenient distance of, and clearly visible from, the primary building entrance. In no event shall bicycle parking be located more than 50 feet from the primary building entrance, as measured along a direct pedestrian access route.

Finding: The site plan indicates the proposed bicycle parking is within 50 feet of a primary entrance; therefore, this standard is met.

- (b) Access.* Bicycle parking areas shall have direct and accessible access to the public right-of-way and the primary building entrance that is free of obstructions and any barriers, such as curbs or stairs, which would require users to lift their bikes in order to access the bicycle parking area.

Finding: As shown on the site plan, each bicycle parking area has direct access to a primary building entrance free of obstruction or barriers, in conformance with the requirements of SRC 806.060(b).

(c) Dimensions. All bicycle parking areas shall meet the following dimension requirements:

- (1) Bicycle parking spaces.* Bicycle parking spaces shall conform to the minimum dimensions set forth in Table 806-10.
- (2) Access aisles.* Bicycle parking spaces shall be served by a minimum four-foot-wide access aisle. Access aisles serving bicycle parking spaces may be located within the public right-of-way.

Finding: Bicycle parking spaces shall be a minimum of six feet in length and one and half feet in width when the proposed bicycle racks are side-by-side. The proposed bicycle parking spaces are located on a concrete slab, with adequate dimensions to provide pedestrian passage for all four proposed spaces; the length of each proposed stall is at least six feet, while the width is at least two feet wide. Each of the bicycle parking clusters is arranged in a manner that will be able to adequately provide access to each main entrance, while also providing a minimum five-foot-wide access aisle; therefore, the standard is met.

- (d) Surfacing.* Where bicycle parking is located outside a building, the bicycle parking area shall consist of a hard surface material.

Finding: The proposed bicycle parking spaces are placed on a hard surface material; therefore, the standard is met.

- (e) Bicycle Racks.* Where bicycle parking is provided in racks, the racks may be floor, wall, or ceiling racks. Bicycle racks shall meet the following standards.

- (1) Racks must support the bicycle frame in a stable position, in two or more places without damage to wheels, frame, or components.*
- (2) Racks must allow the bicycle frame and at least one wheel to be locked to the rack with a high security, U-shaped shackle lock;*

- (3) Racks shall be of a material that resists cutting, rusting, and bending or deformation; and
- (4) Racks shall be securely anchored.
- (5) Examples of types of bicycle racks that do, and do not, meet these standards are shown in Figure 806-11.

Finding: The site plan indicates inverted style bike racks will be provided. The proposed bike racks conform to material requirements of SRC 806.060(e).

Off-Street Loading Areas

SRC 806.065 – General Applicability.

- (a) Off-street loading areas shall be provided and maintained for each proposed new use or activity; any change of use or activity, when such change of use or activity results in a greater number of required off-street loading spaces than the previous use or activity; or any intensification, expansion, or enlargement of a use or activity.
- (b) *Applicability to nonconforming off-street loading area.* When off-street loading is required to be added to an existing off-street loading area that has a nonconforming number of spaces, the number of spaces required under this chapter for any new use or activity, any change of use or activity, or any intensification, expansion, or enlargement of a use or activity shall be provided, in addition to the number of spaces required to remedy the existing deficiency.

SRC 806.070 – Proximity of Off-Street Loading Areas to use or Activity Served.

Off-street loading shall be located on the same development site as the use or activity it serves.

SRC 806.075 – Amount of Off-Street Loading.

Unless otherwise provided under the UDC, off-street loading shall be provided in amounts not less than those set forth in Table 806-11.

Finding: No additional off-street loading spaces are required for the proposed change of use.

3. Conclusion

Based on the conformance with the preceding requirements the Planning Administrator certifies that the proposed Class 1 Site Plan Review is in conformance with the UDC and the approval criteria provided in SRC 220.005(f)(1), provided compliance occurs with any applicable items noted above.

Please Note: Findings included in this decision by the direction of the Salem Fire Department are based on non-discretionary standards. Fire Code related findings are intended to inform the applicant of the clear and objective Fire Prevention Code standards of SRC Chapter 58 that will apply to this development proposal on application for building permit(s). Additional or different Fire Prevention Code standards may apply based on the actual building permit application submitted.

If a building permit application has not already been submitted for this project, please submit a copy of this decision with your building permit application for the work proposed.

IT IS HEREBY ORDERED

The proposed Class 1 Site Plan Review is consistent with the provisions of SRC Chapter 220 and is hereby **APPROVED** subject to the applicable standards of the Salem Revised Code and the findings contained herein.

