

# PARKSIDE BUILDING

## CLEAR CHOICE DERMATOLOGY

### INTERIOR RENOVATIONS - SUITE 140

966 12th STREET SE, SUITE 140  
SALEM, OREGON 97302

| CODE REVIEW                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        | DESIGN TEAM                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         | VICINITY MAP | AERIAL SITE VIEW | STREET VIEW | SHEET INDEX                                                                                                                 |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------|------------------|-------------|-----------------------------------------------------------------------------------------------------------------------------|
| <p><b>SHELL CODE REVIEW (2004 OSSC) FOR REFERENCE (PERMIT #07-101662)</b></p> <p>1. TYPE OF CONSTRUCTION: VB</p> <p>2. OCCUPANCY TYPES: B</p> <p>3. ALLOWABLE AREA:</p> <p>a. FRONTAGE INCREASE:</p> <p>If = 100 (253/468 - .25) 30/30 = 100 x .29 x 1 = 29%</p> <p>b. ALLOWABLE AREA:</p> <p>Aa = 9000 + (9000x29/100) = 9000 + 2610 = 11,610 SF ALLOWABLE</p> <p>c. PROPOSED AREA: 10,041 SF</p> <p>4. FIRE-RESISTANCE RATINGS FOR BUILDING REQUIREMENTS (TABLE 601): NO RATING REQUIRED UNLESS BY FIRE SEPARATION DISTANCE.</p> | <p>OWNER: CCD SALEM RE HOLDINGS, LLC<br/>1609 S. MAIN AVE<br/>WARRENTON, OR 97146<br/>PH: 503.837.6395<br/>drblattner@clearchoicedderm.com</p> <p>TENANT CONTACT: DR. BLATTNER<br/>CLEAR CHOICE DERMATOLOGY<br/>SALEM, OR<br/>PH: 503.581.4114<br/>FAX: 503.581.3055<br/>ATTN: BLAKE BURAL, AIA<br/>dbbural@accoac.com</p> <p>ARCHITECT: AC+Co ARCHITECTS<br/>1100 LIBERTY STREET SE, SUITE 200<br/>SALEM, OREGON 97302<br/>PH: 503.581.4114<br/>FAX: 503.581.3055<br/>ATTN: BLAKE BURAL, AIA<br/>bbural@accoac.com</p> <p>GENERAL CONTRACTOR: TO BE DETERMINED</p> |              |                  |             | <p>A0.1 TITLE SHEET - PROJECT INFORMATION CODE REVIEW</p> <p>A1.0 EXISTING SITE PLAN</p> <p>A2.1 FLOOR PLAN-NEW DETAILS</p> |

#### CODE REVIEW

##### GENERAL INFORMATION

USES: SUITE 140: MEDICAL CLINIC

PROJECT NUMBER: 2024.0090.2

CODES: 2022 OREGON STRUCTURAL SPECIALTY CODE, AMENDMENTS BASED ON 2021 IBC

PROJECT DESCRIPTION:  
TENANT IMPROVEMENT TO DEMISE SUITE 140 TO INCLUDE A NEW STORAGE CLOSET AND TWO NEW DEMISING WALL SEGMENTS.

SUITE 130: CLEAR CHOICE DERMATOLOGY  
2022 OSSC

1. CONSTRUCTION TYPE: VB

2. OCCUPANCY TYPE: B

3. OCCUPANT LOAD: 1,095/100 = 11 OCCUPANTS

4. EXITS  
a. EXIT WIDTH: 11 x 0.2 = 2.2" = 2.2" REQUIRED  
72" PROVIDED

b. EXITS REQUIRED: ONE  
EXITS PROVIDED: ONE

c. DEAD ENDS: NO DEAD ENDS IN CORRIDORS MORE THAN 20'-0" IN LENGTH.

5. SANITARY FIXTURE REQUIREMENTS (CHAPTER 29):

|            |        |                         |    |     |
|------------|--------|-------------------------|----|-----|
| REQUIRED : | B OCC. | 1,095/200 = 6 OCCUPANTS | WC | LAV |
|            | MEN    | 1                       | 1  | 1   |
|            | WOMEN  | 1                       | 1  | 1   |
|            | UNISEX | 0                       | 0  | 0   |
|            | TOTAL  | 2                       | 2  | 2   |

|            |        |     |   |
|------------|--------|-----|---|
| PROVIDED : | WC     | LAV |   |
|            | MEN    | 0   | 0 |
|            | WOMEN  | 0   | 0 |
|            | UNISEX | 1   | 1 |
|            | TOTAL  | 1   | 1 |

PER EXCEPTION 2902.2, EXCEPTION 4: SEPARATE FACILITIES SHALL NOT BE REQUIRED IN BUSINESS OCCUPANCIES IN WHICH THE MAXIMUM OCCUPAND LOAD INCLUDING BOTH EMPLOYEES AND CUSTOMERS IS 50 OR FEWER. ONE SINGLE-USER TOILET ROOM SHALL BE PERMITTED.

