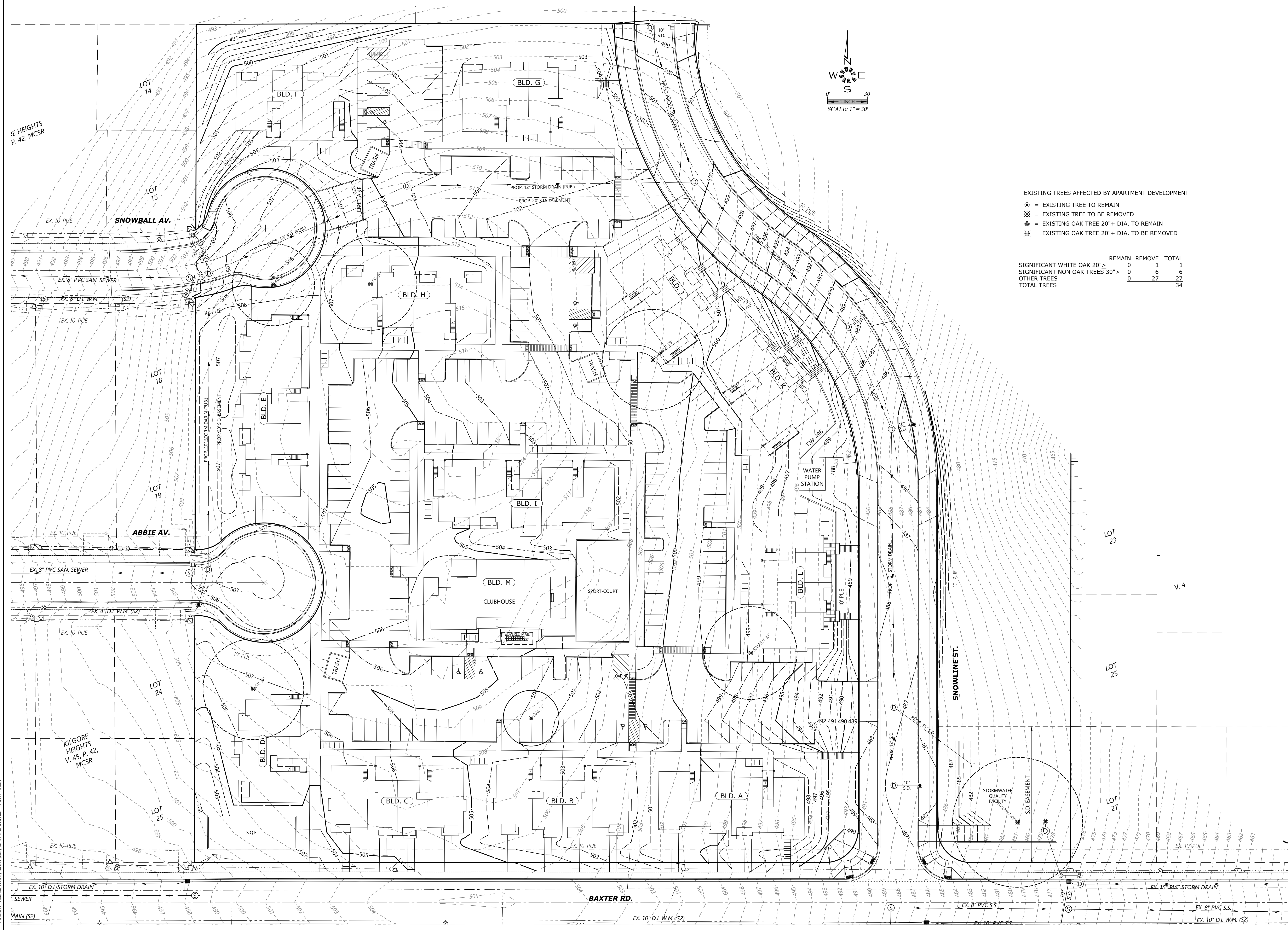




EXISTING TREES AFFECTED BY APARTMENT DEVELOPMENT

- ⊙ = EXISTING TREE TO REMAIN
- ⊗ = EXISTING TREE TO BE REMOVED
- ⊙ = EXISTING OAK TREE 20" + DIA. TO REMAIN
- ⊗ = EXISTING OAK TREE 20" + DIA. TO BE REMOVED

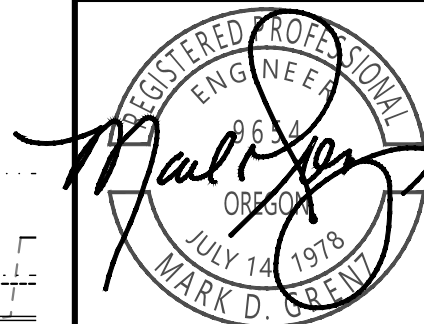
	REMAIN	REMOVE	TOTAL
SIGNIFICANT WHITE OAK 20" >	0	1	1
SIGNIFICANT NON OAK TREES 30" >	0	6	6
OTHER TREES	0	27	27
TOTAL TREES			34

TREE REMOVAL PLAN

BAXTER DEVELOPMENT

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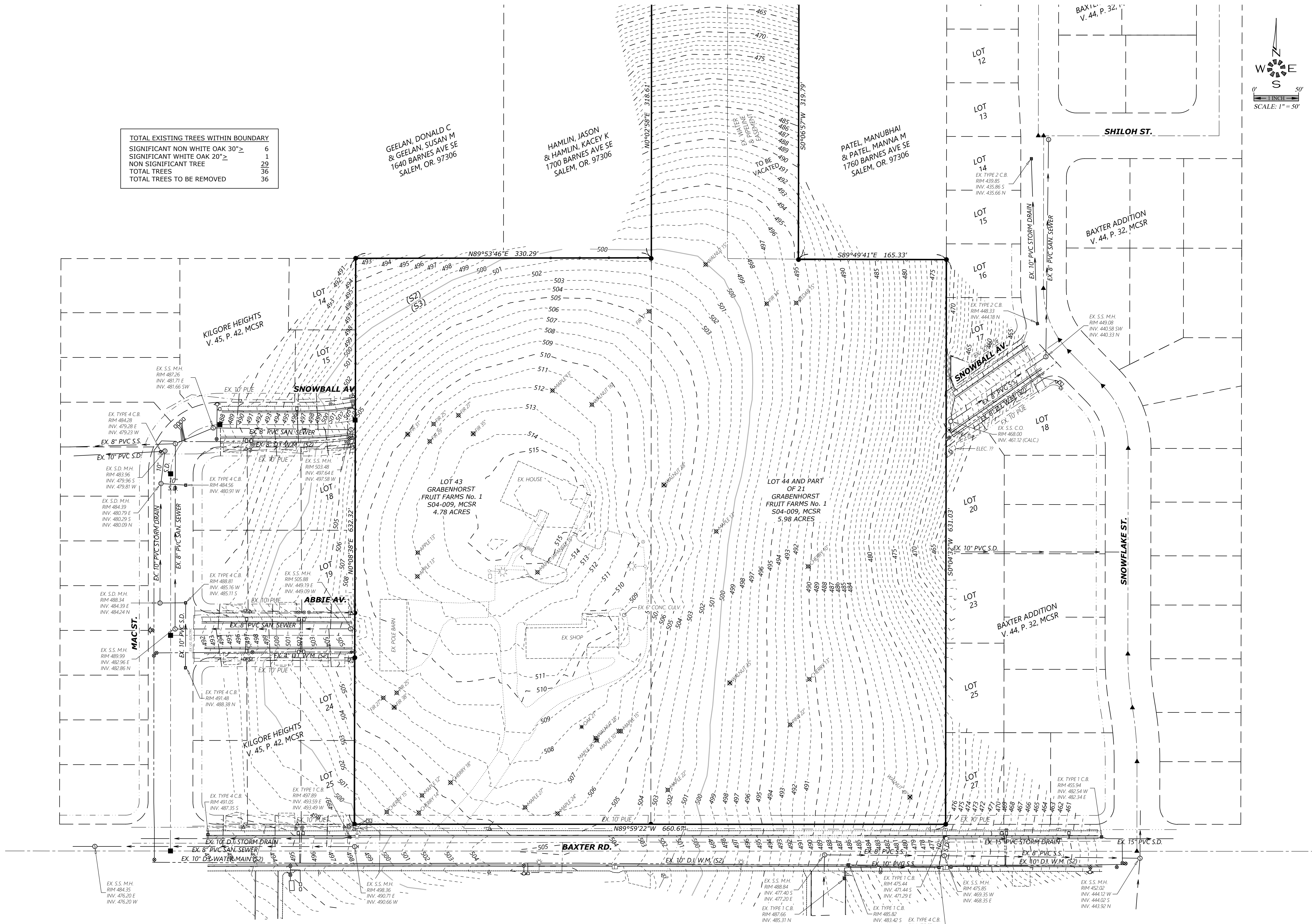