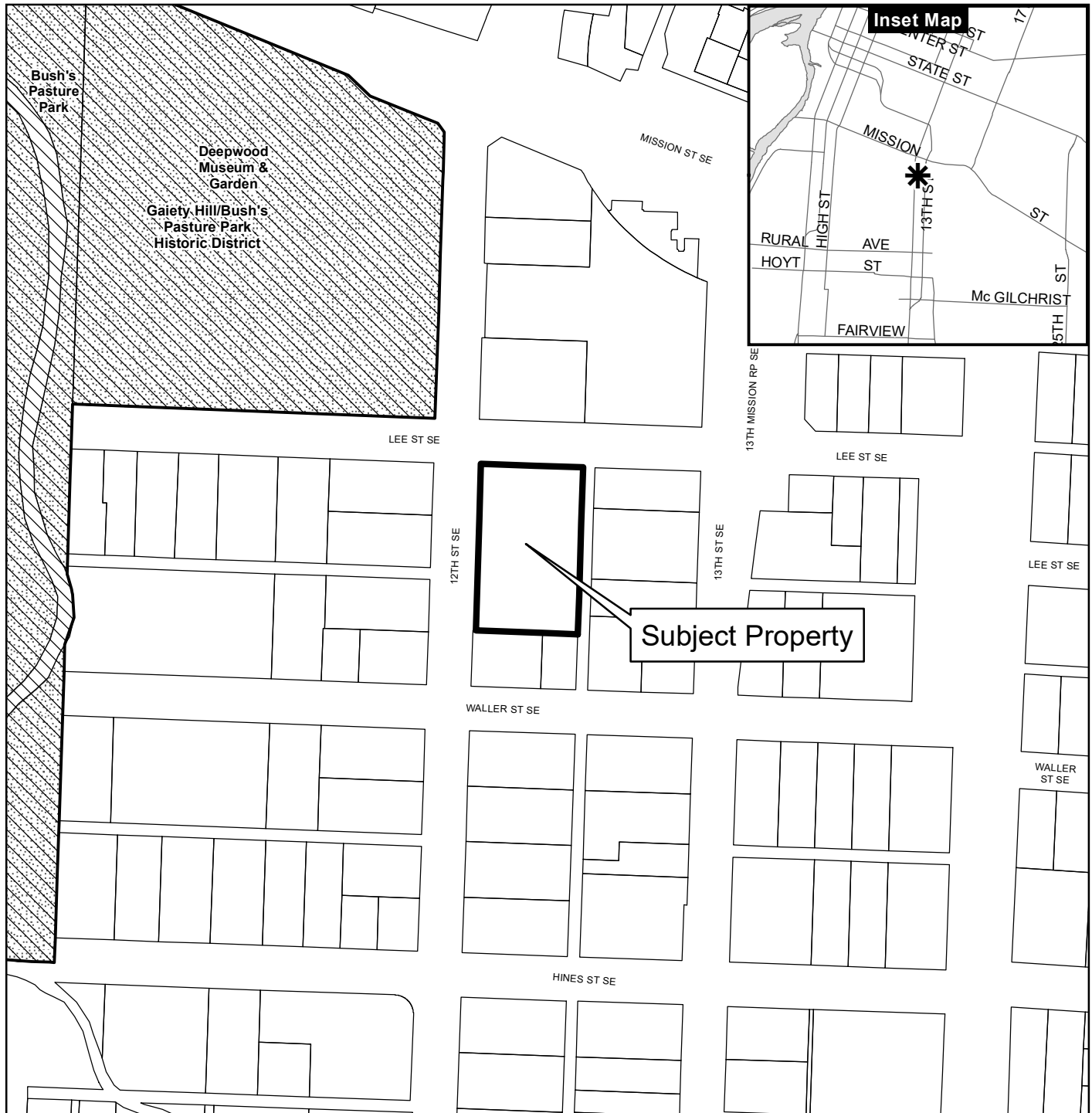


Quincy Miller, Planner I, on behalf of
Lisa Anderson-Ogilvie, AICP
Planning Administrator

Attachments: A. Vicinity Map
 B. Proposed Site Plan

Vicinity Map

966 12th Street SE



Legend

- Taxlots
- Urban Growth Boundary
- City Limits
- Outside Salem City Limits
- Historic District
- Schools

Parks

CITY OF Salem
AT YOUR SERVICE
Community Planning and Development

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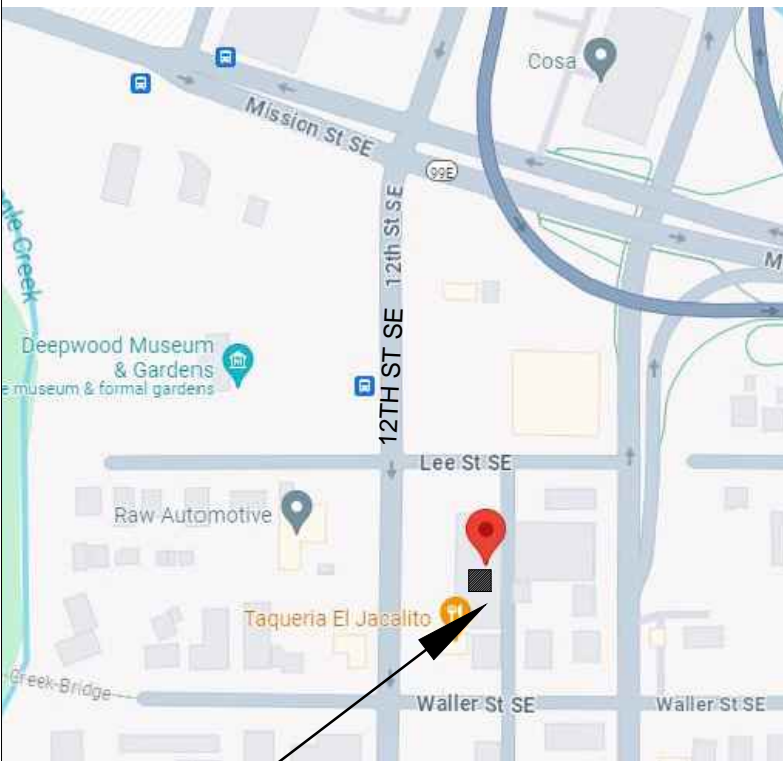


0 100 200 400 Feet



PARKSIDE BUILDING
CLEAR CHOICE DERMATOLOGY

INTERIOR RENOVATIONS - SUITE 140

966 12th STREET SE, SUITE 140
SALEM, OREGON 97302

CODE REVIEW	DESIGN TEAM	VICINITY MAP	AERIAL SITE VIEW	STREET VIEW	SHEET INDEX
<div>SHELL CODE REVIEW (2004 OSSC) FOR REFERENCE (PERMIT #07-101662)</div> <div><div>1. TYPE OF CONSTRUCTION: VB</div><div>2. OCCUPANCY TYPES: B</div><div>3. ALLOWABLE AREA:<div>FRONTAGE INCREASE:<div>If = 100 (253/468 - .25) 30/30 = 100 x .29 x 1 = 29%</div>ALLOWABLE AREA:<div>Aa = 9000 + (9000x29/100) = 9000 + 2610 = 11,610 SF ALLOWABLE</div>PROPOSED AREA: 10,041 SF</div>FIRE-RESISTANCE RATINGS FOR BUILDING REQUIREMENTS (TABLE 601): NO RATING REQUIRED UNLESS BY FIRE SEPARATION DISTANCE.</div></div>	<div>OWNER: OCD SALEM RE HOLDINGS, LLC1609 S. MAIN AVEWARRENTON, OR 97146PH: 503.837.6395drblattner@clearchoicedderm.com</div> <div>TENANT CONTACT: DR. BLATTNERCLEAR CHOICE DERMATOLOGYSALEM, ORPH: 503.837.6395drblattner@clearchoicedderm.com</div> <div>ARCHITECT: AC+Co ARCHITECTS1100 LIBERTY STREET SE, SUITE 200SALEM, OREGON 97302PH: 503.581.4114FAX: 503.581.3855ATTN: BLAKE BURAL, AIAbbural@accocac.com</div> <div>GENERAL CONTRACTOR: TO BE DETERMINED</div>				<div>A0.1 TITLE SHEET - PROJECT INFORMATION CODE REVIEW</div> <div>A1.0 EXISTING SITE PLAN</div> <div>A2.1 FLOOR PLAN-NEW DETAILS</div>