PARKING REQUIREMENTS (ALL SPACE MEDICAL OFFICE):

TOTAL PARKING REQUIRED: 10,041 SF / 250 = 41 SPACES MAXIMUM

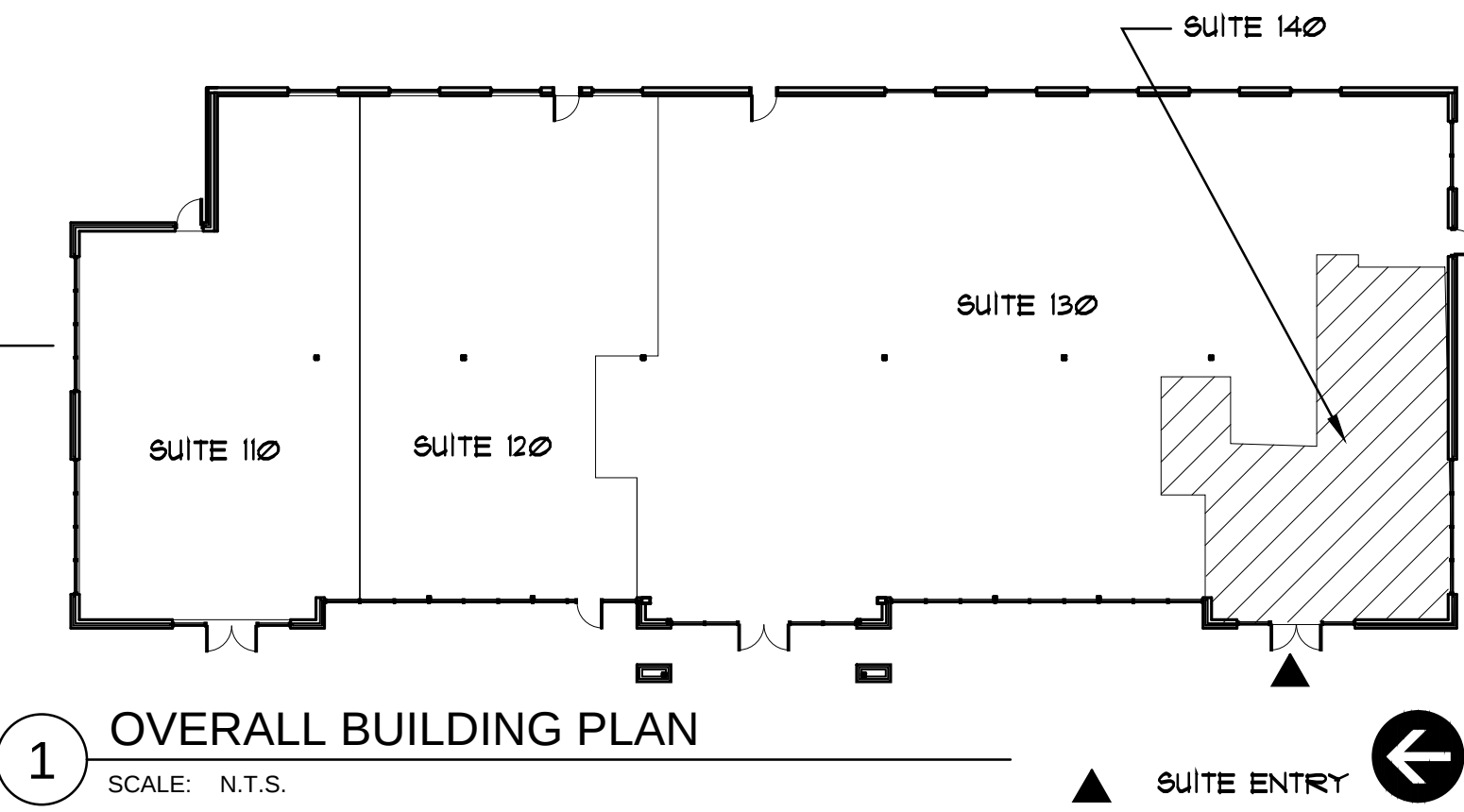
PARKING PROVIDED: 45 SPACES (INCLUDING (2) HANDICAP SPACES)  
(1) LOADING ZONE PROVIDED

BIKE PARKING REQUIRED: 10,041 S.F./3500= 3 SPACES  
4 IS MINIMUM REQUIRED  
4 PROVIDED

##### ARCHITECTURAL BARRIER LIST / PLAN

|                               |                      |
|-------------------------------|----------------------|
| COST OF IMPROVEMENT:          | \$50,000             |
| ACCESSIBLE UPGRADES REQUIRED: | \$ 12,500            |
| ACCESSIBLE UPGRADES PROVIDED: | \$ 12,500 (COMPLIES) |