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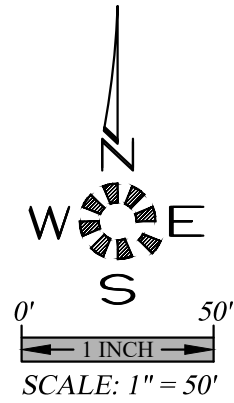
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SDR11

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TOTAL EXISTING TREES WITHIN BOUNDARY	
SIGNIFICANT NON WHITE OAK 30"≥	6
SIGNIFICANT WHITE OAK 20"≥	1
NON SIGNIFICANT TREE	29
TOTAL TREES	36
TOTAL TREES TO BE REMOVED	36



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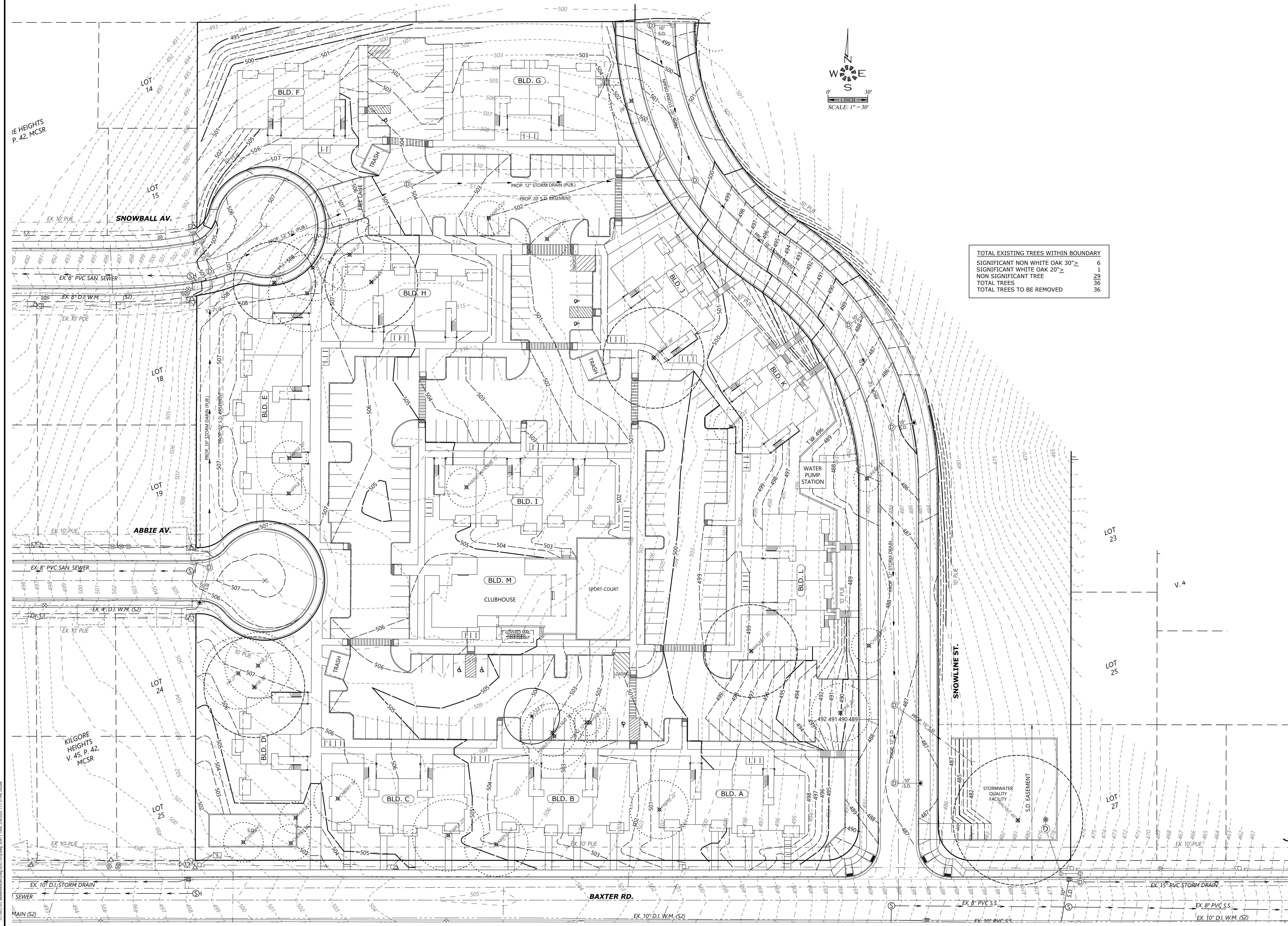
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Issue Date: 2/14/25
Scale: AS SHOWN



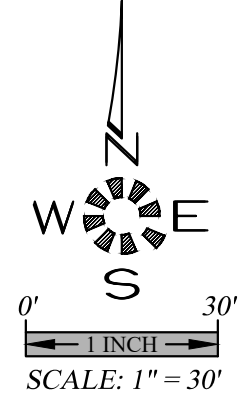
EXPIRES: 06-30-2025

JOB # 7707

SDR2



TOTAL EXISTING TREES WITHIN BOUNDARY	
SIGNIFICANT NON WHITE OAK 30"≥	6
SIGNIFICANT WHITE OAK 20"≥	1
NON SIGNIFICANT TREE	29
TOTAL TREES	36
TOTAL TREES TO BE REMOVED	36



