

Brandie Dalton

From: Brandie Dalton
Sent: Friday, February 7, 2025 9:21 AM
To: Dynee Medlock SGNA Chair; Glenn Baly
Cc: Laura Robinson; Jamie Donaldson
Subject: Revised Baxter Road
Attachments: 7707p-SDR3-SITE-REV01.pdf; 7707p-SDR5-OS-REV01.pdf; 7707p-SDR1-COVREV01.pdf

Revised Site Plans attached.

Good Morning,

I am emailing you to let you know that we are proposing a development within the South Gateway NA and wanted to notify you. The contact City Planner is Jamie Donaldson JDonaldson@cityofsalem.net

We are proposing to develop the 6.15-acres property into a **138-unit apartment development**. The property is zoned RMII (Multi-Family Residential) and located at 1700 Baxter Road SE (083W14BD/Tax Lots 100 and 200).

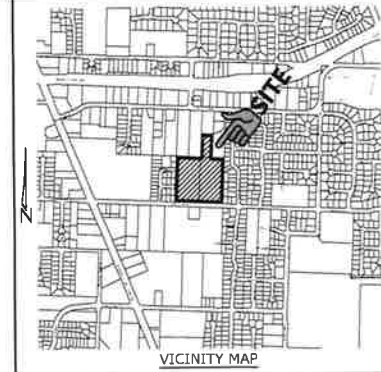
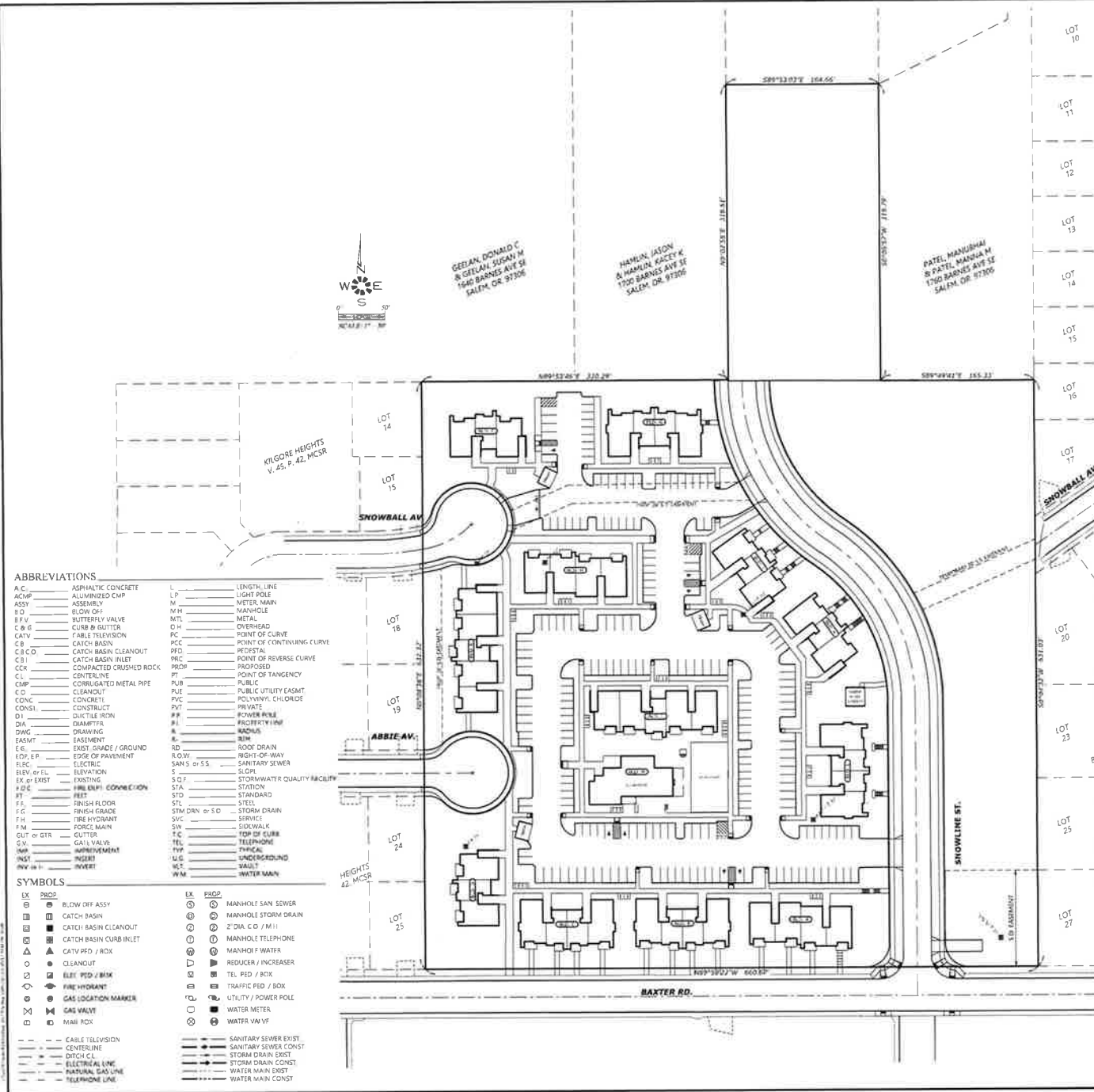
Our clients will be attending the **February 13, 2025, NA** meeting in-person next week to show you the site plans and answer questions.