CODE REVIEW

GENERAL INFORMATION

USES: SUITE 140: MEDICAL CLINIC

PROJECT NUMBER: 2024.0090.2

CODES: 2022 OREGON STRUCTURAL SPECIALTY CODE, AMENDMENTS BASED ON 2021 IBC

PROJECT DESCRIPTION:
TENANT IMPROVEMENT TO DEMISE SUITE 140 TO INCLUDE A NEW STORAGE CLOSET AND TWO NEW DEMISING WALL SEGMENTS.

SUITE 130: CLEAR CHOICE DERMATOLOGY
2022 OSSC

1. CONSTRUCTION TYPE: VB
2. OCCUPANCY TYPE: B
3. OCCUPANT LOAD: 1,095/100 = 11 OCCUPANTS
4. EXITS

a. EXIT WIDTH: 11 x 0.2 = 2.2" = 2.2" REQUIRED
72" PROVIDED

b. EXITS REQUIRED: ONE
EXITS PROVIDED: ONE

c. DEAD ENDS: NO DEAD ENDS IN CORRIDORS MORE THAN 20'-0" IN LENGTH.

SANITARY FIXTURE REQUIREMENTS (CHAPTER 29):

REQUIRED :	B OCC.	1,095/200 = 6 OCCUPANTS	WC	LAV
	MEN	1	1	
	WOMEN	1	1	
	UNISEX	0	0	
	TOTAL	2	2	

PROVIDED :	WC	LAV
	MEN	0
	WOMEN	0
	UNISEX	1
	TOTAL	1

PER EXCEPTION 2902.2, EXCEPTION 4: SEPARATE FACILITIES SHALL NOT BE REQUIRED IN BUSINESS OCCUPANCIES IN WHICH THE MAXIMUM OCCUPAND LOAD INCLUDING BOTH EMPLOYEES AND CUSTOMERS IS 50 OR FEWER. ONE SINGLE-USER TOILET ROOM SHALL BE PERMITTED.

PARKING REQUIREMENTS (ALL SPACE MEDICAL OFFICE):

TOTAL PARKING REQUIRED: 10,041 SF / 250 = 41 SPACES MAXIMUM

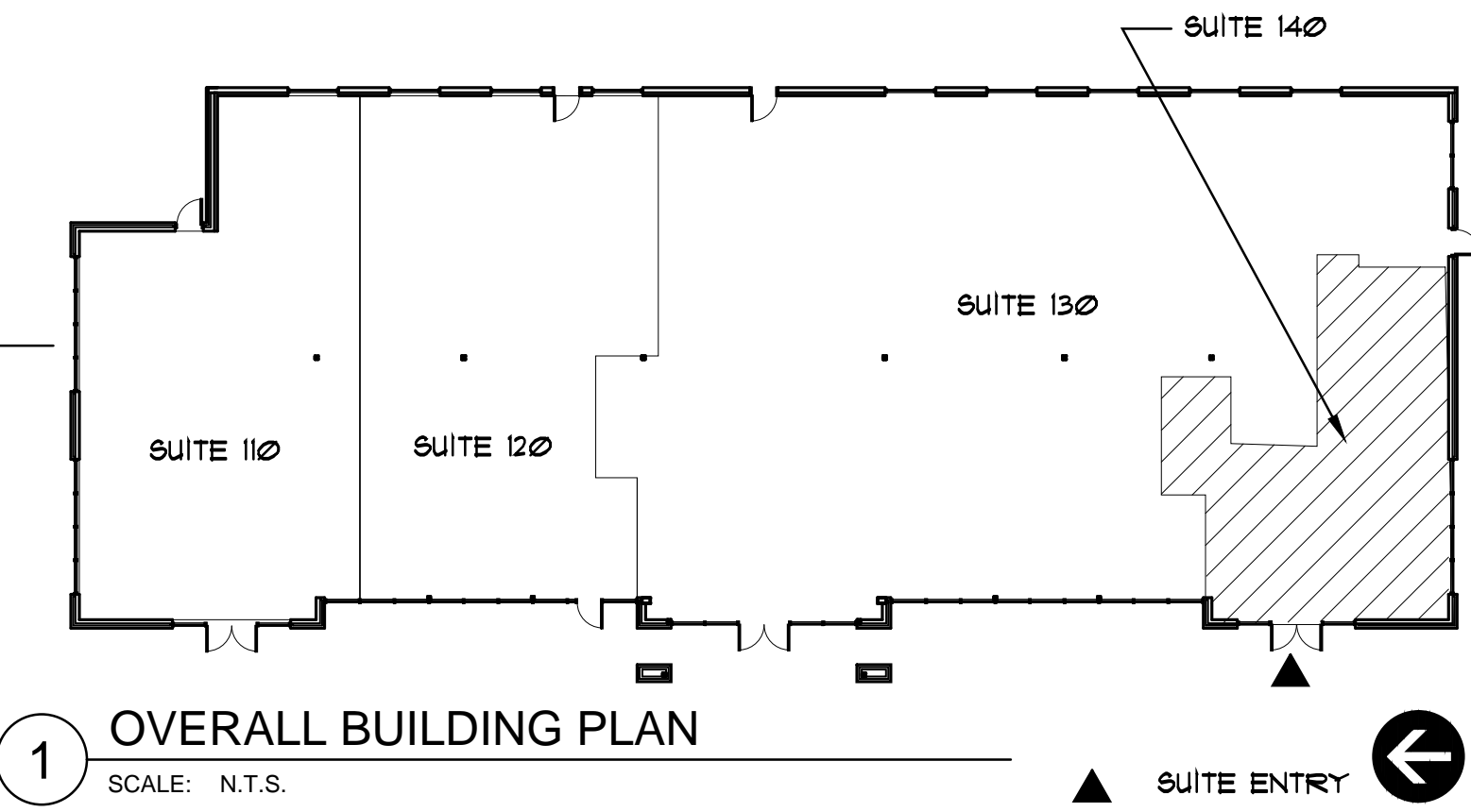
PARKING PROVIDED: 45 SPACES (INCLUDING (2) HANDICAP SPACES)
(1) LOADING ZONE PROVIDED

