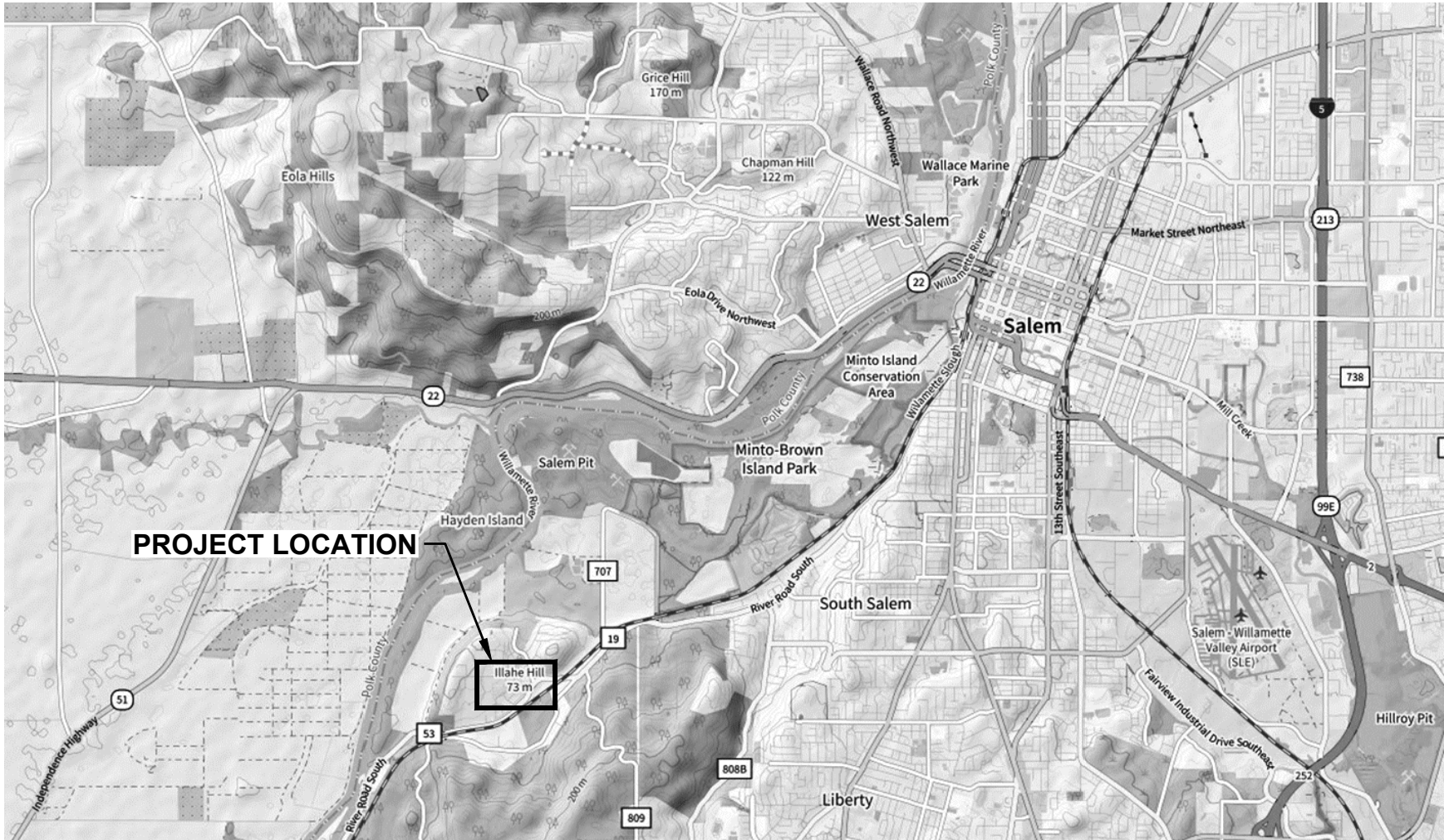


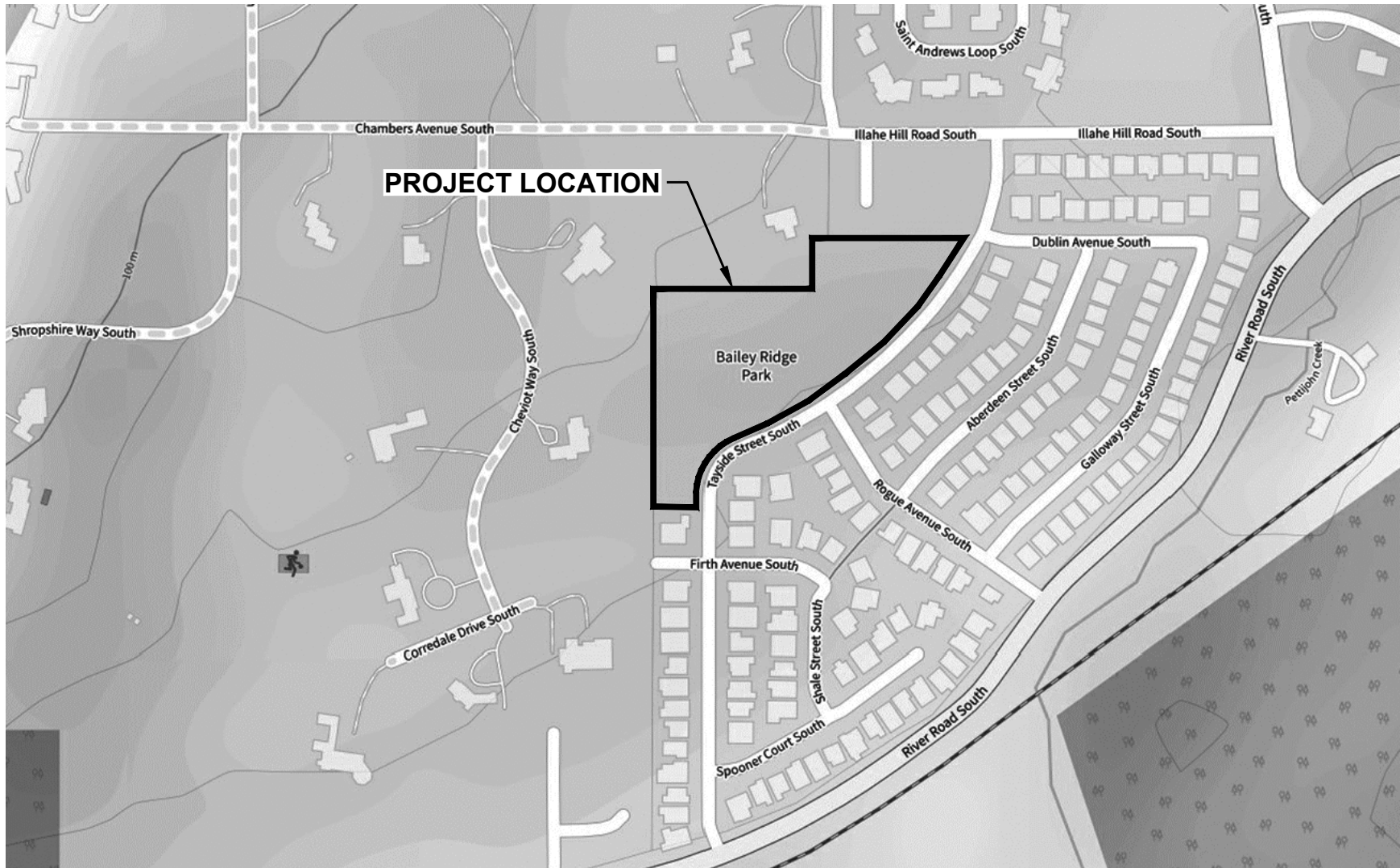
BAILEY RIDGE PARK RESTORATION AND PATHWAY PROJECT

30% DRAFT DESIGN
JANUARY 2025



VICINITY MAP

SCALE: NOT TO SCALE



CONTEXT MAP

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CITY OF SALEM



PROJECT MANAGER: RAYMOND JOSEPH,
SENIOR PARKS PLANNER

PRIME CONSULTANT:
LANDSCAPE ARCHITECTURE
PERMITTING, ENGINEERING



ENVIRONMENTAL SCIENCE ASSOCIATES
819 SE MORRISON STREET SUITE 310
PORTLAND, OR 97214
(503) 274-2010

PROJECT MANAGER: MATTHEW CRAMPTON, RLA
PROJECT ENGINEER: CHAD MCKINNEY, PE, CFM

SURVEY

OTAK
808 SW THIRD AVE., SUITE 800
PORTLAND, OR 97204

(503) 415 2332

CONTACT:
SUE TSOI, PLS

CULTURAL RESOURCE STUDY

HISTORICAL RESEARCH ASSOCIATES
59 E. 14TH AVE
EUGENE, OR 97401

(206) 898 5781

CONTACT:
BRADLEY BOWDEN, PRINCIPAL ARCHAEOLOGIST

FILE: P:\01 CAD\2022\xxxx\ID202200371.02 - City of Salem Bailey Ridge Park\DWG\GENERAL NOTES.dwg PLOT DATE: 1/24/2025 4:07:55 PM PLOTTED BY: THOMAS FISCHER

GENERAL NOTES

1.

ALL CONSTRUCTION SHALL BE TO CITY OF SALEM STANDARDS AND SPECIFICATIONS AND THE MATERIAL SPECIFICATIONS DEVELOPED FOR THIS PROJECT.
2.

REFERENCE STANDARD CONSTRUCTION SPECIFICATIONS (SCS) FOR REQUIREMENTS REGARDING PROTECTION OF EXISTING FACILITIES AND TREES.
3.

REFERENCE SCS FOR REQUIREMENTS REGARDING OPERATION OF EXISTING WATER VALVES.
4.

REFERENCE SCS FOR TRAFFIC PROTECTION AND CONTROL REQUIREMENTS.
5.

UTILITY COORDINATION:

THE LOCATION AND DESCRIPTION OF EXISTING UTILITIES SHOWN ARE COMPILED FROM AVAILABLE RECORDS AND/OR FIELD SURVEYS. THE CITY OR UTILITY COMPANIES DO NOT GUARANTEE THE ACCURACY NOR THE COMPLETENESS OF SUCH RECORDS.

ATTENTION: OREGON LAW REQUIRES YOU TO FOLLOW RULES ADOPTED BY THE OREGON UTILITY NOTIFICATION CENTER. THOSE RULES ARE SET FORTH IN OAR 952-001-0010THROUGH OAR 952-001-0090. YOU MAY OBTAIN COPIES OF THE RULES BY CALLING THE CENTER. (NOTE: THE TELEPHONE NUMBER FOR THE OREGON UTILITY NOTIFICATION CENTER IS (503)-232-1987).

(A). PROVISIONS SHALL BE MADE BY THE CONTRACTOR TO KEEP ALL EXISTING UTILITIES IN SERVICE AND PROTECT THEM DURING CONSTRUCTION.

(B). UTILITIES, OR INTERFERING PORTIONS OF UTILITIES, THAT ARE ABANDONED IN PLACE SHALL BE REMOVED BY THE CONTRACTOR TO THE EXTENT NECESSARY TO ACCOMPLISH THE WORK.THE CONTRACTOR SHALL PLUG THE REMAINING EXPOSED ENDS OF ABANDONED UTILITIES.
6.

REFERENCE SCS FOR ANY ADDITIONAL UTILITY COORDINATION REQUIREMENTS.
7.

THE CONTRACTOR SHALL BE EXPECTED TO VISIT THE SITE AND MAKE THEIR OWN DETERMINATION OF TOPOGRAPHIC FEATURES REQUIRING RESTORATION.
8.

PROTECT ALL ROOTS TWO INCHES AND LARGER IN DIAMETER. TRIM TREES, SHRUBS AND HEDGES ONLY AS DIRECTED BY THE CITY OF SALEM'S REPRESENTATIVE.
9.

CONTRACTOR SHALL PROVIDE ENGINEER WITH MINIMUM 48 HOURS NOTICE PRIOR TO NEEDING THE ENGINEER ON SITE. COORDINATE WITH ENGINEER TO REVIEW INSTALLATION OF PROPOSED PROJECT FEATURES AS NEEDED.
10.