TREE REMOVAL PLAN

BAXTER DEVELOPMENT

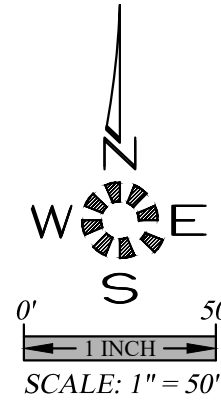
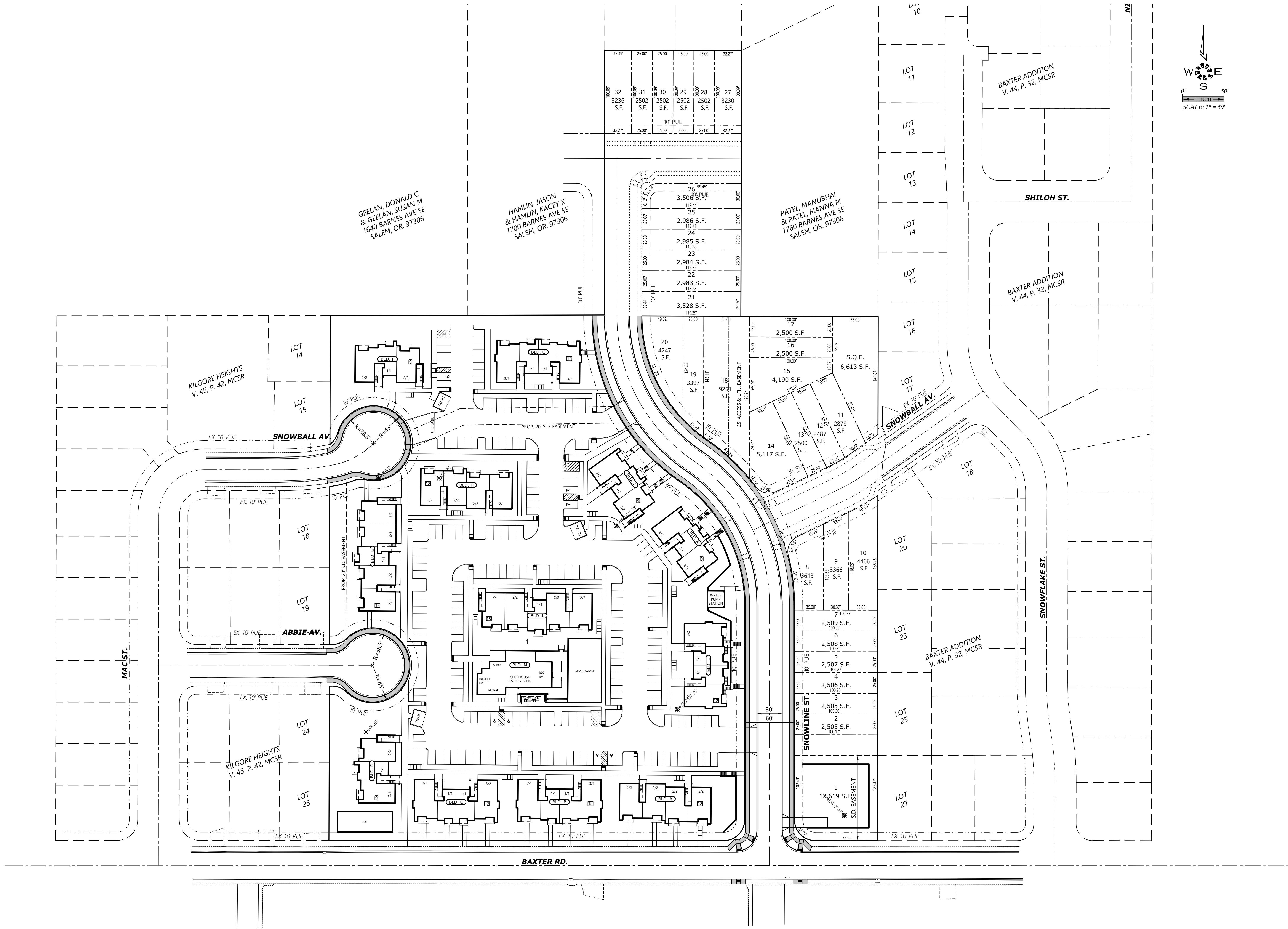
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1155 13th St., S.E. Salem, OR, 97302
PH: (503) 363 - 9227 FAX: (503) 364-1260
www.mteengineering.net office@mteengineering.net

SHADOW PLAN

BAXTER DEVELOPMENT

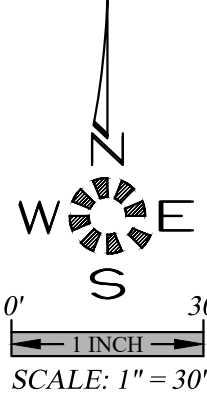
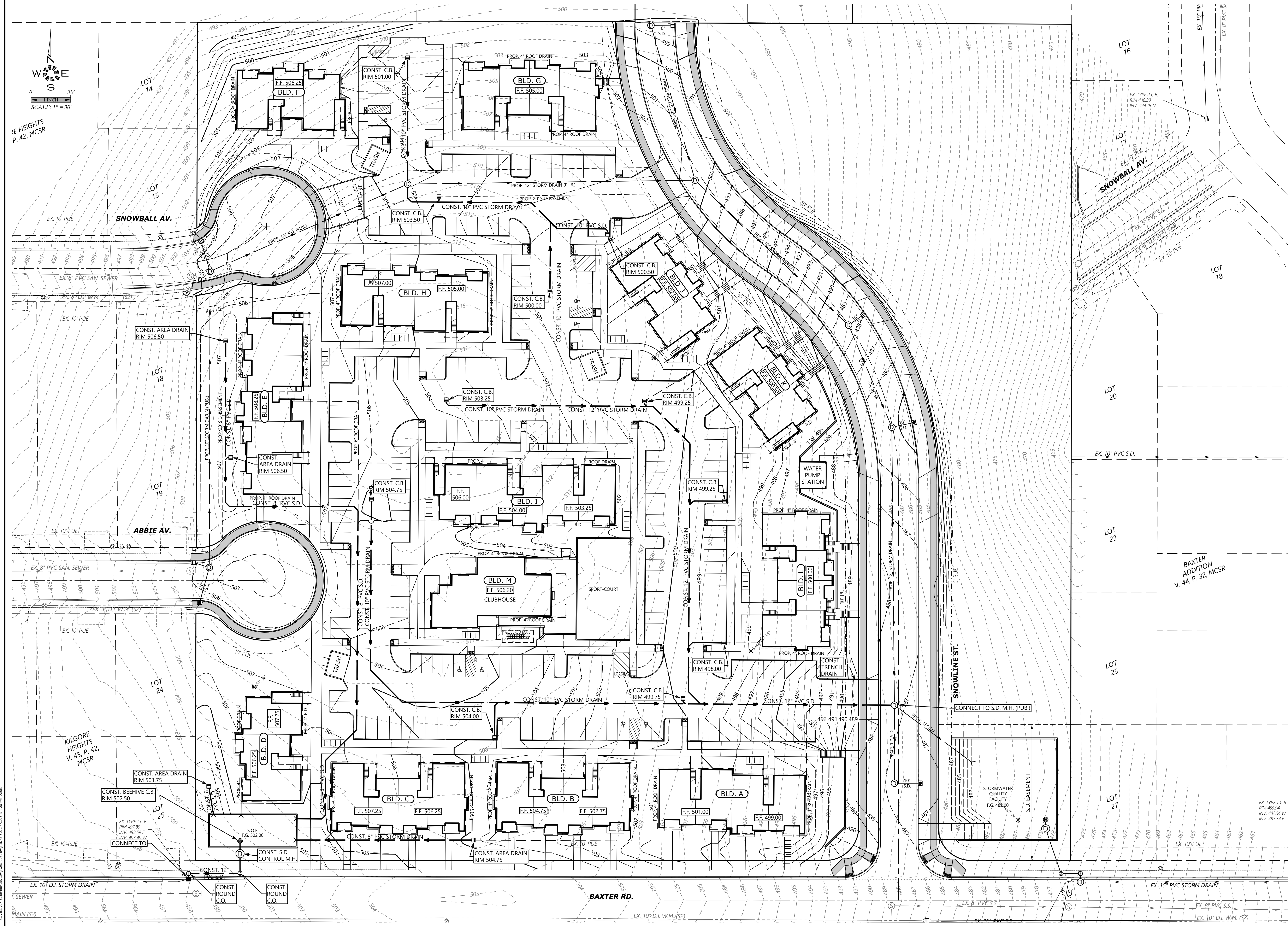
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REGISTERED PROFESSIONAL ENGINEER
MARK D. GERTZ
JULY 14, 1978
EXPIRES: 06-30-2025