BIKE PARKING REQUIRED: 10,041 S.F./3500= 3 SPACES
4 IS MINIMUM REQUIRED
4 PROVIDED

ARCHITECTURAL BARRIER LIST / PLAN

COST OF IMPROVEMENT: \$50,000
ACCESSIBLE UPGRADES REQUIRED: \$ 12,500
ACCESSIBLE UPGRADES PROVIDED: \$ 12,500 (COMPLIES)

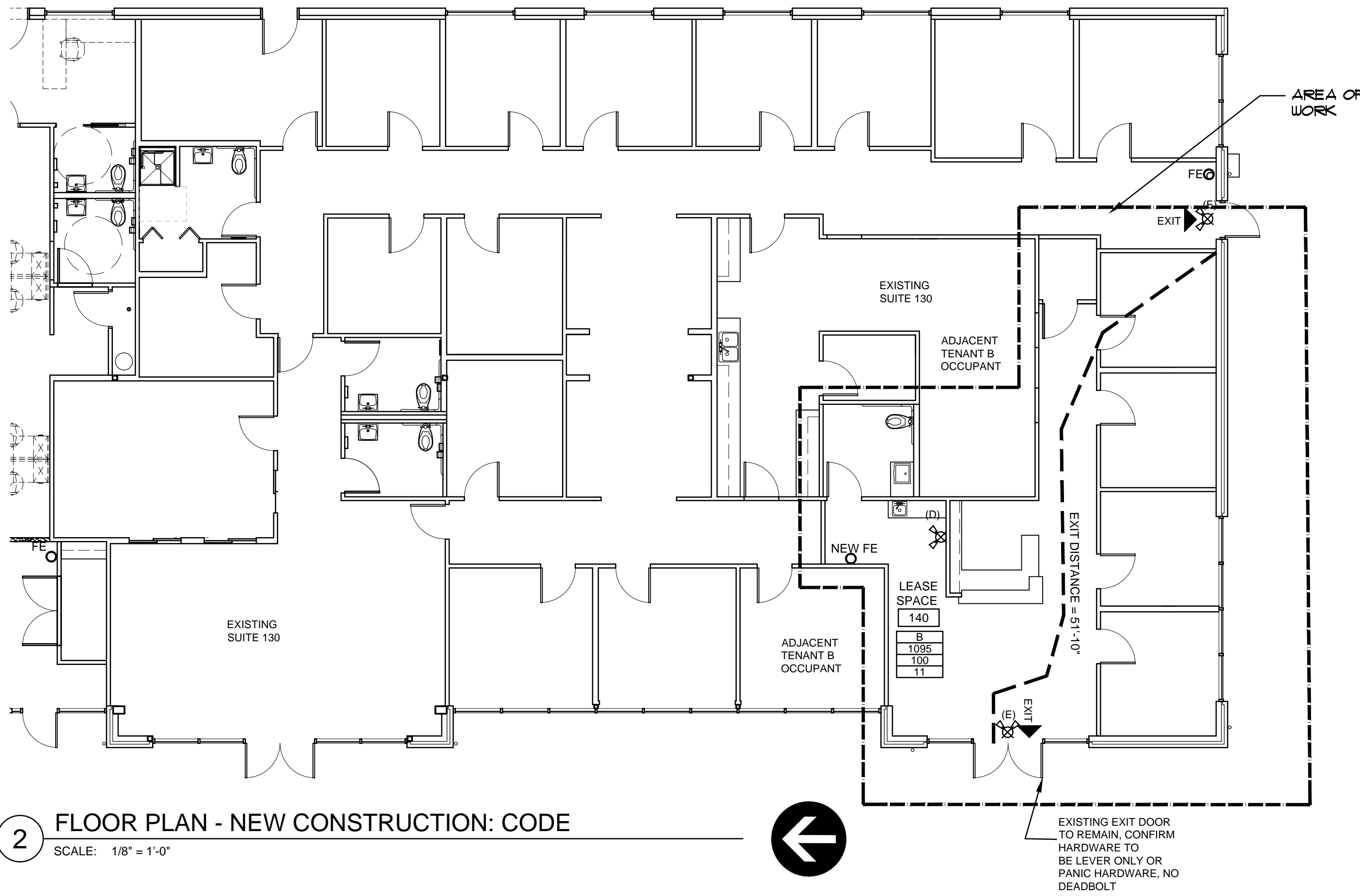
1. PARKING SPACE - EXISTING TO REMAIN AND COMPLANT; NO WORK PROPOSED.
2. ACCESSIBLE ENTRANCE - EXISTING TO REMAIN AND COMPLANT; NO WORK PROPOSED
3. ACCESSIBLE ROUTE TO ALTERED AREA: NO WORK PROPOSED
4. ACCESSIBLE DOORS WITHIN SUITE: (1) NEW DOOR/HARDWARE = \$ 2,500
5. ACCESSIBLE RESTROOMS: EXISTING-NO WORK PROPOSED
6. ACCESSIBLE TELEPHONE (NA)
7. ACCESSIBLE DRINKING FOUNTAIN - NO WORK PROPOSED:
8. ADDITIONAL ACCESSIBLE ELEMENTS- NEW ADA CASEWORK COUNTERS/SINKS= \$10,000



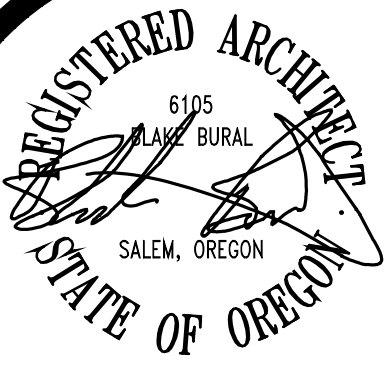
1 OVERALL BUILDING PLAN
SCALE: N.T.S.