ALL CONSTRUCTION SHALL CONFORM TO CITY OF SALEM'S OREGON DEPARTMENT OF ENVIRONMENTAL QUALITY PERMIT NO. 1200-CA.
11.

CONTACT THE CITY OF SALEM'S REPRESENTATIVE IMMEDIATELY IF UNANTICIPATED CONTAMINATION IS ENCOUNTERED DURING CONSTRUCTION.
12.

ALL UTILITIES SHOWN ARE APPROXIMATE AND SHOWN FOR REFERENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES.
13.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SAFEGUARDS, SAFETY DEVICES,PROTECTIVE EQUIPMENT, FLAGGERS, AND ANY OTHER NEEDED ACTIONS TO PROTECT THE LIFE, HEALTH, AND SAFETY OF THE PUBLIC, AND TO PROTECT PROPERTY IN CONNECTION WITH THE PERFORMANCE OF WORK COVERED BY THE CONTRACTOR.
14.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY INCLUDING PROTECTION OF WORK AND SITE AGAINST VANDALISM, THEFT, AND UNAUTHORIZED ACCESS.
15.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF ADJACENT UTILITIES WHICH MAY INCLUDE, BUT ARE NOT LIMITED TO, WATER, POWER, SEWER, STORM, AND COMMUNICATIONS.
16.

THE CONTRACTOR SHALL NOTIFY RESIDENTS AND BUSINESSES 48 HOURS IN ADVANCE OF ANY WORK AFFECTING ACCESS OR SERVICE AND SHALL MINIMIZE INTERRUPTIONS TO DRIVEWAYS FOR RESIDENTS ADJACENT TO THE PROJECT SITES.
17.

ALL LAWN AND VEGETATED AREAS DISTURBED WILL BE RESTORED TO ORIGINAL CONDITION.
18.

DISTURBANCE OR DAMAGE TO OTHER PROPERTY ON ADJACENT PARCELS OR IN THE PUBLIC RIGHT OF WAY SHALL ALSO BE REPAIRED OR RESTORED TO ORIGINAL CONDITION.
19.

A COPY OF THE APPROVED PLANS SHALL BE ONSITE DURING CONSTRUCTION AT ALL TIMES.
20.

THE CONTRACTOR SHALL NOT COMMENCE WORK UNTIL WRITTEN AUTHORIZATION TO PROCEED HAS BEEN PROVIDED BY THE CITY OF SALEM.
21.

THE CONTRACTOR SHALL COORDINATE WITH THE CITY OF SALEM ON OBTAINING ALL PROJECT PERMITS PRIOR TO STARTING CONSTRUCTION.

PROJECT CONSTRUCTION NOTES

1.

ENVIRONMENTAL SCIENCE ASSOCIATES IS NOT RESPONSIBLE FOR DESIGN AND CONSTRUCTION REVIEW SERVICES RELATING TO THE CONTRACTORS SAFETY PRECAUTIONS OR MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES USED FOR THE CONTRACTOR TO PERFORM THEIR WORK.
2.

THE CONTRACTOR SHALL MAINTAIN COMPLIANCE WITH PROJECT PERMITS AND THE PUBLISHED ODFW IN-WATER WORK WINDOW FOR THE WILLAMETTE RIVER AND ITS TRIBUTARIES:

JULY 1ST - OCTOBER 31ST
3.

DUE TO THE DEGRADABLE NATURE OF SOME OF THE PROPOSED PROJECT MATERIALS, ENVIRONMENTAL SCIENCE ASSOCIATES DOES NOT GUARANTEE THE LIFESPAN OF INSTALLED SITE FEATURES AND THE STABILIZATION SUCCESS OF THE PROJECT. SUPPLEMENTAL PROJECT MONITORING FOLLOWING THE COMPLETION OF CONSTRUCTION WILL NEED TO BE CONDUCTED TO DETERMINE PROJECT SUCCESS IN STABILIZING THE ON-GOING EROSION OF THE SWALE'S BANKS AND BED.
4.

THIS PROJECT IS INTENDED TO BE FIELD FIT. THE ENGINEER RESERVES THE AUTHORITY TO ALTER PROPOSED FEATURES DURING CONSTRUCTION TO BETTER STABILIZE THE ERODED AND UNSTABLE SWALE BANKS AND BED.
5.

CONTRACTOR SHALL VERIFY EXISTING SITE FEATURES AND DISCUSS POSSIBLE CONSTRUCTION CONFLICTS WITH PROJECT REPRESENTATIVE PRIOR TO START OF WORK.
6.

CONTRACTOR SHALL LIMIT MACHINERY MOVEMENT AND DISTURBANCE TO STAGING AREAS OR TEMPORARY ACCESS CORRIDORS, AS SHOWN ON THE DRAWINGS OR AS APPROVED BY THE CITY OF SALEM AND THE LANDOWNER.
7.

FIELD VERIFY WITH THE ENGINEER ALL DROP STRUCTURE LOCATIONS, LENGTHS, WIDTHS, AND ELEVATIONS PRIOR TO EXCAVATION, ASSEMBLY, AND INSTALLATION OF EACH FEATURE.
8.

EQUIPMENT AND MATERIAL STAGING AREAS TO BE LOCATED AS SHOWN ON THE PLANS. EQUIPMENT AND MATERIAL SHALL NOT BE STORED OUTSIDE THE IDENTIFIED STAGING AREA EXTENTS, UNLESS APPROVED BY PROJECT REPRESENTATIVE.
9.

THE MIGRATORY BIRD NESTING PERIOD FOR THE CITY OF SALEM IS MARCH 1ST TO AUGUST 31ST. IF CONSTRUCTION ACTIVITIES ARE TO COMMENCE WITHIN THIS TIME FRAME, THE CONTRACTOR MUST CONTACT THE CITY OF SALEM TO PERFORM A BIRD NEST SURVEY PRIOR TO CONSTRUCTION ACTIVITIES COMMENCING.