Please let me know if you have any questions regarding this proposal.

Thank you,

Brandie Dalton
Land-Use Planner
Multi/Tech Engineering Services, Inc
1155 SE 13th Street
Salem, Oregon 97302
(503) 363-9227





B.M. 406.76
BENCH MARK 8380 - 2" ALUMINUM DISK
IN B.R. OF CURB NE CORNER INTERSECTION
BAXTER CT. AND BAXTER ROAD, 20' WEST OF
C.B. 37' NE FIRE HYDRANT, 45' E MANHOLE

BAXTER DEVELOPMENT

MULTI-FAMILY HOUSING
SEC. 14, T. 08 S., R. 03 W., W.M.
CITY OF SALEM
MARION COUNTY, OREGON

Owner / Developer:
NEIGHBORLY VENTURES
2925 S RIVER ROAD, STE. 100
SALEM, OR 97302

SHEET INDEX	
SDR1	COVER SHEET
SDR2	EXISTING CONDITIONS PLAN
SDR3	SITE PLAN
SDR4	SHADOW PLAN
SDR5	OPEN SPACE PLAN
SDR6	GRADING PLAN
SDR7	PRIVATE STORM DRAIN PLAN
SDR8	PRIVATE SANITARY SEWER PLAN
SDR9	PRIVATE DOMESTIC WATER PLAN
SDR10	PRIVATE FIRE SERVICE PLAN
LD.0	LANDSCAPE COVER SHEET
L1.1	PRELIMINARY PLANT SCHEDULE
L1.2	PRELIMINARY PLANTING PLAN
L1.3	PRELIMINARY PLANTING PLAN
L1.4	TREE CANOPY PLAN

MULTI/TECH
RECOMMENDATIONS: 100%
DESIGN: 100%
CONSTRUCTION: 100%
SCALE: 1/8" = 1'-0"