LEGEND:

XX	OCCUPANCY GROUP	ABBREVIATIONS USED WITH SYMBOLS:	(E) = EXISTING TO REMAIN
XX	AREA		(N) = NEW
XX	FLOOR AREA/OCCUPANT		(D) = DEMOLISH
XX	OCCUPANT LOAD		(R) = RELOCATE, OR RELOCATED FROM EXIST. LOCATION
		FE	EXISTING AND/OR NEW FIRE EXTINGUISHER SIZE 2A:10BC
		EXIT	EXISTING AND/OR NEW EXIT SIGN WITH BATTERY-POWERED EMERGENCY LIGHTING
		EXIT	EXIT DOOR, EXIT DIRECTION



2 FLOOR PLAN - NEW CONSTRUCTION: CODE
SCALE: 1/8" = 1'-0"



In the event conflicts are discovered between the original signed and sealed documents prepared by the Architects and/or their Consultants, and any copy of the documents transmitted by mail, fax, electronically or otherwise, the original signed and sealed documents shall govern.

JOB NO.: 2024.0090.3

DATE: FEB 12, 2025

DRAWN: LMM

REVISIONS:



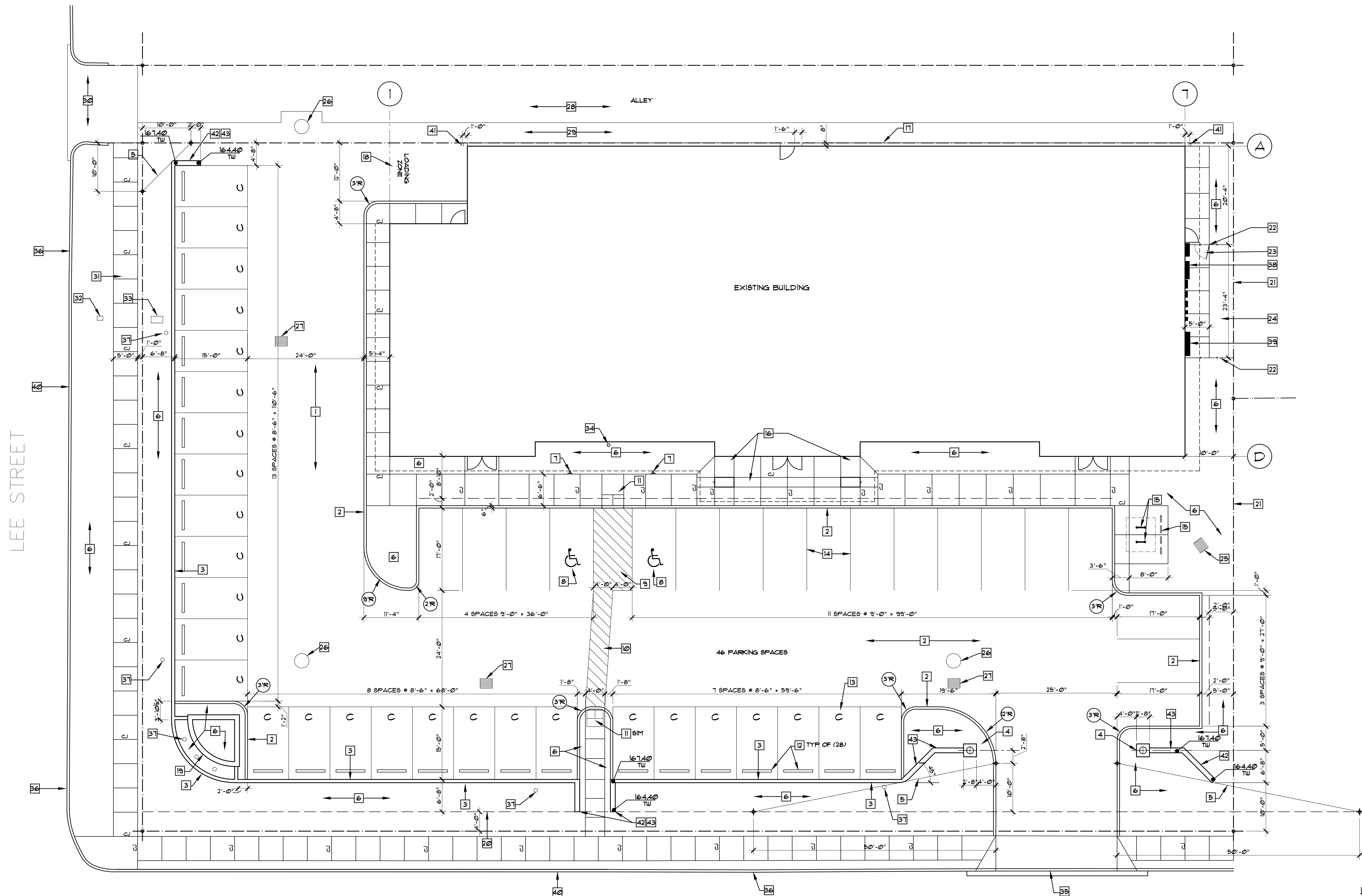
ARCHITECTURE
COMMUNITY
1100 SE LIBERTY ST SE
SUITE 200
SALEM, OR 97302
P: 503.581.4114
www.accocac.com