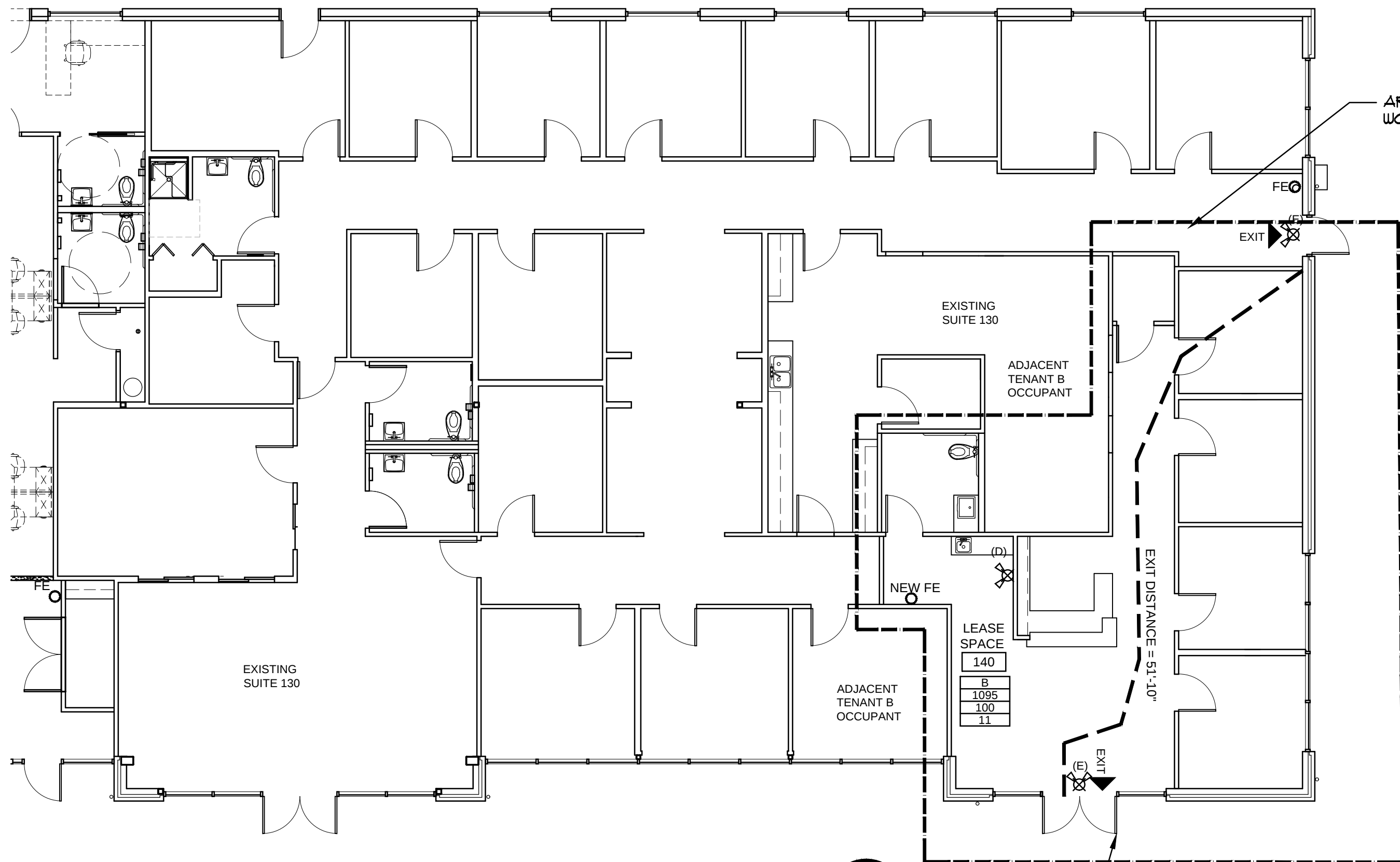
- PARKING SPACE - EXISTING TO REMAIN AND COMPLANT; NO WORK PROPOSED.
- ACCESSIBLE ENTRANCE - EXISTING TO REMAIN AND COMPLANT; NO WORK PROPOSED
- ACCESSIBLE ROUTE TO ALTERED AREA: NO WORK PROPOSED
- ACCESSIBLE DOORS WITHIN SUITE: (1) NEW DOOR/HARDWARE = \$ 2,500
- ACCESSIBLE RESTROOMS, EXISTING-NO WORK PROPOSED
- ACCESSIBLE TELEPHONE (NA)
- ACCESSIBLE DRINKING FOUNTAIN - NO WORK PROPOSED:
- ADDITIONAL ACCESSIBLE ELEMENTS- NEW ADA CASEWORK COUNTERS/SINKS= \$10,000