COVER SHEET

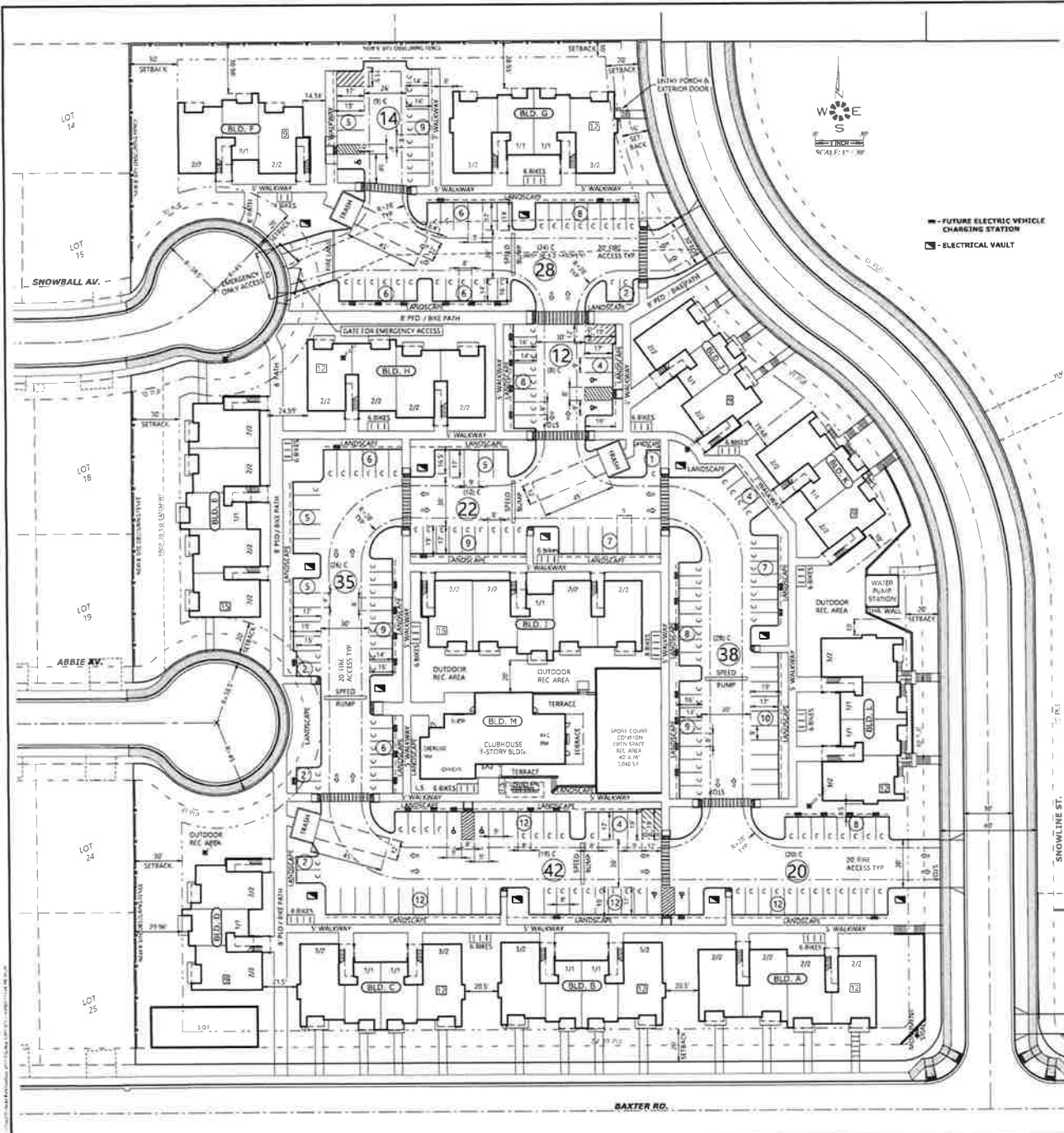
BAXTER DEVELOPMENT

NO CHANGES, MODIFICATIONS
OR REPERCUSSIONS TO BE
MADE WITHOUT WRITTEN
AUTHORIZATION FROM THE
DESIGN ENGINEER.
DATE: 10/15/2024
PROJECT: BAXTER DEVELOPMENT
GRAPHICAL REPRESENTATION

Design: J.P.M.
Drawn: J.P.M.
Checked: J.P.M.
Scale: AS SHOWN

SDR # 7720

SDR1



SITE & PROJECT DATA

ZONING: RM-11

TOTAL SITE AREA: 268,018 S.F. (6.15 +/- ACRES)

DENSITY ALLOWED: 15 UNITS PER ACRE MINIMUM; 31 UNITS PER ACRE MAXIMUM.
22.4 UNITS PER ACRE PROPOSED.

PROJECT TYPE: MARKET RATE APARTMENTS (113) UNITS

OCCUPANCY GROUP: R2- APARTMENT UNITS, A3- COMMUNITY HALL, U-PUMP HOUSE & TRASH

MAXIMUM HEIGHT ALLOWED: 50' TO THE AVERAGE OF THE HIGHEST GABLE ROOF FROM HIGHEST BLDG. GRADE.
39'-3" & 34'-11" MAXIMUM HEIGHT TO HIGHEST AVERAGE GABLE PROPOSED BY BUILDING TYPE.