ABBREVIATIONS

APPROX.	APPROXIMATE
BMP	BEST MANAGEMENT PRACTICE
DBH	DIAMETER AT BREAST HEIGHT
DEQ	DEPARTMENT OF ENVIRONMENTAL QUALITY
E	EASTING
EG	EXISTING GRADE
EL	ELEVATION
ESC	EROSION & SEDIMENT CONTROL
EX.	EXISTING
FG	FINISHED GRADE
FT	FEET
H	HORIZONTAL
IN	INCHES
LF	LINEAR FEET
MIN	MINIMUM
NAVD88	NORTH AMERICAN VERTICAL DATUM OF 1988
NE	NORTHEAST
NGVD29	NATIONAL GEODETIC VERTICAL DATUM OF 1929
N	NORTHING
NO.	NUMBER
NTS	NOT TO SCALE
NW	NORTHWEST
OC	ON CENTER
ODOT	OREGON DEPARTMENT OF TRANSPORTATION
OFF	OFFSET
PE	PROFESSIONAL ENGINEER
PIP	PROTECT IN PLACE
PVC	POLYVINYL CHLORIDE
SCS	STANDARD CONSTRUCTION SPECIFICATIONS
STA	STATION
TYP	TYPICAL
V	VERTICAL



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PROJECT NAME

BAILEY
RIDGE PARK

TAXLOT NUMBER:
083W06CC13900

REVISIONS

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APPROVED BY	MAC

PROJECT # D202200371.02

ISSUE DATE JANUARY 2025

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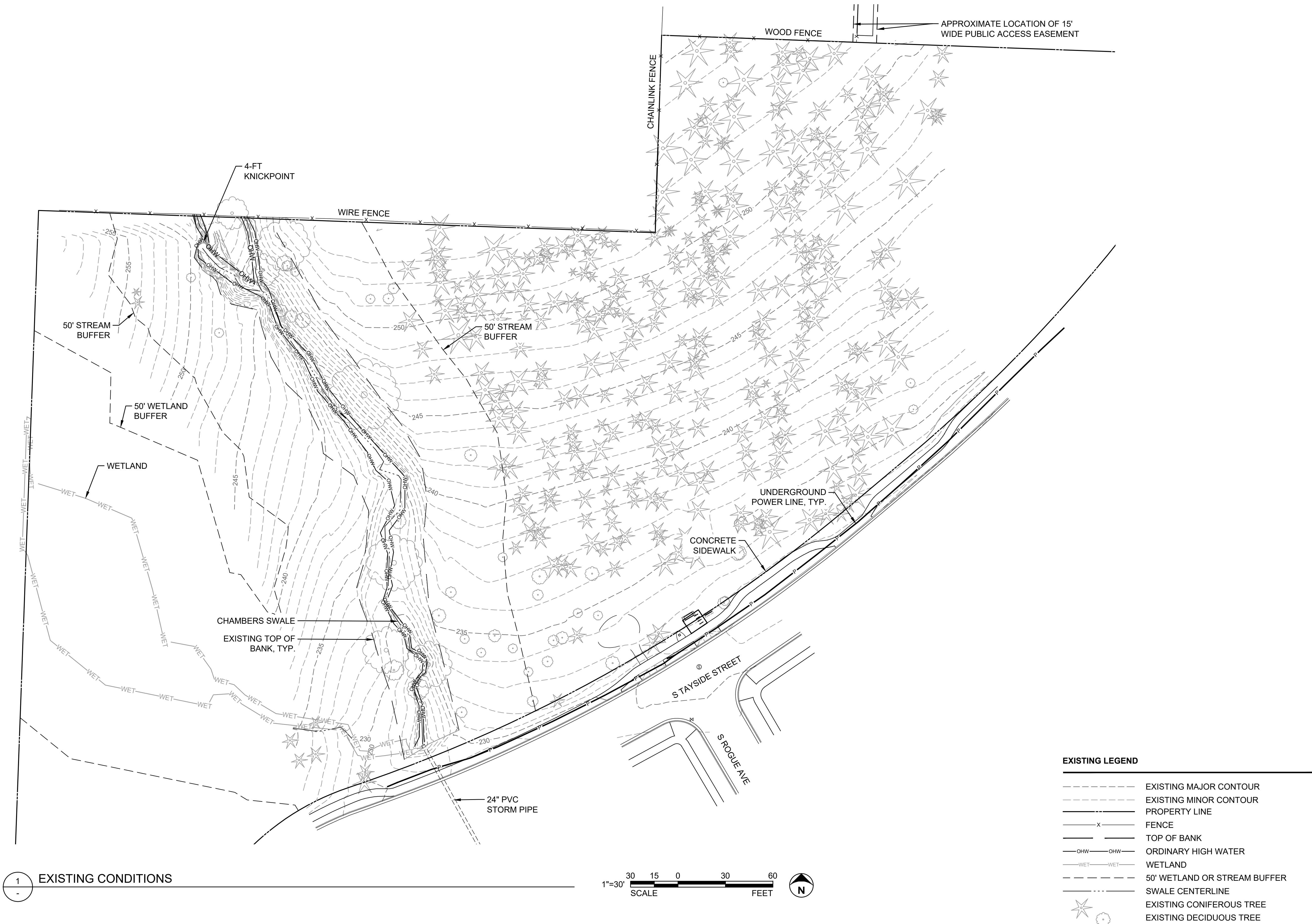
GENERAL NOTES

SHEET NUMBER

G1.0

SHEET 2 OF 20

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CITY OF *Salem*
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BAILEY RIDGE PARK