JOB # 7707

SDR4



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PRIVATE
STORM DRAIN
PLAN

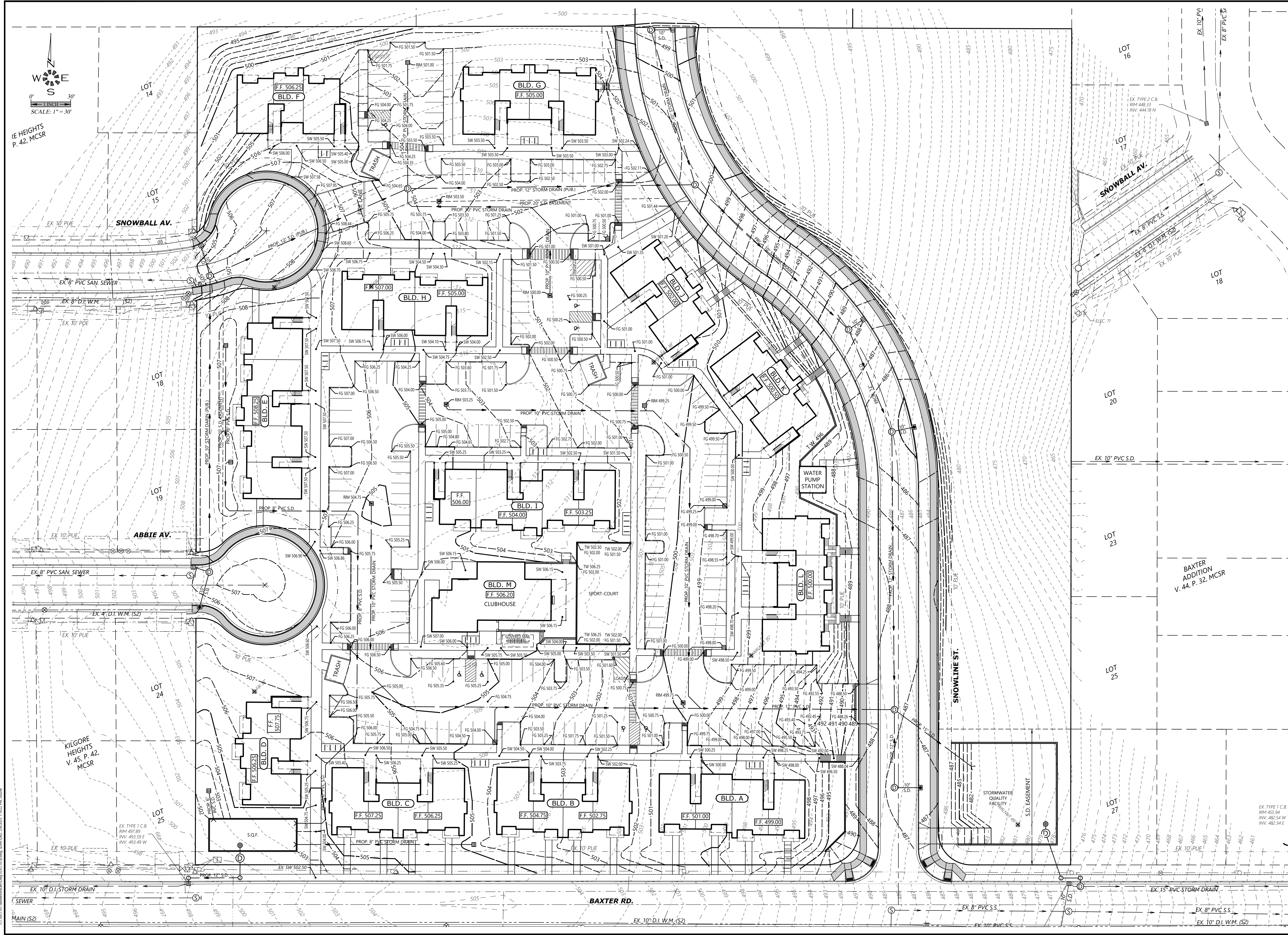
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7707P SDR7-SD
REGISTERED PROFESSIONAL ENGINEER
JUL 14, 1999
MARK D. GUNDEL
EXPIRES: 06-30-2025
JOB # 7707

SDR7



0' = 1"

 SCALE: 1" = 30'

 ELEVATIONS

 P. 42, MCSR

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GRADING PLAN

BAXTER DEVELOPMENT

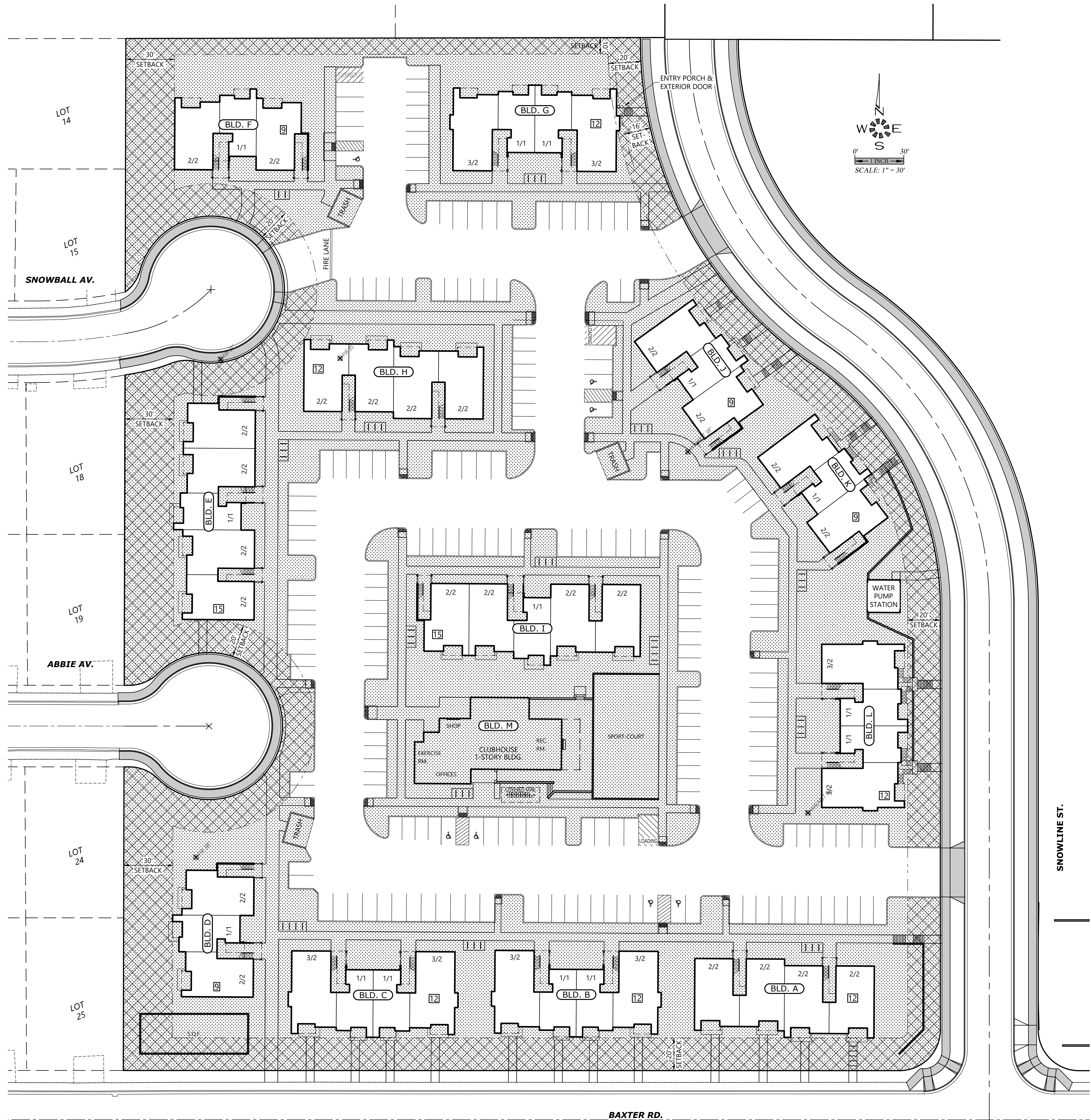
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 JUL 14, 1978
 MARK D. GREIVEL