BLDG. SETBACKS REQUIRED: 20'-0" FRONT YARD, 10'-0" SIDE YARD, 10'-0" REAR YARD, BASE SETBACKS PER TABLE 202.5 SETBACK INCREASES ABUTTING RS ZONE.
1' SETBACK PER FOOT OF BLDG. HEIGHT SETBACK REQUIRED ABUTTING RS SINGLE FAMILY ZONE. MAX. PROPOSED HEIGHT REQUIRED SETBACK 34' AT WEST PROPERTY LINE.
WEST REQUIRED SETBACK IS REDUCED TO 30'-0" MIN. BY PROPOSING AN 8' TALL SCREEN FENCE.

PROPOSED SETBACKS: 20'-0" STREET FRONT YARDS, 12' SIDE & REAR YARDS; 30'-0" WHERE ABUTTING RS SINGLE FAMILY ZONE, THEREFORE O.K.
(16'-0" STREET YARD SETBACK AT N.E. BLDG. G. REQUIRES SETBACK ADJUSTMENT).

ENCROACHMENTS ALLOWED: BELT COURSES & ORNAMENT- 24 INCHES, ROOF EAVES- 24 INCHES.

PROPOSED ENCROACHMENTS: DECK GUARDRAIL - 3"; ROOF EAVES - 24 INCHES, THEREFORE O.K.

CONSTRUCTION TYPE APTS:
TYPE V-B "NON-RATED" W/ 1 HR UNIT SEPARATION WALLS & FLOOR/CILING SEPARATION, 100% FIRE SPRINKLED.

PROPOSED BUILDING AREA:
UNIT TYPES:
(42) TYPE 1 UNITS (1BR/1BA) 722 S.F. + 24 S.F. STOR. = 746 S.F. = 31,332 S.F.
(72) TYPE 2 UNITS (2BR/2BA) 998 S.F. + 24 S.F. STOR. = 1,022 S.F. = 73,584 S.F.
(24) TYPE 3 UNITS (3BR/2BA) 1,184 S.F. + 24 S.F. STOR. = 1,208 S.F. = 28,992 S.F.
(13) UNITS TOTAL: 133,908 S.F.

RECREATION BLDG: 3,408 S.F. FLOOR AREA
COVERED TRASH: 470 S.F. FLOOR AREA
MAIL ROOM: 215 S.F. FLOOR AREA
PUMP HOUSE: 400 S.F. FLOOR AREA

TOTAL BUILDING SQUARE FOOTAGE: = 136,801 S.F.

PARKING PROVIDED:
STANDARD STALLS: 60 STALLS
COMPACT STALLS: 144 STALLS (66% OF STALLS = 75% ALLOWED)
HANDICAP STALLS: 7 STALLS
TOTAL PARKING PROVIDED: 211 STALLS

PARKING RATIO PROPOSED: = 1.53 STALLS PER UNIT

E.V. READY CAR PARKING REQUIRED: (211) STALLS X 40% = 85 STALLS MIN.
PROPOSED E.V. STALLS = (21) ADA + (188) FUTURE = 90 TOTAL, O.K.

BICYCLE PARKING REQUIRED: 1 BIKE STALL PER UNIT X 113 UNITS = 113 BIKE STALLS

BICYCLE PARKING PROVIDED:
(1) STALL PER GROUND FLOOR LIVING UNIT = (40) LONG TERM BIKE STALLS
(12) SIX BIKES + (2) EIGHT BIKES + (1) BIKE RACK = (82) SHORT TERM BIKE STALLS
TOTAL BIKE PARKING PROVIDED: 119 BIKE STALLS

LOADING STALLS: (0) TO 100 UNITS = (2) LOADING STALLS 12' X 19'

LOADING STALLS PROPOSED: = (2) 12' X 19'

COMMON OPEN SPACE:
ENTIRE SITE = 145,995 S.F. (54.48%)
WITHIN SETBACKS = 47,148 S.F. (32.29%)

COMMON OPEN SPACE RECREATION AREA:
REQUIRED = (1,000 S.F.) + (250 S.F. X (136-20) UNITS) = 2,500 S.F. MIN.; 25' MIN. DIM. PROVIDED = 3,040 S.F., 40' MIN. DIM., O.K.