1 OVERALL BUILDING PLAN  
SCALE: N.T.S.

**LEGEND:**

|    |                     |                                  |                                                                       |
|----|---------------------|----------------------------------|-----------------------------------------------------------------------|
| XX | OCCUPANCY GROUP     | ABBREVIATIONS USED WITH SYMBOLS: | (E) = EXISTING TO REMAIN                                              |
| XX | AREA                |                                  | (N) = NEW                                                             |
| XX | FLOOR AREA/OCCUPANT |                                  | (D) = DEMOLISH                                                        |
| XX | OCCUPANT LOAD       |                                  | (R) = RELOCATE, OR RELOCATED FROM EXIST. LOCATION                     |
|    |                     | FE                               | EXISTING AND/OR NEW FIRE EXTINGUISHER SIZE 2A:10BC                    |
|    |                     | EXIT                             | EXISTING AND/OR NEW EXIT SIGN WITH BATTERY-POWERED EMERGENCY LIGHTING |
|    |                     | EXIT                             | EXIT DOOR, EXIT DIRECTION                                             |



2 FLOOR PLAN - NEW CONSTRUCTION: CODE  
SCALE: 1/8" = 1'-0"



In the event conflicts are discovered between the original signed and sealed documents prepared by the Architects and/or their Consultants, and any copy of the documents transmitted by mail, fax, electronically or otherwise, the original signed and sealed documents shall govern.

JOB NO.: 2024.0090.3

DATE: FEB 12, 2025

DRAWN: LMM

REVISIONS:



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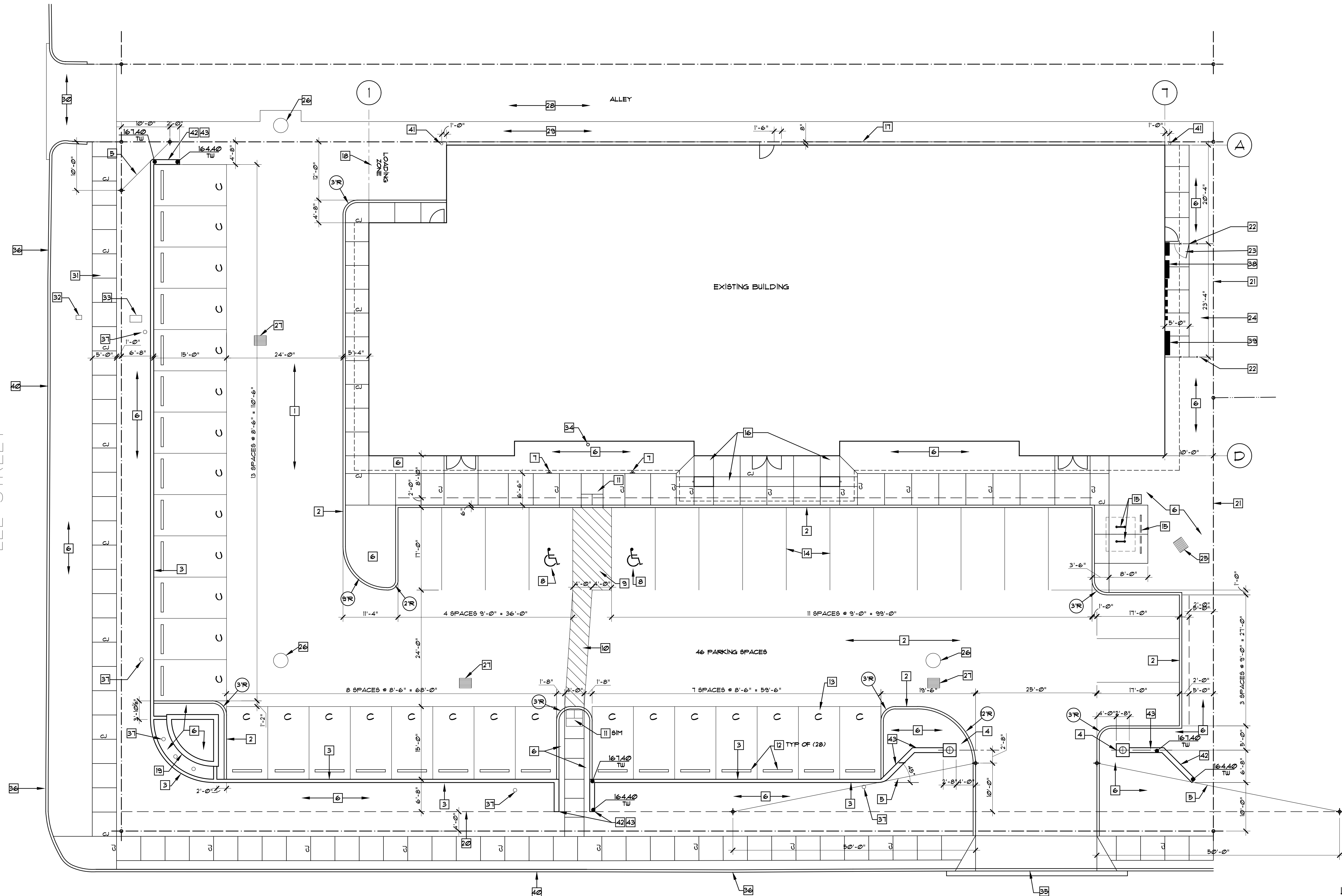
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TITLE SHEET,  
PROJECT INFORMATION,  
CODE REVIEW