EXPIRES: 06-30-2025
 JOB # 7707
SDR6

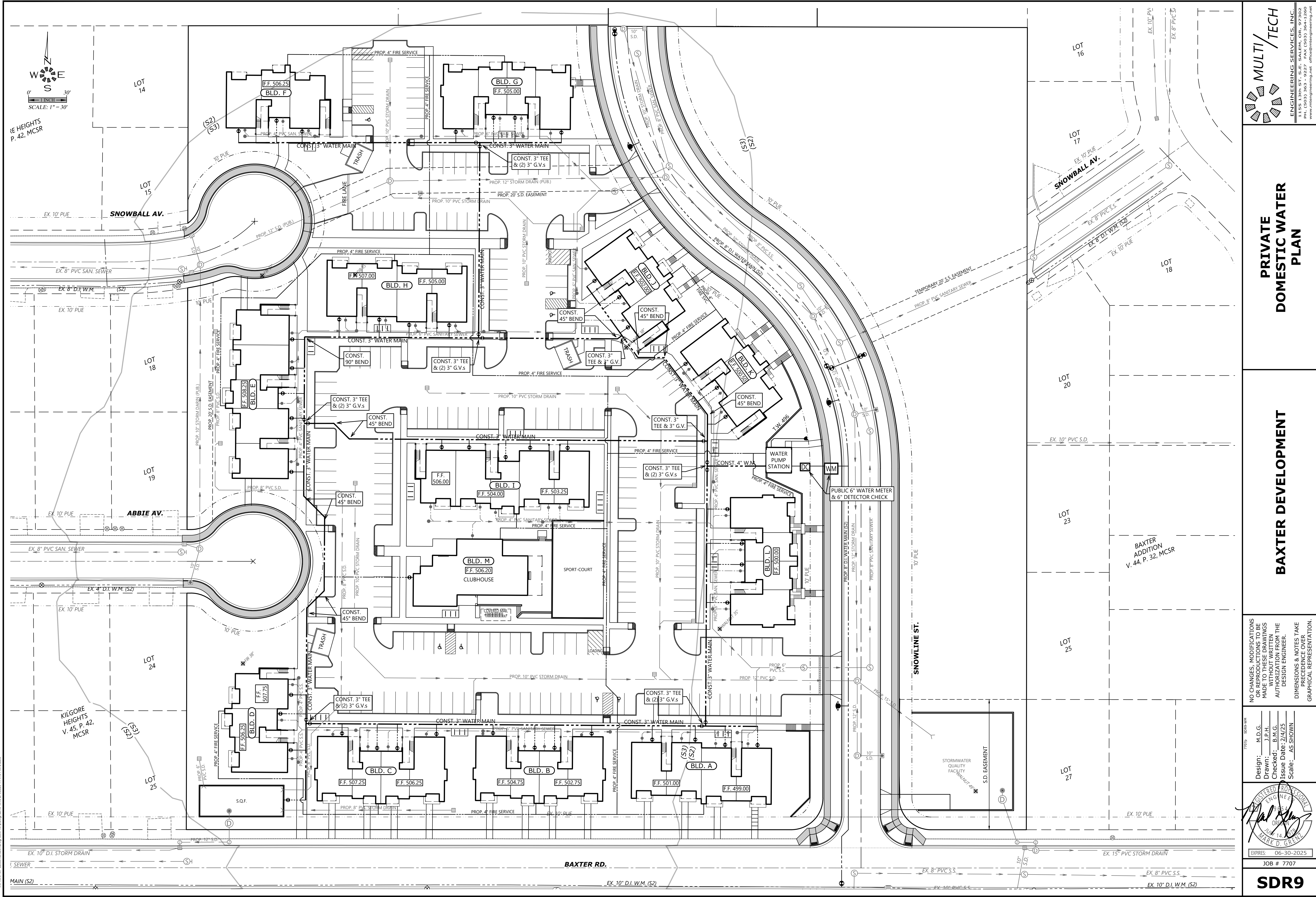
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COMMON OPEN SPACE

COMMON OPEN SPACE WITHIN SETBACK AREA

SITE AREAS	
TOTAL SITE	267,970 S.F.
NET DEVELOPABLE	267,970 S.F.
COMMON OPEN SPACE	145,995 S.F. (54.48%)
COMMON OPEN SPACE WITHIN SETBACKS	47,148 S.F. (32.29%)
LANDSCAPE	102,139 S.F.
PARKING LOT LANDSCAPING	20,171 S.F.
RECREATION BUILDING	3,408 S.F.



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PRIVATE
DOMESTIC WATER
PLAN

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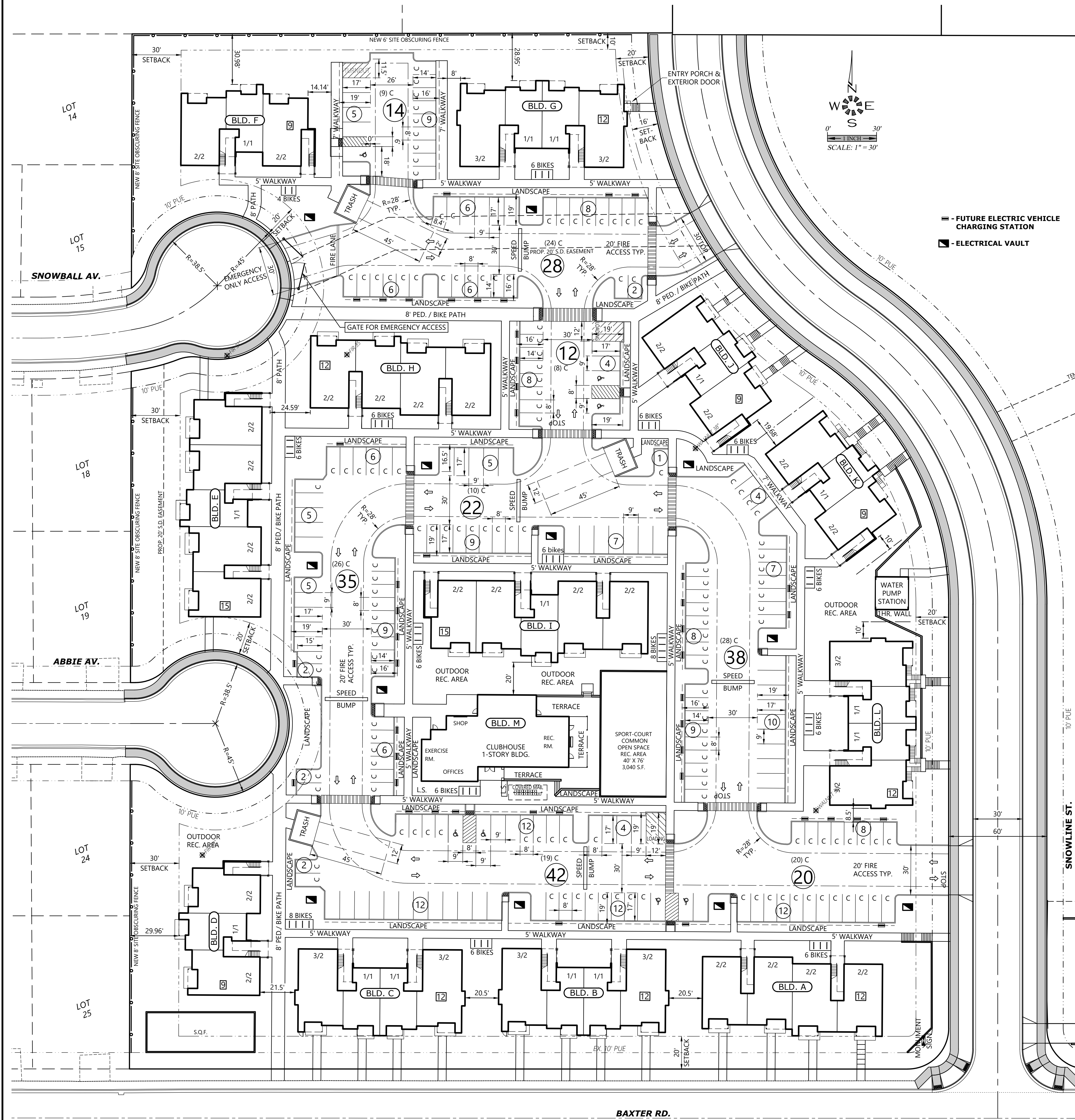
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OR
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EXPIRES 06-30-2025