PARKSIDE
CLEAR CHOICE DERMATOLOGY
966 12TH ST SE SUITE 140
SALEM, OREGON 97302

TITLE SHEET,
PROJECT INFORMATION,
CODE REVIEW

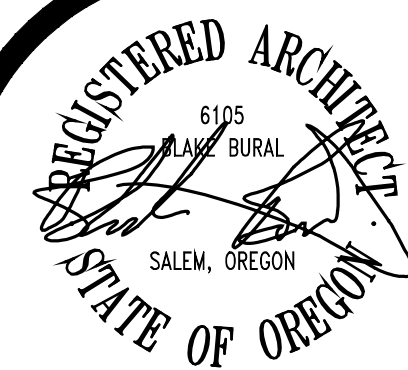
SHEET

A0.1



- SITE PLAN NOTES**
- EXISTING ASPHALT PAVEMENT
 - EXISTING CONCRETE CURB
 - EXISTING CMU RETAINING WALL
 - EXISTING MASONRY PIER
 - EXISTING VISION CLEARANCE LINE
 - EXISTING LANDSCAPING
 - EXISTING HANDICAP PARKING SIGN
 - EXISTING HANDICAP PARKING SYMBOL
 - EXISTING PAINTED CROSS HATCH @ SIDE AISLE
 - EXISTING PAINTED CROSS HATCH @ PEDESTRIAN CROSSING (HATCHED @ 2'-0" O.C.)
 - EXISTING CURB ACCESS
 - EXISTING CONCRETE WHEEL STOP
 - EXISTING STALLS
 - EXISTING 4" WIDE PAINTED PARKING STRIPE
 - REMOVE EXISTING BICYCLE RACK, INSTALL (2) ADDITIONAL BIKE RACKS PER PLAN CAPACITY (4) BICYCLES. REFER TO DETAILS 2/A2, 3/A2, AND 4/A2.
 - EXISTING BRICK PAVERS
 - EXISTING 8" WIDE CONCRETE CURB
 - EXISTING PAINTED "LOADING ZONE"
 - EXISTING HIGH CMU/BRICK WALL
 - EXISTING LINE OF FUTURE RIGHT-OF-WAY
 - EXISTING FENCE
 - EXISTING 6' CHAIN LINK FENCE W/ PRIVACY SLATS
 - EXISTING CHAIN LINK GATE
 - EXISTING 6" GRAVEL
 - EXISTING AREA DRAIN
 - EXISTING MANHOLE
 - EXISTING CATCH BASIN
 - EXIST. ALLEY PAVEMENT TO REMAIN
 - EXISTING ALLEY PAVEMENT
 - EXISTING CONCRETE ALLEY APPROACH
 - EXISTING CONCRETE SIDEWALK
 - EXISTING WATER METER
 - EXISTING RP DEVICE
 - EXISTING SAN. S. C. O.
 - EXISTING DROPPED CURB @ APPROACH
 - EXISTING CURB.
 - EXISTING LIGHT POLE
 - EXISTING ELECTRICAL SWITCH GEAR, ETC.
 - EXISTING GAS METERS
 - EXISTING CURB TO REMAIN
 - EXISTING STEEL BOLLARD
 - EXISTING SLOPED BRICK WALL
 - EXISTING DBL WYTHE BRICK WALL

LEGEND
T.W. - TOP OF WALL (NOT INCLUDING BRICK CAP)



In the event conflicts are discovered between the original signed and sealed documents prepared by the Architect and/or their Consultants, and any copy of the documents transmitted by mail, fax, electronically or otherwise, the original signed and sealed documents shall govern.

JOB NO.: 2024.0090.3

DATE: FEB 12, 2025

DRAWN:

REVISIONS:

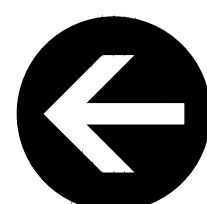


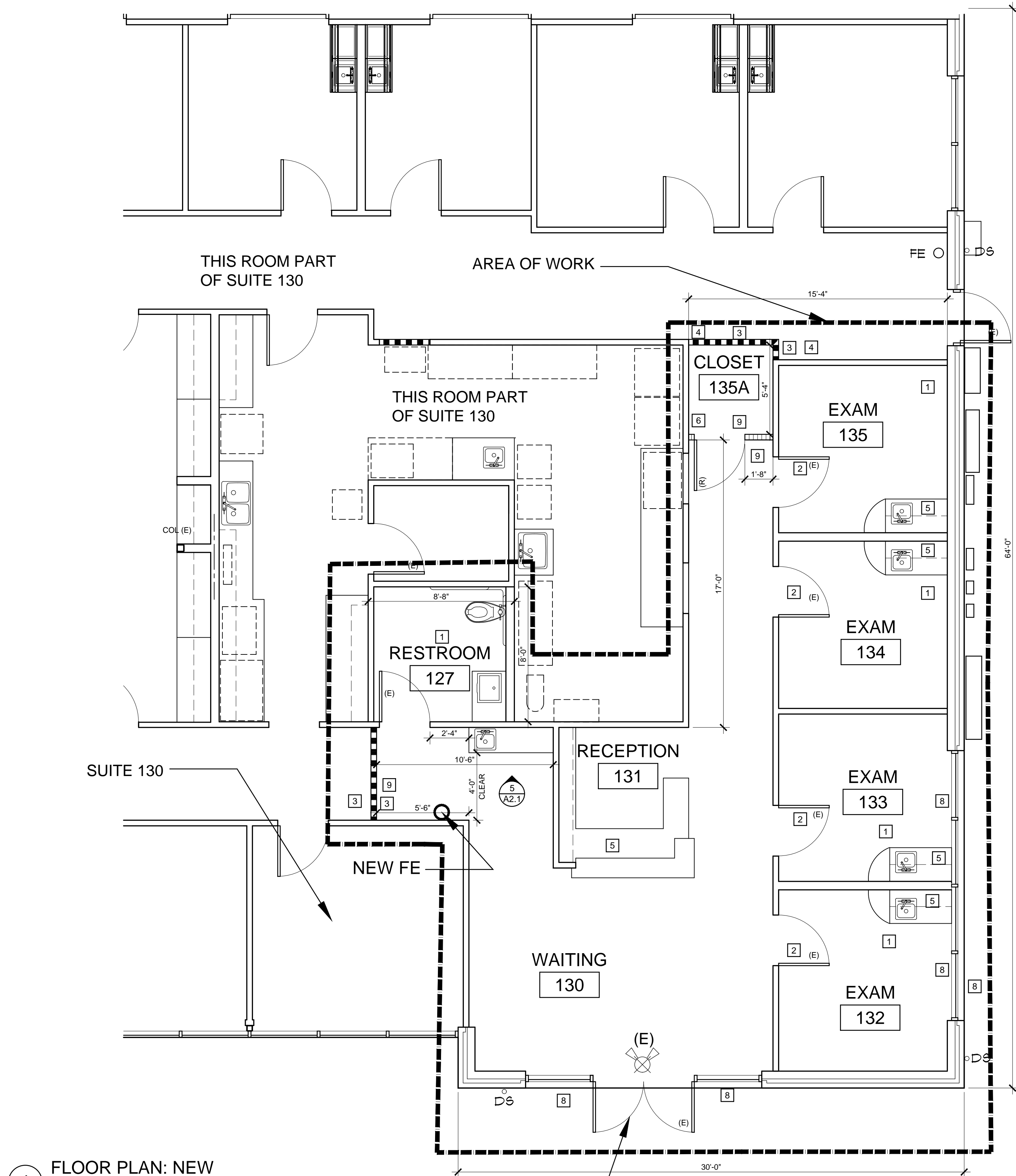
PARKSIDE
CLEAR CHOICE DERMATOLOGY
966 12TH ST SE SUITE 140
SALEM, OREGON 97302

SHEET

A1.0

1 SITE PLAN- EXISTING
SCALE: 1" = 10'-0"

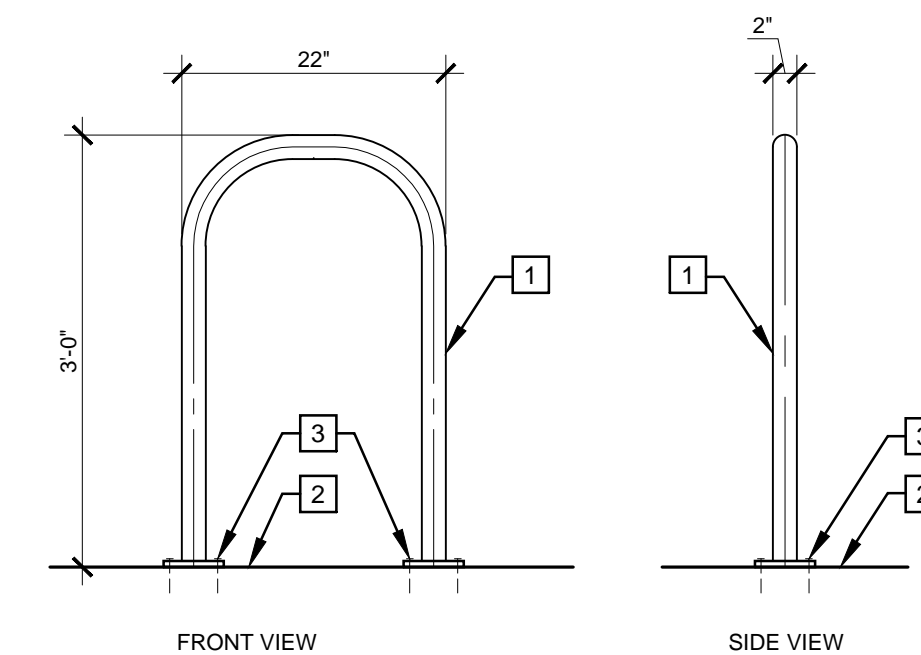




1 FLOOR PLAN: NEW
SCALE: 1/4" = 1'-0"

EXISTING EXIT DOOR
TO REMAIN, CONFIRM
HARDWARE TO
BE LEVER ONLY OR
PANIC HARDWARE, NO
DEADBOLT

NOTE: MANUFACTURED STEEL BIKE RACK IN PLACE OF RACK SHOWN
BELOW IS ACCEPTABLE UPON APPROVAL FROM ARCHITECT; RACK
ALTERNATIVE MUST FOLLOW SIMILAR SHAPE FOR APPROVAL



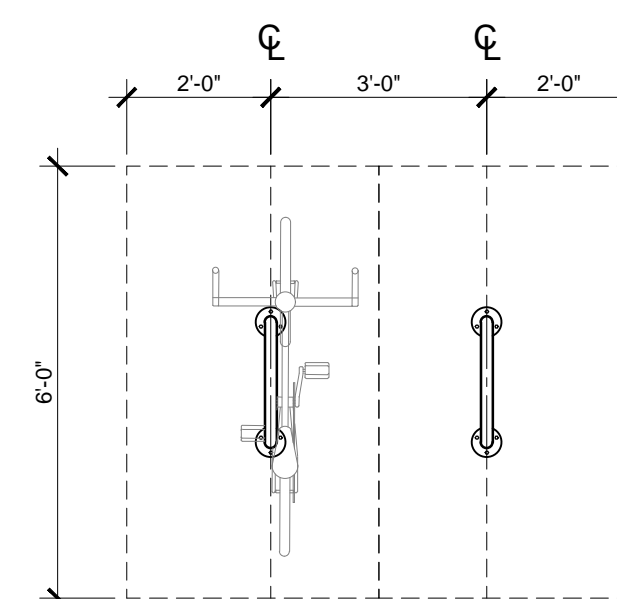
NOTES:

- 2" DIA. SCHEDULE 40 PIPE WITH EMBEDDED ANCHOR MOUNT, POWDER COAT FINISH
- EXISTING ASPHALT OR CONCRETE TO REMAIN, UNLESS NOTES OTHERWISE
- NEW LAG BOLTS AND PLATE, ANCHOR PER MANUFACTURER

BIKE RACK ANCHORAGE DETAIL

SCALE: 3/4" = 1'-0"