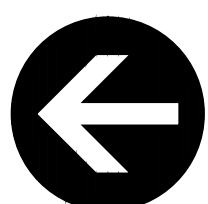
SHEET

A0.1

LEE STREET



1 SITE PLAN- EXISTING  
SCALE: 1" = 10'-0"

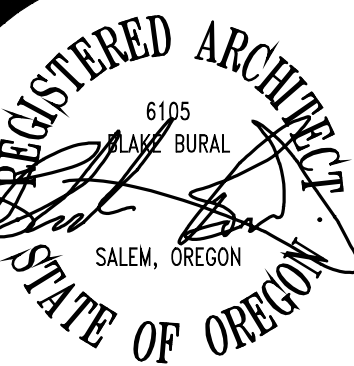


#### SITE PLAN NOTES

- 1 EXISTING ASPHALT PAVEMENT
- 2 EXISTING CONCRETE CURB
- 3 EXISTING CMU RETAINING WALL
- 4 EXISTING MASONRY PIER
- 5 EXISTING VISION CLEARANCE LINE
- 6 EXISTING LANDSCAPING
- 7 EXISTING HANDICAP PARKING SIGN
- 8 EXISTING HANDICAP PARKING SYMBOL
- 9 EXISTING PAINTED CROSS HATCH # SIDE AISLE
- 10 EXISTING PAINTED CROSS HATCH # PEDESTRIAN CROSSING (HATCHED # 2'-0" O.C.)
- 11 EXISTING CURB ACCESS
- 12 EXISTING CONCRETE WHEEL STOP
- 13 EXISTING STALLS
- 14 EXISTING 4" WIDE PAINTED PARKING STRIPE
- 15 REMOVE EXISTING BICYCLE RACK, INSTALL (2) ADDITIONAL BIKE RACKS PER PLAN CAPACITY (4) BICYCLES. REFER TO DETAILS 2/A2, 3/A2, AND 4/A2.
- 16 EXISTING BRICK PAVERS
- 17 EXISTING 8" WIDE CONCRETE CURB
- 18 EXISTING PAINTED "LOADING ZONE"
- 19 EXISTING HIGH CMU/BRICK WALL
- 20 EXISTING LINE OF FUTURE RIGHT-OF-WAY
- 21 EXISTING FENCE
- 22 EXISTING 6' CHAIN LINK FENCE W/ PRIVACY SLATS
- 23 EXISTING CHAIN LINK GATE
- 24 EXISTING 6" GRAVEL
- 25 EXISTING AREA DRAIN
- 26 EXISTING MANHOLE
- 27 EXISTING CATCH BASIN
- 28 EXIST. ALLEY PAVEMENT TO REMAIN
- 29 EXISTING ALLEY PAVEMENT
- 30 EXISTING CONCRETE ALLEY APPROACH
- 31 EXISTING CONCRETE SIDEWALK
- 32 EXISTING WATER METER
- 33 EXISTING RP DEVICE
- 34 EXISTING SAN. S. C. O.
- 35 EXISTING DROPPED CURB & APPROACH
- 36 EXISTING CURB
- 37 EXISTING LIGHT POLE
- 38 EXISTING ELECTRICAL SWITCH GEAR, ETC.
- 39 EXISTING GAS METERS
- 40 EXISTING CURB TO REMAIN
- 41 EXISTING STEEL BOLLARD
- 42 EXISTING SLOPED BRICK WALL
- 43 EXISTING DBL WYTHE BRICK WALL

#### LEGEND

T.W. - TOP OF WALL (NOT INCLUDING BRICK CAP)