JOB # 7707

SDR9

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SITE & PROJECT DATA

ZONING: RM-II

TOTAL SITE AREA: 268,018 S.F. (6.15 +/- ACRES)

DENSITY ALLOWED: 15 UNITS PER ACRE MINIMUM; 31 UNITS PER ACRE MAXIMUM.
22.4 UNITS PER ACRE PROPOSED.

PROJECT TYPE: MARKET RATE APARTMENTS - (138) UNITS

OCCUPANCY GROUP: R2- APARTMENT UNITS, A3- COMMUNITY HALL, U-PUMP HOUSE & TRASH

MAXIMUM HEIGHT ALLOWED: 50' TO THE AVERAGE OF THE HIGHEST GABLE ROOF FROM HIGHEST BLDG. GRADE.
33'-3" & 34'-11" MAXIMUM HEIGHT TO HIGHEST AVERAGE GABLE PROPOSED BY BUILDING TYPE.

BLDG. SETBACKS REQUIRED: 20'-0" FRONT YARD, & 10'-0" SIDE YARD; 10'-0" REAR YARD, BASE SETBACKS. PER TABLE 702.5 SETBACK INCREASES ABUTTING RS ZONE.
1' SETBACK PER FOOT OF BLDG. HEIGHT SETBACK REQUIRED ABUTTING RS SINGLE FAMILY ZONE 34' MAX. PROPOSED HEIGHT = REQUIRED SETBACK = 34' AT WEST PROPERTY LINE.
WEST REQUIRED SETBACK IS REDUCED TO 30'-0" MIN. BY PROPOSING AN 8' TALL SCREEN FENCE.

PROPOSED SETBACKS: 20'-0" STREET FRONT YARDS, 12' SIDE & REAR YARDS; 30'-0" WHERE ABUTTING RS SINGLE FAMILY ZONE., THEREFORE O.K.
(16'-0" STREET YARD SETBACK AT N.E. BLDG. G. REQUIRES SETBACK ADJUSTMENT).

ENCROACHMENTS ALLOWED: BELT COURSES & ORNAMENT= 24 INCHES, ROOF EAVES= 24 INCHES.

PROPOSED ENCROACHMENTS: DECK GUARDRAIL= 3"; ROOF EAVES = 24 INCHES, THEREFORE O.K.

CONSTRUCTION TYPE APTS:

TYPE V-B "NON-RATED" W/ 1 HR UNIT SEPARATION WALLS
& FLOOR/CEILING SEPARATION. 100% FIRE SPRINKLED.

PROPOSED BUILDING AREA:

UNIT TYPES:

(42) TYPE 1 UNITS (1BR./1BA.)	722 S.F. + 24 S.F.	STOR. =	746 S.F. = 31,332 S.F.
(72) TYPE 2 UNITS (2BR./2BA.)	998 S.F. + 24 S.F.	STOR. =	1,022 S.F. = 73,584 S.F.
(24) TYPE 3 UNITS (3BR./2BA.)	1,184 S.F. + 24 S.F.	STOR. =	1,208 S.F. = 28,992 S.F.
(138) UNITS TOTAL:			133,908 S.F.

RECREATION BLDG. = 3,408 S.F. FLOOR AREA.
COVERED TRASH = 870 S.F. FLOOR AREA.
MAIL ROOF = 215 S.F. FLOOR AREA.
PUMP HOUSE = 400 S.F. FLOOR AREA.

TOTAL BUILDING SQUARE FOOTAGE = 138,801 S.F.

PARKING PROVIDED:

STANDARD STALLS:	60 STALLS
COMPACT STALLS:	144 STALLS (68% OF STALLS < 75% ALLOWED)
HANDICAP STALLS:	7 STALLS
TOTAL PARKING PROVIDED =	211 STALLS

PARKING RATIO PROPOSED = 1.53 STALLS PER UNIT

E.V. READY CAR PARKING REQUIRED: (211) STALLS X 40% = 85 STALLS MIN.
PROPOSED E.V. STALLS =(2) ADA + (88) FUTURE = 90 TOTAL, O.K.

BICYCLE PARKING REQUIRED: 1 BIKE STALL PER UNIT X 138 UNITS = 138 BIKE STALLS

BICYCLE PARKING PROVIDED:

(1) STALL PER GROUND FLOOR LIVING UNIT =	(46) LONG TERM BIKE STALLS
(12) SIX BIKE, + (2) EIGHT BIKE + (1) 4 BIKE RACK =	(92) SHORT TERM BIKE STALLS
TOTAL BIKE PARKING PROVIDED =	138 BIKE STALLS

LOADING STALLS: 100 TO 199 UNITS = (2) LOADING STALLS 12' X 19'

LOADING STALLS PROPOSED = (2) 12' X 19'

COMMON OPEN SPACE:

ENTIRE SITE =	145,995 S.F. (54.48%)
WITHIN SETBACKS =	47,148 S.F. (32.29%)

COMMON OPEN SPACE RECREATION AREA:

REQUIRED = (1,000 S.F.) + (250 S.F. FOR EA. 20 UNITS OVER FIRST 20 UNITS)
REQUIRED = (1,000 S.F.) + [250 S.F. X (138-20) /20] = 2,500 S.F. MIN.; 25' MIN. DIM.
PROVIDED = 3,040 S.F., 40' MIN. DIM., O.K.

LOT COVERAGE BY BLDGS.:

PROPOSED GROUND FLOOR BUILDING FOOTPRINT/BALCONY/COVERED PORCH AREA = 53,124 S.F.
MAXIMUM ALLOWED LOT COVERAGE = 50%
PROPOSED BUILDING LOT COVERAGE = 53,124 S.F. / 268,018 S.F. = 20%

PARKING & MANEUVERING A.C. PAVING AREA:

INCLUDES PLANTER CURBS = 77,100 S.F.

CONCRETE AREAS:

WALKWAYS, PATIOS, REC. PATIO/TERRACE, TRASH ENCL. = 35,714 S.F.

LANDSCAPE AREA:

TOTAL LANDSCAPE (GREEN) AREA PROPOSED = 102,139 S.F. / 268,018 S.F. = (38.1%) OF SITE AREA

INTERIOR PARKING AREA LANDSCAPING:

PARKING & MANEUVERING AREA PLUS PLANTER FINGERS & CORNERS = 86,167 S.F.
REQUIRED PARKING LOT LANDSCAPE = 8 % MIN. X 86,167 S.F. = 6,894 S.F. MIN. REQ'D.