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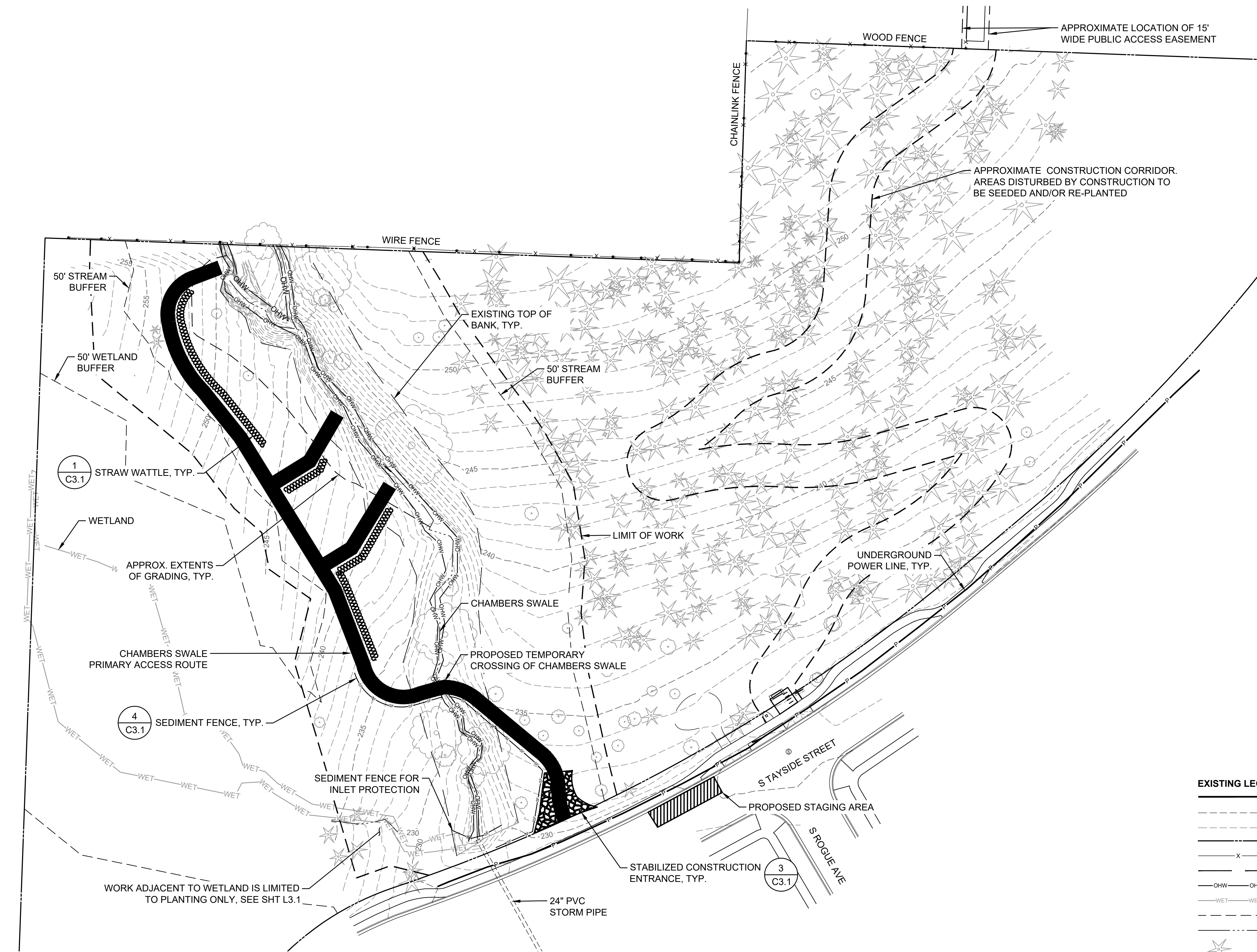
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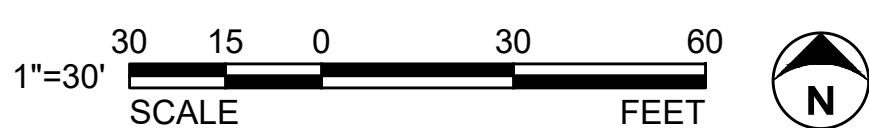
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C3.1

CONSTRUCTION ACCESS, STAGING, AND TESC PLAN



EXISTING LEGEND

- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPERTY LINE
- FENCE
- TOP OF BANK
- ORDINARY HIGH WATER
- WETLAND
- 50' WETLAND OR STREAM BUFFER
- SWALE CENTERLINE
- EXISTING CONIFEROUS TREE
- EXISTING DECIDUOUS TREE
- STRAW WATTLE
- SEDIMENT FENCE
- CONSTRUCTION ACCESS
- STAGING AREA

TESC NOTES

1. THE TESC PLAN IS A SUGGESTED LAYOUT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING ALL TEMPORARY EROSION CONTROL MEASURES. THE EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND PERFORMANCE OF THE TEMPORARY EROSION CONTROL MEASURES THROUGHOUT THE DURATION OF THE PROJECT.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MANAGING CONSTRUCTION ACTIVITIES TO ENSURE THAT PUBLIC STREETS AND RIGHT-OF-WAYS ARE KEPT CLEAN OF MUD, DUST, AND DEBRIS. DUST ABATEMENT SHALL BE MAINTAINED BY ADEQUATE WATERING OF THE SITE BY THE CONTRACTOR OR OTHER APPLICABLE BMPs.
3. THE FINAL STAGING AND STOCKPILING AREAS SHALL BE SELECTED IN THE FIELD BY THE CONTRACTOR IN COORDINATION WITH THE CITY OF SALEM. NO STAGING ALLOWED WITHIN THE OHW OF CHAMBERS SWALE.
4. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING TREES AND THEIR ROOT SYSTEMS AS SHOWN IN THESE PLANS. THE CONTRACTOR SHALL BEAR ALL COSTS FOR DAMAGE OR REMOVAL OF TREES TO THE APPROVAL OF THE OWNER.

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**BAILEY
RIDGE PARK**

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SHEET TITLE

**CONSTRUCTION
ACCESS, STAGING,
AND TESC PLAN**

SHEET NUMBER

G3.0

SHEET 4 OF 20

FILE: P:\01 CAD\2022\xxxx\202200371.02 - City of Salem Bailey Ridge Park\DWG\G4.0 DEMOLITION & TREE PROTECTION.dwg PLOT DATE: 1/24/2025 4:08:25 PM PLOTTED BY: THOMAS FISCHER