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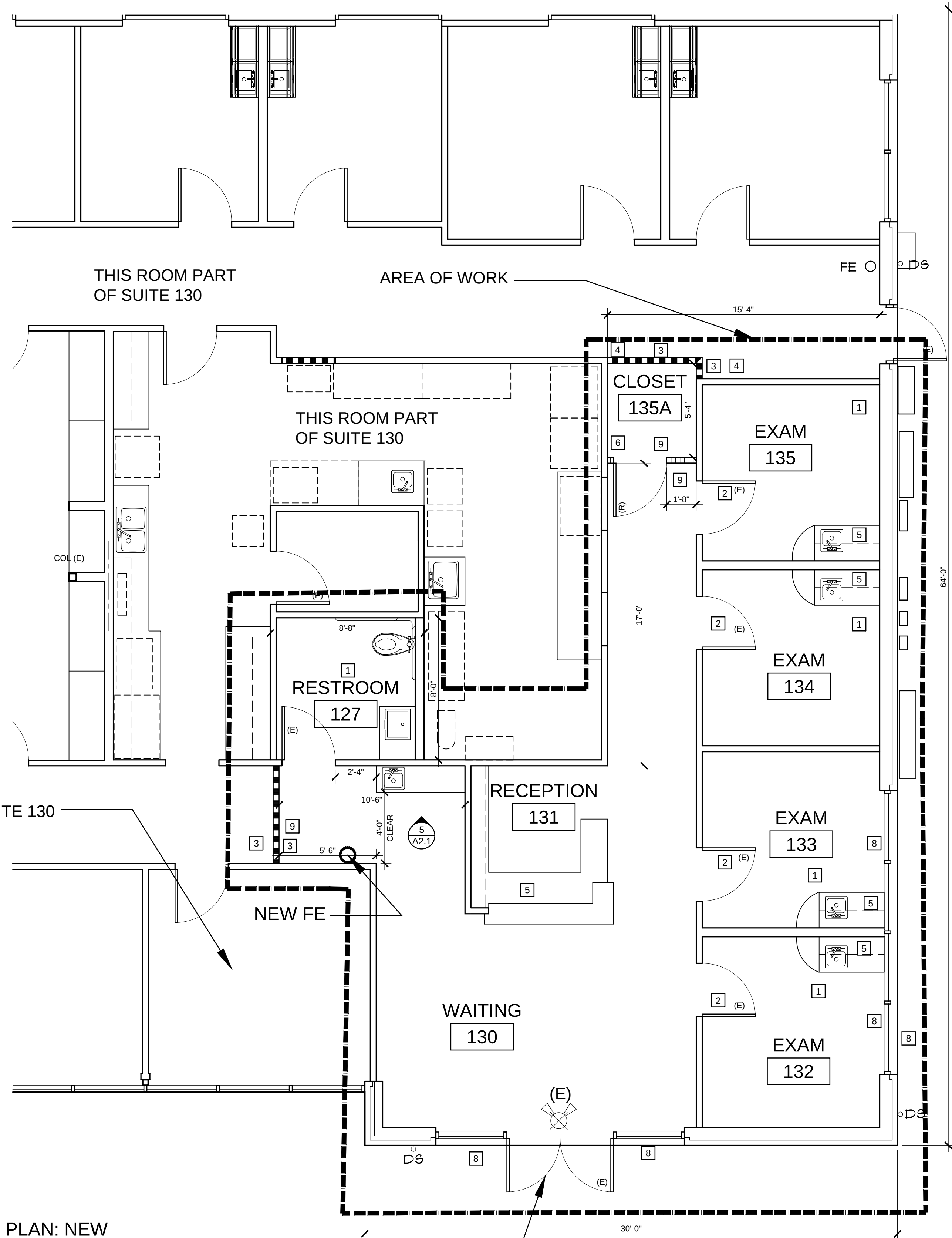