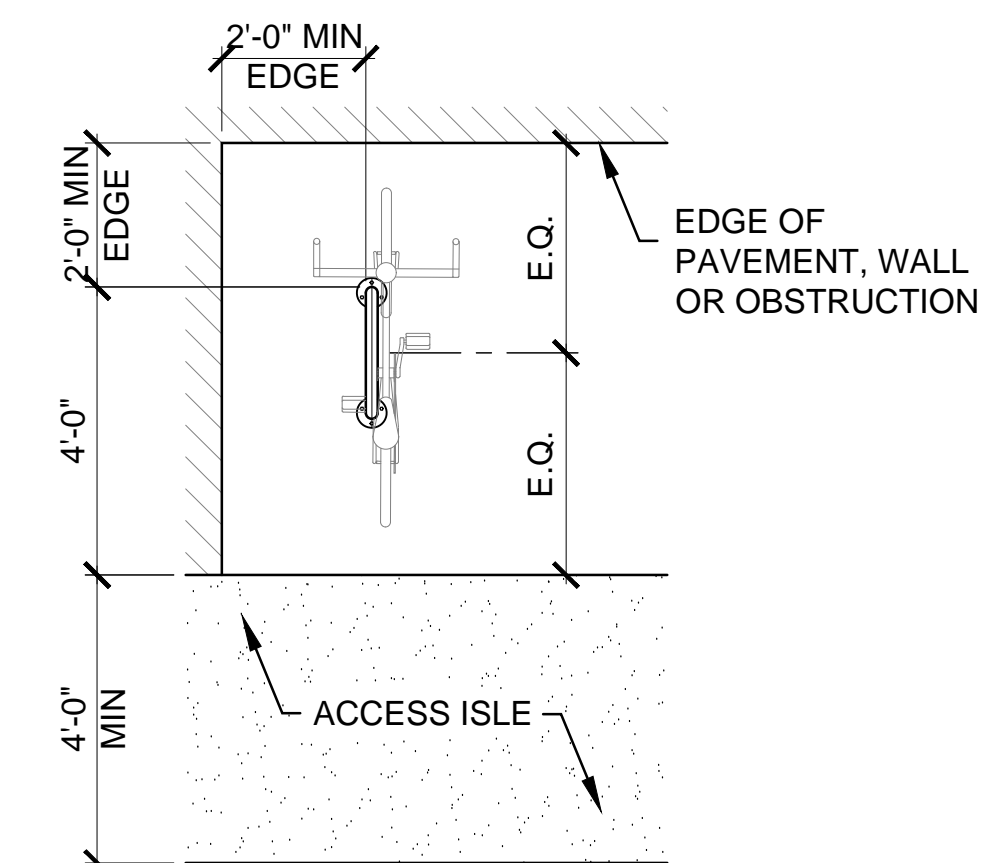
NOTE: ONLY ONE BIKE SHOWN FOR CLARITY



DOUBLE RACK
FOR 4 SPACES

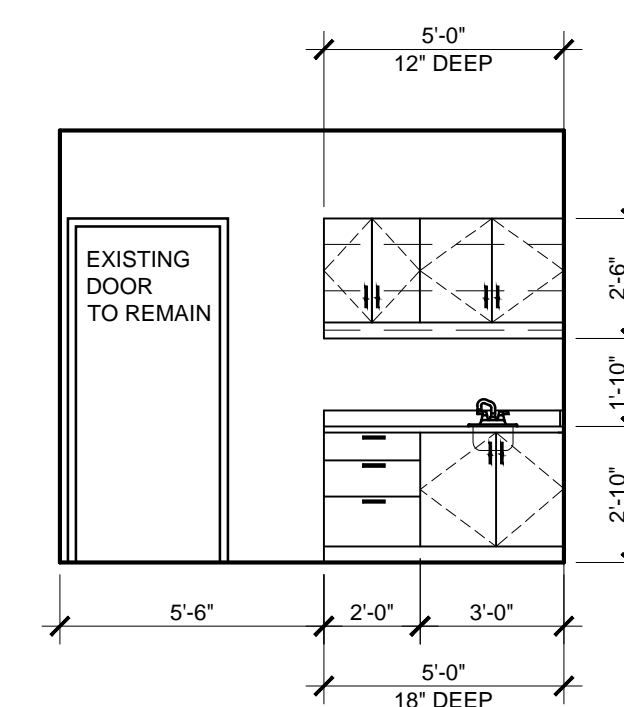
BIKE RACK PLAN DETAIL

SCALE: 3/8" = 1'-0"



BIKE RACK PLAN DETAIL - OBSTRUCTION

SCALE: 3/8" = 1'-0"



NEW COFFEE BAR

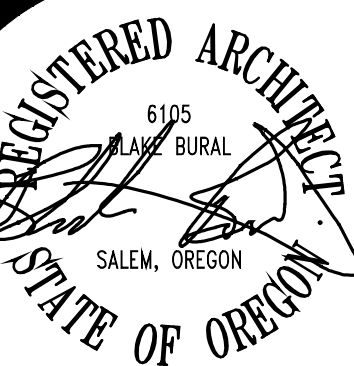
SCALE: 1/4" = 1'-0"

WALL LEGEND

- 3/4" MTL STUDS @ 16" O.C. W/ 5/8" GYPSUM BOARD EACH SIDE (ACOUSTICAL INSULATION IN SHADED AREAS). WALL TO BOTTOM OF STRUCTURE WHERE NOTED
- EXISTING WALL
- EXISTING COLUMN TO REMAIN
- EXISTING TO REMAIN DOOR
- RELOCATED AND RE-INSTALLED DOOR FROM OWNERS BACK STOCK FROM SUITE 130, RE-USE EXISTING ADA HARDWARE

PLAN NOTES

- NO WORK THIS ROOM
- EXISTING DOOR TO REMAIN
- NEW DEMISING WALL
- ALIGN INFILL WALLS WITH ADJACENT SURFACES. PATCH, PREP AND REPAINT ENTIRE WALL SURFACE. PROVIDE NEW WALL BASE ON HALL SIDE ENTIRE LENGTH OF WALL, CORNER TO CORNER
- EXISTING CASEWORK TO REMAIN, PROTECT AT ALL TIMES DURING CONSTRUCTION
- TEXTURE, PREP AND PAINT ALL WALLS AT NEW CLOSET, NEW BASE ON ALL WALLS
- DIMENSIONS SHOW ARE APPROXIMATE. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE.
- EXISTING WINDOW TO REMAIN
- MODIFY AND INFILL 2X2 SUSPENDED CEILING TILE AND LIGHT FIXTURES AS REQUIRED AT AREAS OF NEW WALL CONSTRUCTION



In the event conflicts are discovered between the original signed and sealed documents prepared by the Architect and/or their Consultants, and any copy of the documents transmitted by mail, fax, electronically or otherwise, the original signed and sealed documents shall govern.

JOB NO.: 2024.0090.3

DATE: FEB 12, 2025

DRAWN: LM

REVISIONS:



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