DEMOLITION GENERAL NOTES

1. THE CONTRACTOR SHALL SUBMIT A SITE ACCESS PLAN INCLUDING IDENTIFICATION OF STAGING AND STOCKPILE AREAS FOR APPROVAL BY OWNER PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
1. THE CONTRACTOR SHALL INCLUDE IN THE BID THE COST OF REMOVING ANY EXISTING SITE FEATURES AND APPURTENANCES NECESSARY TO ACCOMPLISH THE CONSTRUCTION OF THE PROPOSED SITE IMPROVEMENTS. THE CONTRACTOR SHALL ALSO INCLUDE IN THE BID THE COST NECESSARY TO RESTORE SUCH ITEMS IF THEY ARE SCHEDULED TO REMAIN AS PART OF THE FINAL SITE IMPROVEMENTS.
2. THE CITY OF SALEM RESERVES THE RIGHT TO REVIEW ALL MATERIALS DESIGNATED FOR REMOVAL AND TO RETAIN OWNERSHIP OF SUCH MATERIALS. IF THE OWNER RETAINS ANY MATERIAL THE CONTRACTOR SHALL MAKE ARRANGEMENTS WITH THE OWNER TO HAVE THOSE MATERIALS REMOVED OFF SITE AT NO ADDITIONAL COST. SALVAGED ITEMS ARE TO BE PROVIDED TO THE CITY OF SALEM.
3. UNLESS SPECIFICALLY NOTED TO BE PRESERVED, STOCKPILED, REUSED, OR RELOCATED, ALL SITE FEATURES SHALL BE REMOVED TO FULL DEPTH WITH THEIR FOOTINGS, ATTACHMENTS, BASE MATERIAL, AND APPURTENANCES.
4. REMOVED MATERIAL SHALL BE TRANSPORTED FROM THE SITE AND DISPOSED OF IN A LAWFUL MANNER AT AN ACCEPTABLE DISPOSAL SITE AND AT NO ADDITIONAL COST TO THE OWNER.
5. ALL EXISTING SITE FEATURES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PERIOD. ANY FEATURES DAMAGED DURING CONSTRUCTION OPERATIONS SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT NO ADDITIONAL COST.
6. DURING EARTHWORK OPERATIONS, CONTRACTOR SHALL TAKE CARE TO NOT DISTURB EXISTING MATERIALS TO REMAIN, OUTSIDE THE LIMITS OF EXCAVATION AND BACKFILL AND SHALL TAKE WHATEVER MEASURES NECESSARY, AT THE CONTRACTOR'S EXPENSE, TO PREVENT ANY EXCAVATED MATERIAL FROM COLLAPSING. ALL BACKFILL MATERIALS SHALL BE PLACED AND COMPACTED AS SPECIFIED TO THE SUBGRADE REQUIRED FOR THE INSTALLATION OF THE REMAINDER OF THE CONTRACT WORK.
7. 'CLEAR AND GRUB VEGETATION' SHALL INCLUDE REMOVAL OF ALL VEGETATIVE MATERIAL INCLUDING GRASS, SHRUBS, UNDERBRUSH, AND REMOVAL OF ROOTS. REMOVE ALL ORNAMENTAL SHRUBS AND GROUNDCOVER AS SHOWN ON PLANS, INCLUDING ROOTS AND STUMPS, UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE.
8. TREES DESIGNATED FOR REMOVAL SHALL BE TAGGED BY CONTRACTOR AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF CONSTRUCTION.
9. ANY EXISTING TREES NOT TAGGED FOR REMOVAL SHALL BE PROTECTED DURING CONSTRUCTION ACTIVITIES.
10. THE STORAGE OF MATERIALS AND EQUIPMENT WILL BE PERMITTED AT LOCATIONS APPROVED BY THE CITY OF SALEM OR OWNER'S REPRESENTATIVE. PROTECTION OF STORED MATERIALS AND EQUIPMENT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
11. STRIP & STORE EXISTING TOPSOIL FOR LATER REUSE WHERE APPROPRIATE, AND AS NOTED ON PLAN, WITH APPROPRIATE EROSION AND SEDIMENT CONTROLS. DO NOT STRIP EXISTING TOPSOIL WITHIN DRIP IRRIGATION ZONES.

TREE PROTECTION NOTES

1. CONTRACTOR SHALL PRESERVE AND PROTECT ALL TREES ON SITE UNLESS OTHERWISE NOTED.
2. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY SITE WORK AND SHALL REMAIN IN PLACE UNTIL SUBSTANTIAL COMPLETION IS ACCEPTED AND REMOVAL IS AUTHORIZED BY THE OWNER IN WRITING.
3. TREE PROTECTION FENCING SHALL BE MONITORED DAILY AND REPAIRED OR REPLACED IF DAMAGED.
4. CONTRACTOR MAY TEMPORARILY OPEN FENCE TO CONDUCT WORK SHOWN WITHIN TREE PROTECTION FENCING AREAS. UNDER NO CIRCUMSTANCES SHALL VEHICLES BE DRIVEN OR PARKED WITHIN FENCE LIMITS. FENCE SHALL BE REPLACED WHEN WORK IS COMPLETE OR AT THE END OF EACH DAY, WHICHEVER OCCURS FIRST. NO STORAGE OF MATERIALS WITH TREE PROTECTION. WORK WITHIN TREE PROTECTION TO BE COMPLETED USING HAND-TOOLS ONLY.
5. CONTRACTOR TO ACQUIRE APPROVAL FROM CITY OF SALEM ARBORIST PRIOR TO CUTTING ROOTS GREATER THAN 3-INCHES IN DIAMETER.
6. TREES IDENTIFIED FOR REMOVAL WITHIN THE CRITICAL ROOT ZONE OF TREES TO REMAIN SHALL BE REMOVED WITH CARE TO PROTECT ADJACENT TREES AND ROOTS. STUMPS SHALL BE GROUND MINIMUM 3-INCHES BELOW ADJACENT GRADE AND LEFT IN PLACE UNLESS THEY CONFLICT WITH SITE IMPROVEMENTS. CUT STUMPS SHALL HAVE NO EXPOSURE ABOVE FINISH GRADE.
7. TREES IDENTIFIED FOR REMOVAL OUTSIDE THE DRIPLINE OF OTHER TREES SHALL HAVE STUMPS GROUND TO A MINIMUM OF 3-INCHES BELOW GRADE AND/OR HAVE ROOT BALLS REMOVED AND LARGE ROOTS CUT TO FACILITATE SITE DEVELOPMENT. CONTRACTOR SHALL NOT REMOVE THE ROOTS OF ANY TREES WITHIN THE THE CRITICAL ROOT ZONE OF TREE TO REMAIN WITHOUT PRIOR WRITTEN APPROVAL OF THE CITY OF SALEM ARBORIST.
8. CONTRACTOR SHALL PRESERVE ON SITE LOGS GREATER THAN 12-INCH DBH AND 4-FOOT LENGTH FOR REUSE AS AS DESIRE LINE DECOMMISSIONING MATERIAL AS APPROVED BY OWNER'S REPRESENTATIVE.
9. PRIOR TO START OF CONSTRUCTION CONTRACTOR SHALL INSTALL TREE PROTECTION FENCING AND SET UP INSPECTION WITH CITY OF SALEM ARBORIST TO VERIFY IT HAS BEEN INSTALLED.