LOT COVERAGE BY BLDGS:
PROPOSED GROUND FLOOR BUILDING FOOTPRINT/ALCONY/COVERED PORCH AREA = 53,124 S.F.
MAXIMUM ALLOWED LOT COVERAGE = 50%
PROPOSED BUILDING LOT COVERAGE = 53,124 S.F. / 268,018 S.F. = 20%

PARKING & MAINTENANCE PAVING AREA:
INCLUDES PLANTER CURBS = 72,100 S.F.

CONCRETE AREAS:
WALKWAYS, PATIOS, REC. PATIO/TERRACE, TRASH ENCL. = 35,714 S.F.

LANDSCAPE AREA:
TOTAL LANDSCAPE (GREEN) AREA PROPOSED = 102,139 S.F. / 268,018 S.F. = (38.1%) OF SITE AREA

INTERIOR PARKING AREA LANDSCAPING:
PARKING & MAINTENANCE AREA FLEET, ANTI-FINGER & CORNERS = 86,167 S.F.
REQUIRED PARKING LOT LANDSCAPE = 8 1/2% MIN. X 86,167 S.F. = 6,894 S.F. MIN. REQ'D.

PROPOSED INTERIOR PARKING AREA LANDSCAPING: = 20,171 S.F. = 19.4% PROVIDED, O.K.
(NOTE THAT THIS DOES NOT INCLUDE L.S. STRIP IN ADDITION TO MIN. 5' WALKWAY OR L.S. BETWEEN PARKING & BLDG.)

CLIMATE MITIGATION TREE PLANTING AT PARKING:
MIN. 40% SHADE TREE OVERLAP REQUIRED = 84,167 S.F. X 40 = 34,467 S.F. OVERLAP REQUIRED.
PROPOSED CLIMATE MITIGATION TREE OVERLAP PROVIDED = 35,623 S.F. (41.3%) O.K.

AIRPORT OVERLAY MGNARY FIELD REQUIREMENTS:
PROPOSED SITE DEVELOPMENT OCCURS IN CONICAL SURFACE OVERLAY (20:1) WHICH ALLOWS FOR 350' MAXIMUM BUILDING HEIGHT ABOVE AIRPORT ELEVATION.
MGNARY FIELD ELEVATION = -213.4' ABOVE SEA LEVEL +213.4' = 350' MAXIMUM HEIGHT = 563.4' MAXIMUM ELEVATION.

PROPOSED MAXIMUM SITE GRADE BASE AT HIGHEST BUILDING:
+308.0' = (17.5' TO HIGHEST ROOF PLANK) +545.5' MAXIMUM ROOF RIDGE ELEVATION, O.K.



MULTECH
ENGINEERING SERVICES, INC.
10000 W. 10TH AVE. SUITE 100
DENVER, CO 80241
TEL: 303.733.1111
WWW.MULTECH-ENG.COM

SITE PLAN

BAXTER DEVELOPMENT

NO CHANGES, MODIFICATIONS OR REVISIONS TO BE MADE TO THESE DRAWINGS WITHOUT THE WRITTEN AUTHORIZATION FROM THE DESIGN ENGINEER.
DESIGNER'S & OWNER'S SIGNATURES REQUIRED.