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SHEET

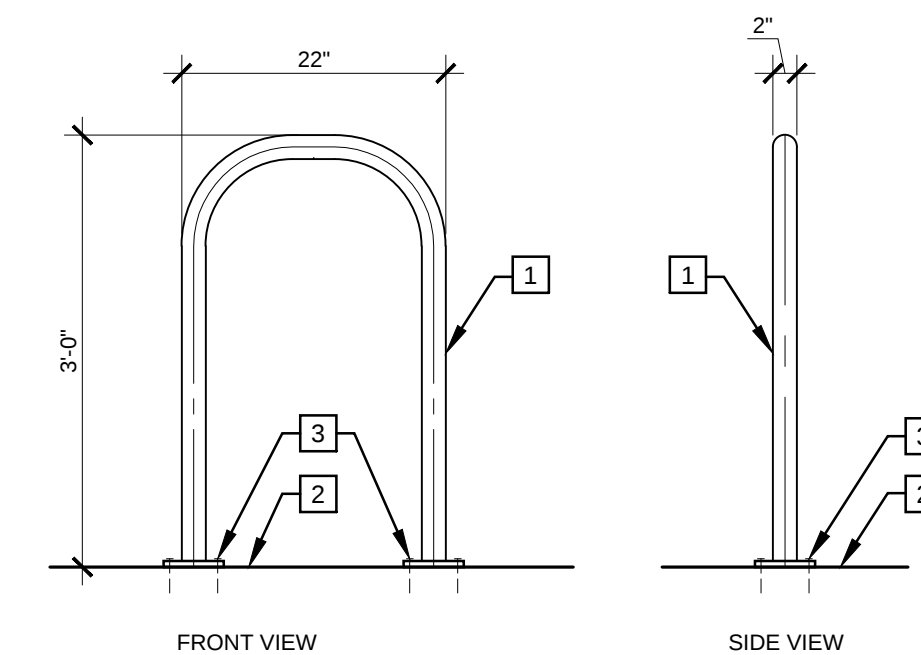
A1.0



1 FLOOR PLAN: NEW  
SCALE: 1/4" = 1'-0"

EXISTING EXIT DOOR  
TO REMAIN, CONFIRM  
HARDWARE TO  
BE LEVER ONLY OR  
PANIC HARDWARE, NO  
DEADBOLT

NOTE: MANUFACTURED STEEL BIKE RACK IN PLACE OF RACK SHOWN  
BELOW IS ACCEPTABLE UPON APPROVAL FROM ARCHITECT; RACK  
ALTERNATIVE MUST FOLLOW SIMILAR SHAPE FOR APPROVAL



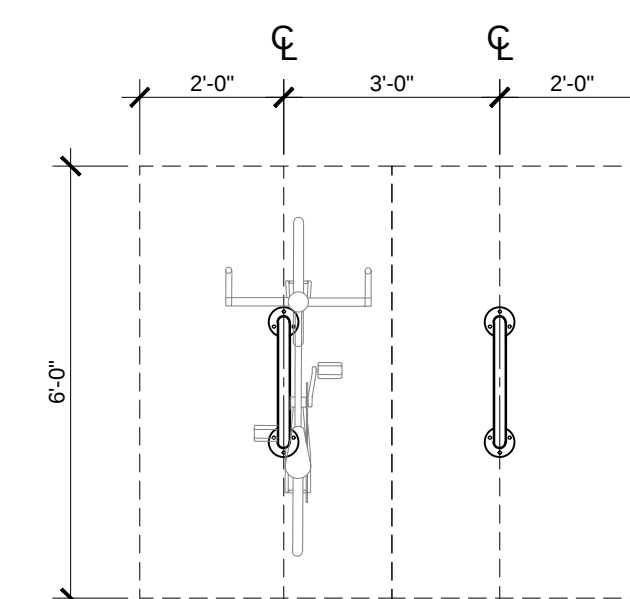
NOTES:

- 2" DIA. SCHEDULE 40 PIPE WITH EMBEDDED ANCHOR MOUNT, POWDER COAT FINISH
- EXISTING ASPHALT OR CONCRETE TO REMAIN, UNLESS NOTES OTHERWISE
- NEW LAG BOLTS AND PLATE, ANCHOR PER MANUFACTURER

BIKE RACK ANCHORAGE DETAIL

SCALE: 3/4" = 1'-0"