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RIDGE PARK

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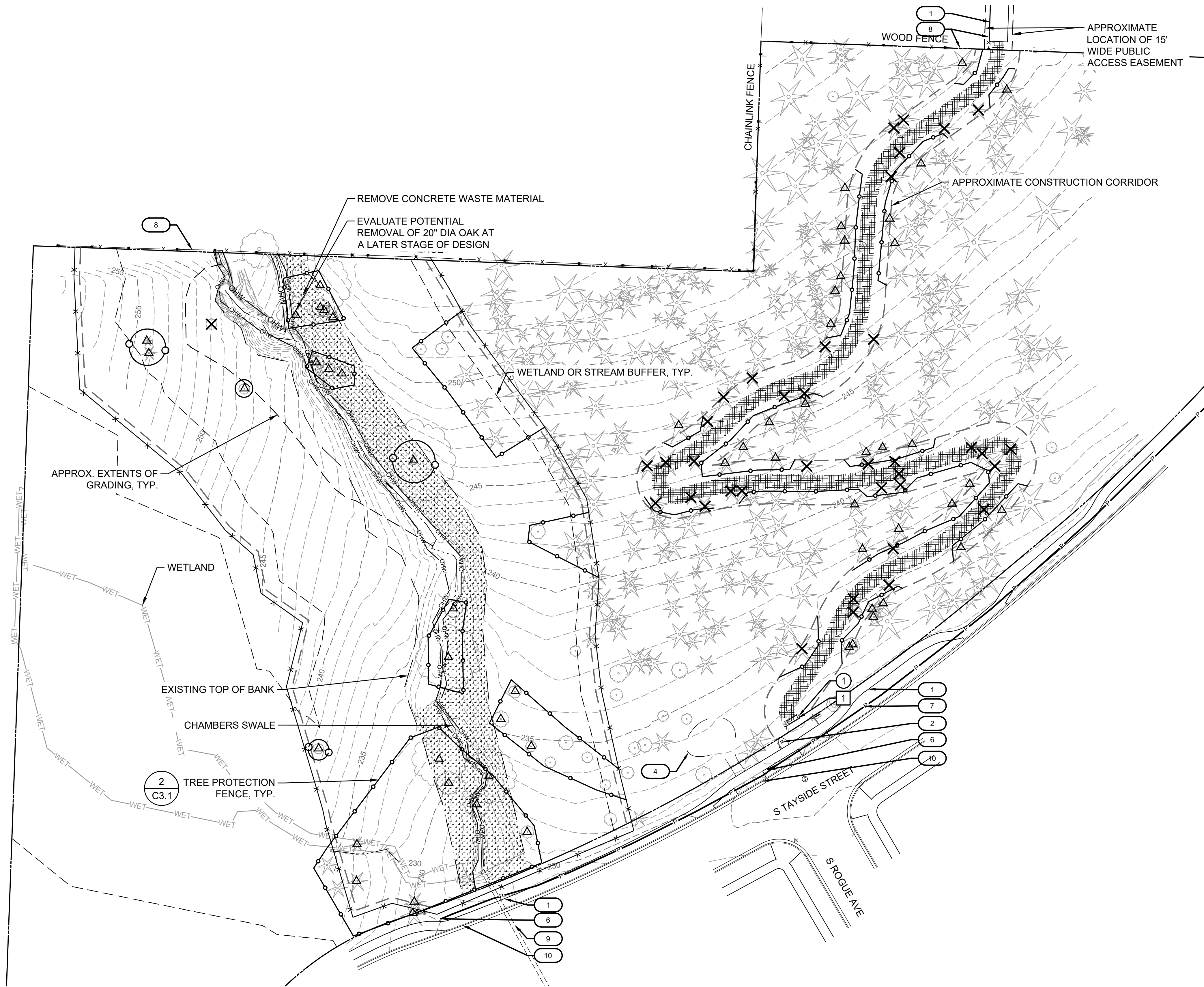
DEMOLITION & TREE
PROTECTION
NOTES

SHEET NUMBER

G4.0

SHEET 5 OF 20

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1 DEMOLITION AND TREE PROTECTION PLAN



EXISTING LEGEND

- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPERTY LINE
- FENCE
- TOP OF BANK
- ORDINARY HIGH WATER
- WETLAND
- 50' WETLAND OR STREAM BUFFER
- SWALE CENTERLINE
- EXISTING CONIFEROUS TREE
- EXISTING DECIDUOUS TREE

DEMOLITION KEYNOTES (NOT ALL NOTES APPEAR ON EACH SHEET)

- 1 REMOVE CONCRETE BENCH PAD

DEMOLITION LEGEND

- CLEAR AND GRUB, NO HEAVY EQUIPMENT. PROTECT (E) TREE ROOTS
- INVASIVE PLANT REMOVAL AREA
- TREE PROTECTION FENCE
- CONSTRUCTION FENCE

TREE DEMOLITION & PROTECTION LEGEND

- TREE PROPOSED FOR DEMOLITION
- TREE TO REMAIN

PROTECTION KEYNOTES (NOT ALL NOTES APPEAR ON EACH SHEET)

- 1 PROTECT IN PLACE CONCRETE/ASPHALT PAVING
- 2 PROTECT IN PLACE LITTLE LIBRARY & PAVERS
- 3 PROTECT IN PLACE INFORMATION BOARD
- 4 PROTECT IN PLACE GRAVEL PAVING
- 5 PROTECT IN PLACE PICNIC TABLE
- 6 PROTECT IN PLACE LIGHT POLE, TYP.
- 7 PROTECT IN PLACE UTILITIES, TYP.
- 8 PROTECT IN PLACE FENCE, TYP.
- 9 PROTECT IN PLACE STORM PIPE
- 10 PROTECT IN CURB AND GUTTER

SALVAGE KEYNOTES (NOT ALL NOTES APPEAR ON EACH SHEET)

- 1 SALVAGE BENCH, PROVIDE TO OWNER

SHEET NOTES

- 1. SEE SHEET G4.0 FOR DEMOLITION AND TREE PROTECTION GENERAL NOTES.
- 2. SEE SHEET G1.0 FOR GENERAL PROJECT NOTES.