PROPOSED INTERIOR PARKING AREA LANDSCAPE = 20,171 S.F. = 19.8% PROVIDED, O.K.

(NOTE THAT THIS DOES NOT INCLUDE L.S. STRIP IN ADDITION TO MIN. 5' WALKWAY OR L.S. BETWEEN PARKING & BLDG.)

CLIMATE MITIGATION TREE PLANTING AT PARKING:

MIN. 40% SHADE TREE OVERLAP REQUIRED = 86,167 S.F. X 40 = 34,467 S.F. OVERLAP REQUIRED.
PROPOSED CLIMATE MITIGATION TREE OVERLAP PROVIDED = 35,623 S.F. (41.3%), O.K.

AIRPORT OVERLAY McNARY FIELD REQUIREMENTS:

PROPOSED SITE DEVELOPMENT OCCURS IN CONICAL SURFACE OVERLAY (20:1) WHICH ALLOWS FOR 350' MAXIMUM BUILDING HEIGHT ABOVE AIRPORT ELEVATION.
McNARY FIELD ELEVATION = +213.4' ABOVE SEA LEVEL +213.4' + 350.0' MAXIMUM HEIGHT = 563.4' MAXIMUM ELEVATION.

PROPOSED MAXIMUM SITE GRADE BASE AT HIGHEST BUILDING:

+508.0' + (37.5' TO HIGHEST ROOF PEAK) = +545.5' MAXIMUM ROOF RIDGE ELEVATION, O.K.

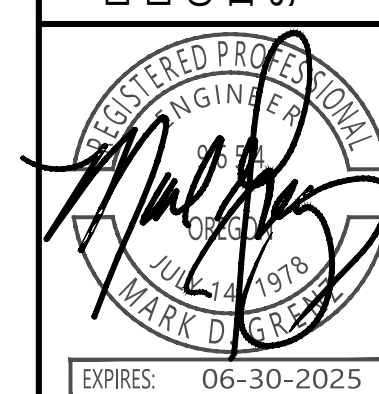


SITE PLAN

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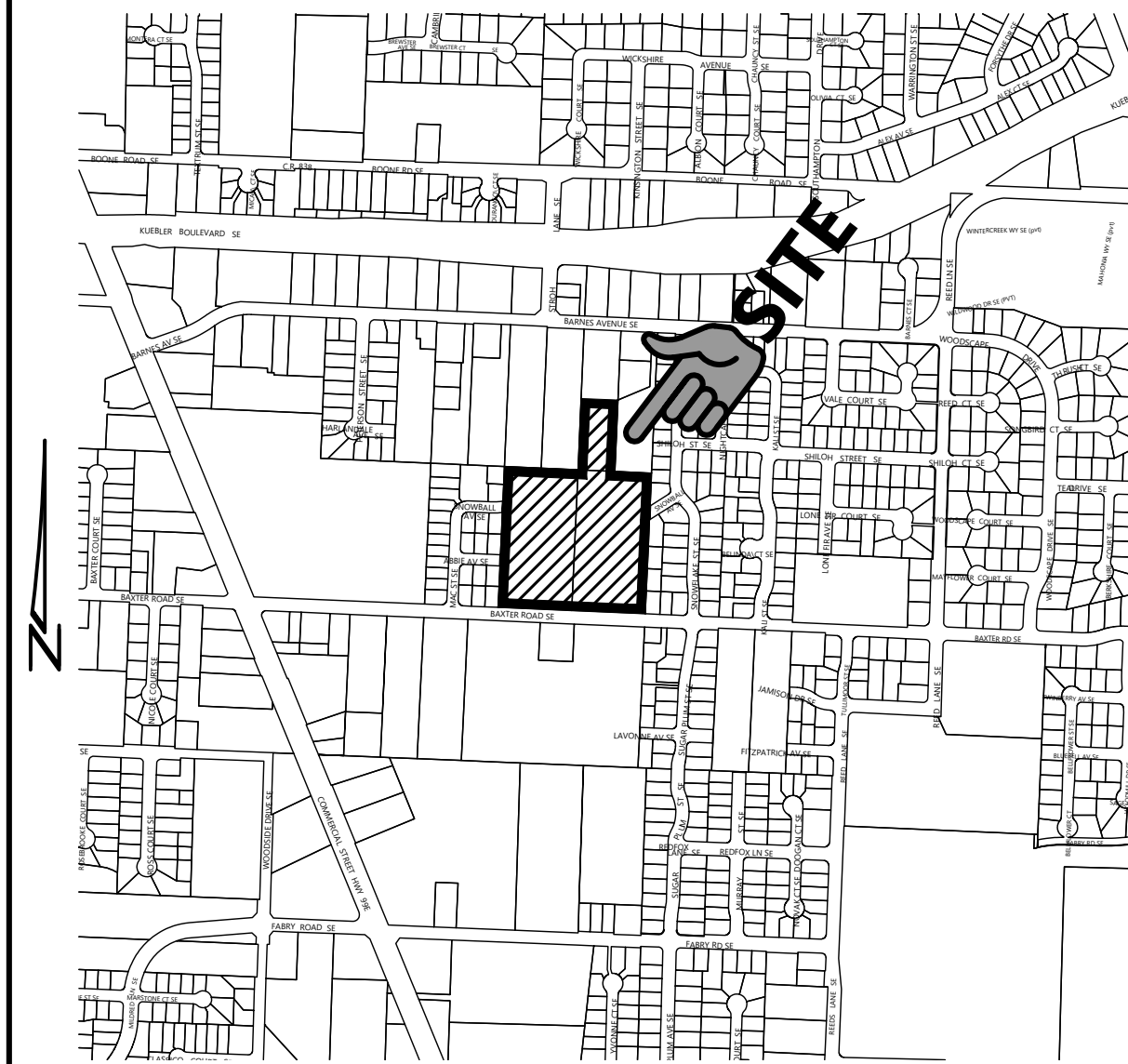
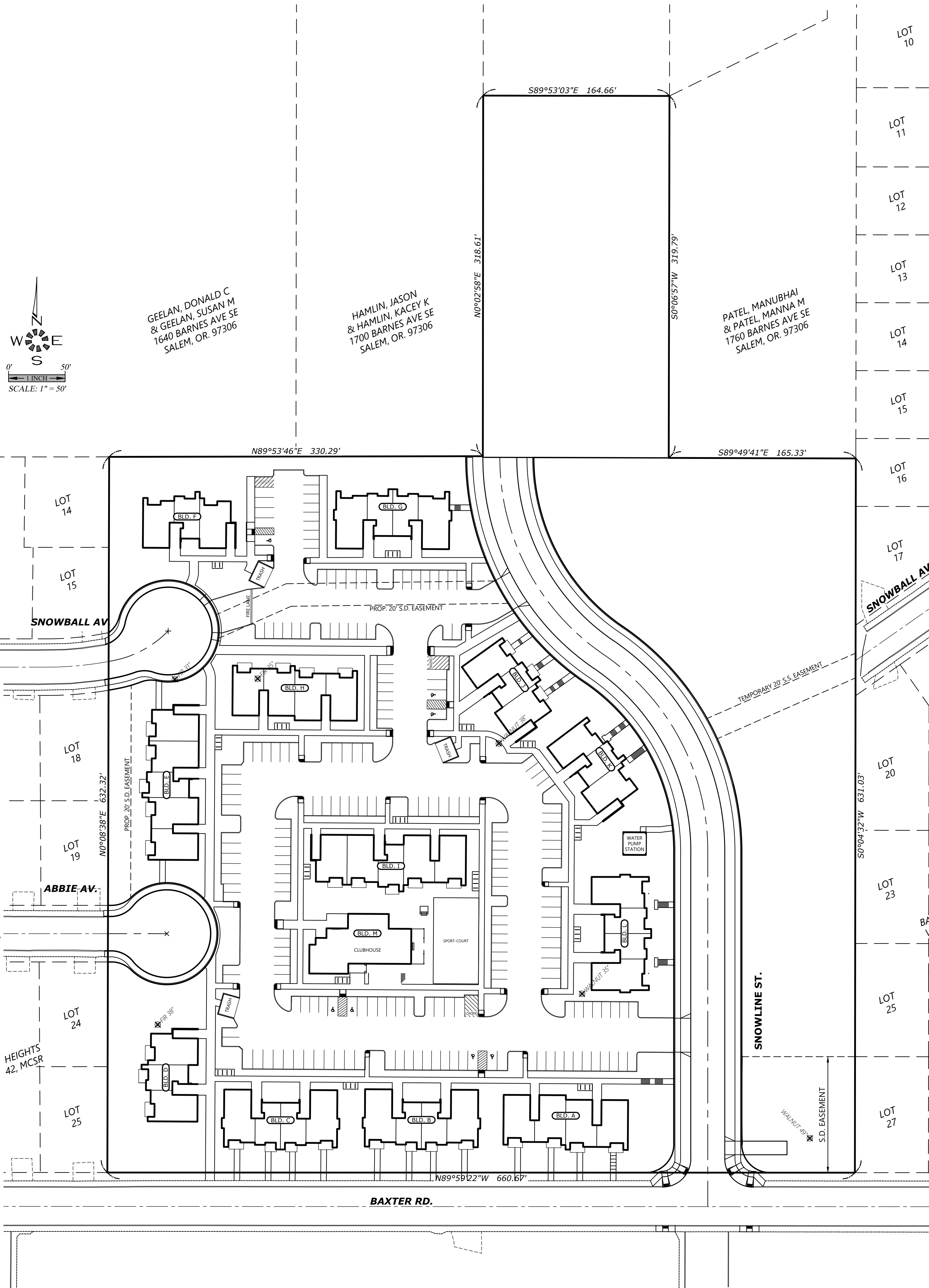
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ABBREVIATIONS