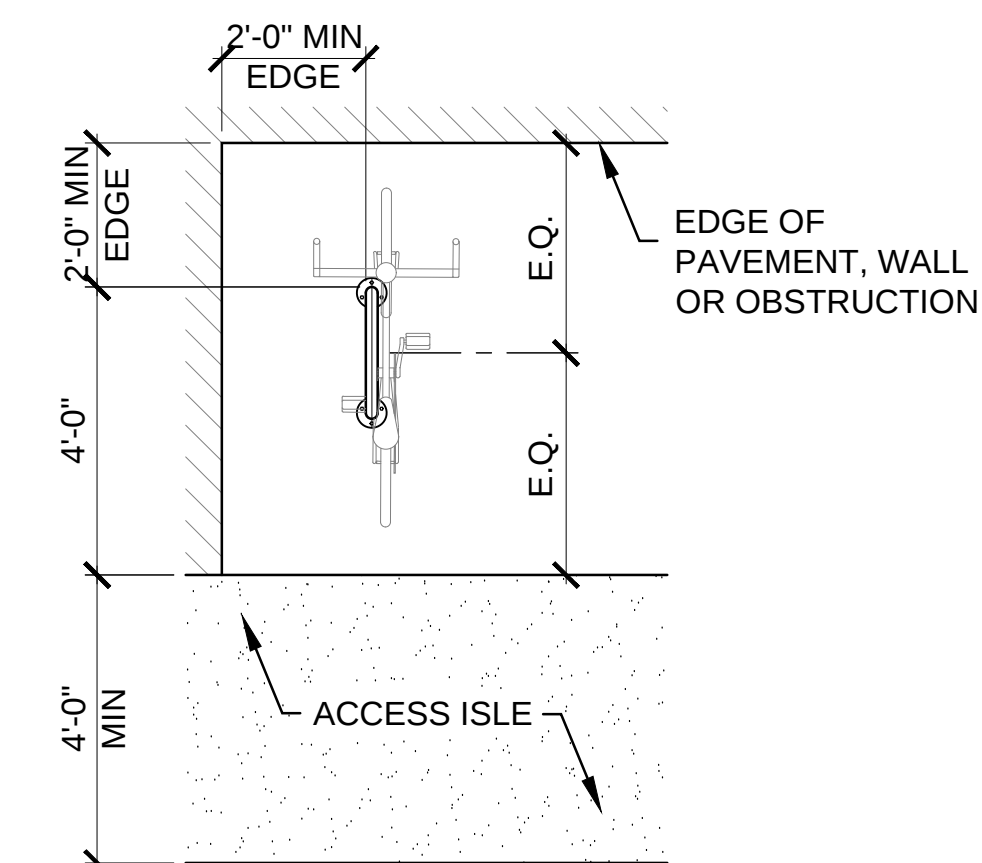
NOTE: ONLY ONE BIKE SHOWN FOR CLARITY



DOUBLE RACK  
FOR 4 SPACES

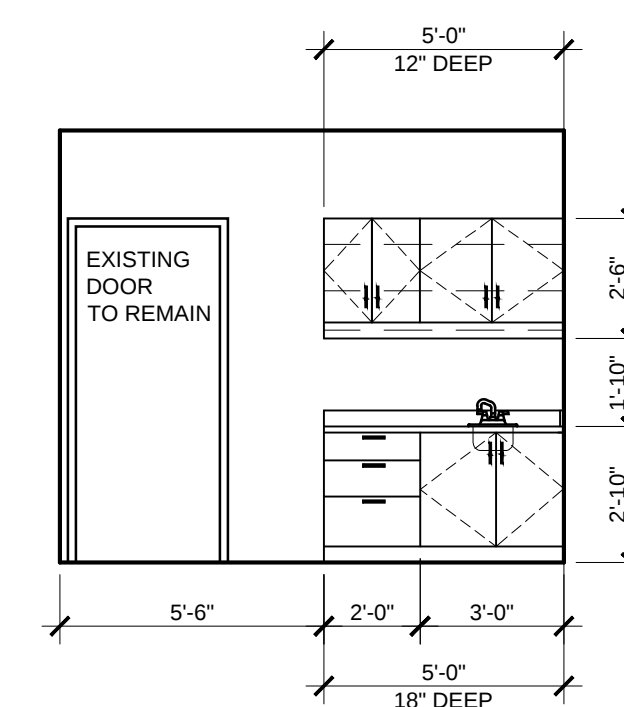
BIKE RACK PLAN DETAIL

SCALE: 3/8" = 1'-0"



BIKE RACK PLAN DETAIL - OBSTRUCTION

SCALE: 3/8" = 1'-0"



NEW COFFEE BAR

SCALE: 1/4" = 1'-0"

WALL LEGEND

- 3/4" MTL STUDS @ 16" O.C. W/ 5/8" GYPSUM BOARD EACH SIDE (ACOUSTICAL INSULATION IN SHADED AREAS). WALL TO BOTTOM OF STRUCTURE WHERE NOTED
- EXISTING WALL
- COL (E) EXISTING COLUMN TO REMAIN
- (E) EXISTING TO REMAIN DOOR
- (R) RELOCATED AND RE-INSTALLED DOOR FROM OWNERS BACK STOCK FROM SUITE 130, RE-USE EXISTING ADA HARDWARE

PLAN NOTES

- NO WORK THIS ROOM
- EXISTING DOOR TO REMAIN
- NEW DEMISING WALL
- ALIGN INFILL WALLS WITH ADJACENT SURFACES. PATCH, PREP AND REPAINT ENTIRE WALL SURFACE. PROVIDE NEW WALL BASE ON HALL SIDE ENTIRE LENGTH OF WALL, CORNER TO CORNER
- EXISTING CASEWORK TO REMAIN, PROTECT AT ALL TIMES DURING CONSTRUCTION
- TEXTURE, PREP AND PAINT ALL WALLS AT NEW CLOSET, NEW BASE ON ALL WALLS
- DIMENSIONS SHOW ARE APPROXIMATE. CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE.
- EXISTING WINDOW TO REMAIN
- MODIFY AND INFILL 2X2 SUSPENDED CEILING TILE AND LIGHT FIXTURES AS REQUIRED AT AREAS OF NEW WALL CONSTRUCTION



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SHEET

A2.1