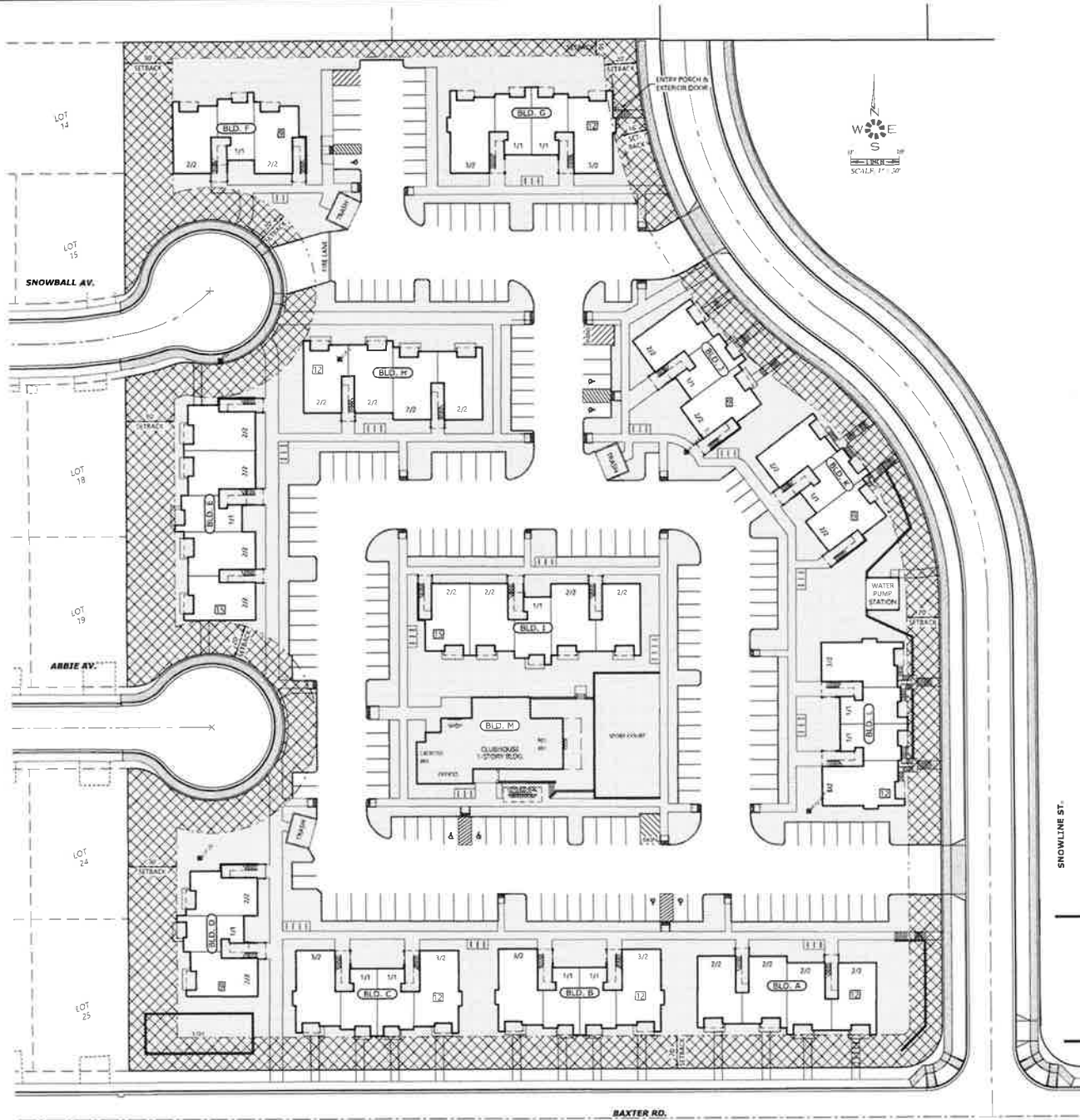
DATE: 10/1/2023
M.D.G.
L.P.H.
C.B.G.
S.M.G.

Design: M.D.G.
Drawn: L.P.H.
Checked: C.B.G.
Scale: AS SHOWN



JOB # 7723

SDR3



SITE AREAS	
TOTAL SITE	267,970 S.F.
NET DEVELOPABLE	267,970 S.F.
COMMON OPEN SPACE	145,995 S.F. (54.48%)
COMMON OPEN SPACE WITHIN SETBACKS	47,148 S.F. (32.29%)
LANDSCAPE	102,139 S.F.
PARKING LOT LANDSCAPING	20,171 S.F.
RECREATION BUILDING	3,408 S.F.



OPEN SPACE PLAN

BAXTER DEVELOPMENT

NO CHANGES, MODIFICATIONS OR REPERCUSSIONS TO BE MADE TO THIS DRAWING WITHOUT WRITTEN AUTHORIZATION FROM THE DESIGN ENGINEER.
DIMENSIONS & NOTES TAKE PRECEDENCE OVER GRAPHICAL REPRESENTATION.

DESIGN: N.D.G.
DRAWN: J.F.M.
CHECKED: J.F.M.
DATE: 05/20/2019

SDR5