A.C.	ASPHALTIC CONCRETE	L	LENGTH, LINE
ACMP	ALUMINIZED CMP	L.P.	LIGHT POLE
ASSY.	ASSEMBLY	M	METER, MAIN
B.O.	BLOW OFF	M.H.	MANHOLE
B.F.V.	BUTTERFLY VALVE	MTL	METAL
C & G	CURB & GUTTER	O.H.	OVERHEAD
CATV	CABLE TELEVISION	PC	POINT OF CURVE
CB	CATCH BASIN	PCC	POINT OF CONTINUING CURVE
C.B.C.O.	CATCH BASIN CLEANOUT	PED.	PEDESTAL
C.B.I.	CATCH BASIN INLET	PRC	POINT OF REVERSE CURVE
CCR	COMPACTED CRUSHED ROCK	PROP.	PROPOSED
C.L.	CENTERLINE	PT	POINT OF TANGENCY
CMP	CORRUGATED METAL PIPE	PUB.	PUBLIC
C.O.	CLEANOUT	PUE	PUBLIC UTILITY EASMT.
CONC.	CONCRETE	PVC	POLYVINYL CHLORIDE
CONST.	CONSTRUCT	PVT.	PRIVATE
D.I.	DUCTILE IRON	P.P.	POWER POLE
DIA.	DIAMETER	P.L.	PROPERTY LINE
DWG.	DRAWING	R	RADIUS
EASMT.	EASEMENT	R-	RIM
E.G.	EXIST. GRADE / GROUND	RD	ROOF DRAIN
EOP, E.P.	EDGE OF PAVEMENT	R.O.W.	RIGHT-OF-WAY
ELEC.	ELECTRIC	SAN.S. or S.S.	SANITARY SEWER
ELEV. or EL.	ELEVATION	S	SLOPE
EX. or EXIST.	EXISTING	S.Q.F.	STORMWATER QUALITY FACILITY
F.D.C.	FIRE DEPT. CONNECTION	STA.	STATION
FT.	FEET	STD.	STANDARD
F.F.	FINISH FLOOR	STL.	STEEL
F.G.	FINISH GRADE	STM.DRN. or S.D.	STORM DRAIN
F.H.	FIRE HYDRANT	SVC.	SERVICE
F.M.	FORCE MAIN	SW	SIDEWALK
GUT. or GTR.	GUTTER	T.C.	TOP OF CURB
G.V.	GATE VALVE	TEL	TELEPHONE
IMP.	IMPROVEMENT	TYP.	TYPICAL
INST.	INSERT	U.G.	UNDERGROUND
INV. or I-	INVERT	VL.	VAULT
		W.M.	WATER MAIN

SYMBOLS

EX.	PROP.	EX.	PROP.
	BLOW OFF ASSY.		MANHOLE SAN. SEWER
	CATCH BASIN		MANHOLE STORM DRAIN
	CATCH BASIN CLEANOUT		2" DIA. C.O. / M.H.
	CATCH BASIN CURB INLET		MANHOLE TELEPHONE
	CATV PED. / BOX		MANHOLE WATER
	CLEANOUT		REDUCER / INCREASER
	ELEC. PED. / BOX		TEL. PED. / BOX
	FIRE HYDRANT		TRAFFIC PED. / BOX
	GAS LOCATION MARKER		UTILITY / POWER POLE
	GAS VALVE		WATER METER
	MAIL BOX		WATER VALVE
	CABLE TELEVISION		SANITARY SEWER EXIST.
	CENTERLINE		SANITARY SEWER CONST.
	DITCH C.L.		STORM DRAIN EXIST.
	ELECTRICAL LINE		STORM DRAIN CONST.
	NATURAL GAS LINE		WATER MAIN EXIST.
	TELEPHONE LINE		WATER MAIN CONST.



VICINITY MAP

B.M. 406.76
BENCH MARK 8300 - 2" ALUMINUM DISK
IN B.R. OF CURB. NE CORNER INTERSECTION
BAXTER CT. AND BAXTER ROAD, 20' WEST OF
C.B. 37' NE FIRE HYDRANT., 45' E MANHOLE

BAXTER DEVELOPMENT

MULTI-FAMILY HOUSING
SEC. 14, T. 08 S., R. 03 W., W.M.
CITY OF SALEM
MARION COUNTY, OREGON

Owner / Developer:

NEIGHBORLY VENTURES

2925 S RIVER ROAD, STE. 100
SALEM, OR 97302

SHEET INDEX

SDR1	COVER SHEET
SDR2	EXISTING CONDITIONS PLAN
SDR3	SITE PLAN
SDR4	SHADOW PLAN
SDR5	OPEN SPACE PLAN
SDR6	GRADING PLAN
SDR7	PRIVATE STORM DRAIN PLAN
SDR8	PRIVATE SANITARY SEWER PLAN
SDR9	PRIVATE DOMESTIC WATER PLAN
SDR10	PRIVATE FIRE SERVICE PLAN

L0.0	LANDSCAPE COVER SHEET
L1.1	PRELIMINARY PLANT SCHEDULE
L1.2	PRELIMINARY PLANTING PLAN
L1.3	PRELIMINARY PLANTING PLAN
L1.4	TREE CANOPY PLAN



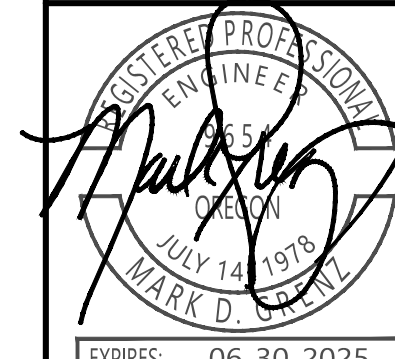
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COVER SHEET

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SDR1