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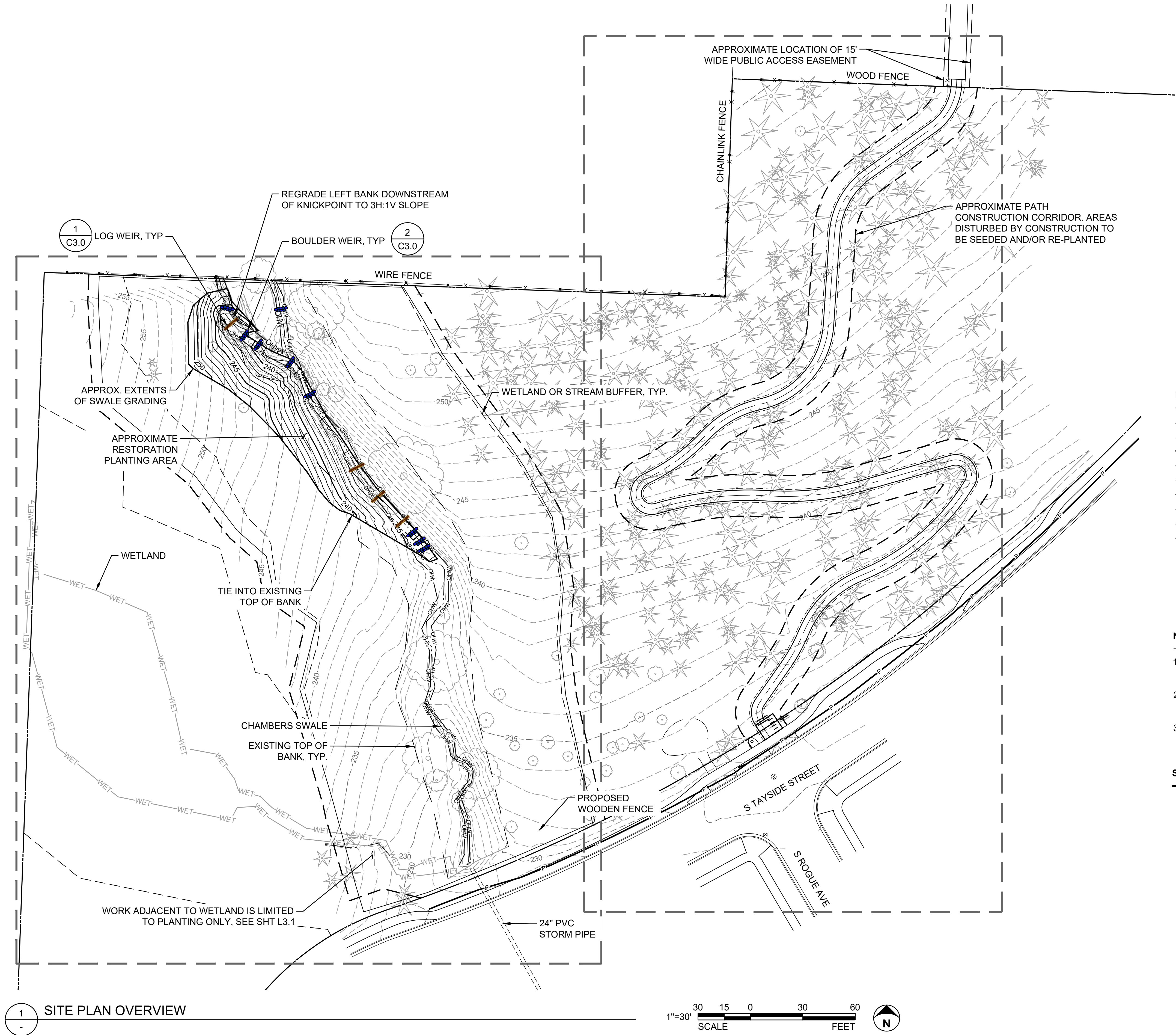
DEMOLITION & TREE
PROTECTION PLAN

SHEET NUMBER

G4.1

SHEET 6 OF 20

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EXISTING LEGEND

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- WETLAND
- 50' WETLAND OR STREAM BUFFER
- SWALE CENTERLINE
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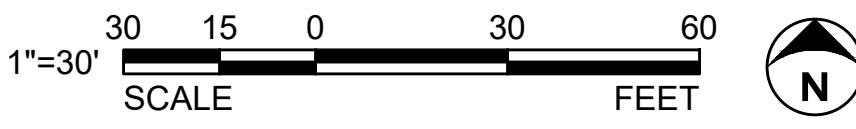
NOTES

- THE RIGHT BANK OF CHAMBERS SWALE SHALL BE REGRADED TO A STABLE SLOPE OF 3 HORIZONTAL TO 1 VERTICAL.
- THE LEFT BANK OF CHAMBERS SWALE WILL UNDERGO MINIMAL GRADING TO AVOID DISTURBING ESTABLISHED TREES.
- TREES PROPOSED FOR DEMOLITION ARE APPROXIMATE AND SUBJECT TO CHANGE WITH PLAN DEVELOPMENT.

STREAM STABILIZATION LEGEND

- BOULDER WEIR
- LOG WEIR

1 SITE PLAN OVERVIEW



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OWNER

CITY OF *Salem*
AT YOUR SERVICE

BAILEY
RIDGE PARK

TAXLOT NUMBER:
083W06CC13900

PROJECT NAME

REVISIONS

#	DATE	DESCRIPTION

DRAWN MFN/TTF
CHECKED MAC
APPROVED BY MAC

PROJECT # D202200371.02

ISSUE DATE JANUARY 2025

SCALE IS AS SHOWN WHEN
PLOTTED TO FULL SIZE (22"x34")
1" = 30'

PHASE
30% CONSTRUCTION
DOCUMENTATION

SHEET TITLE

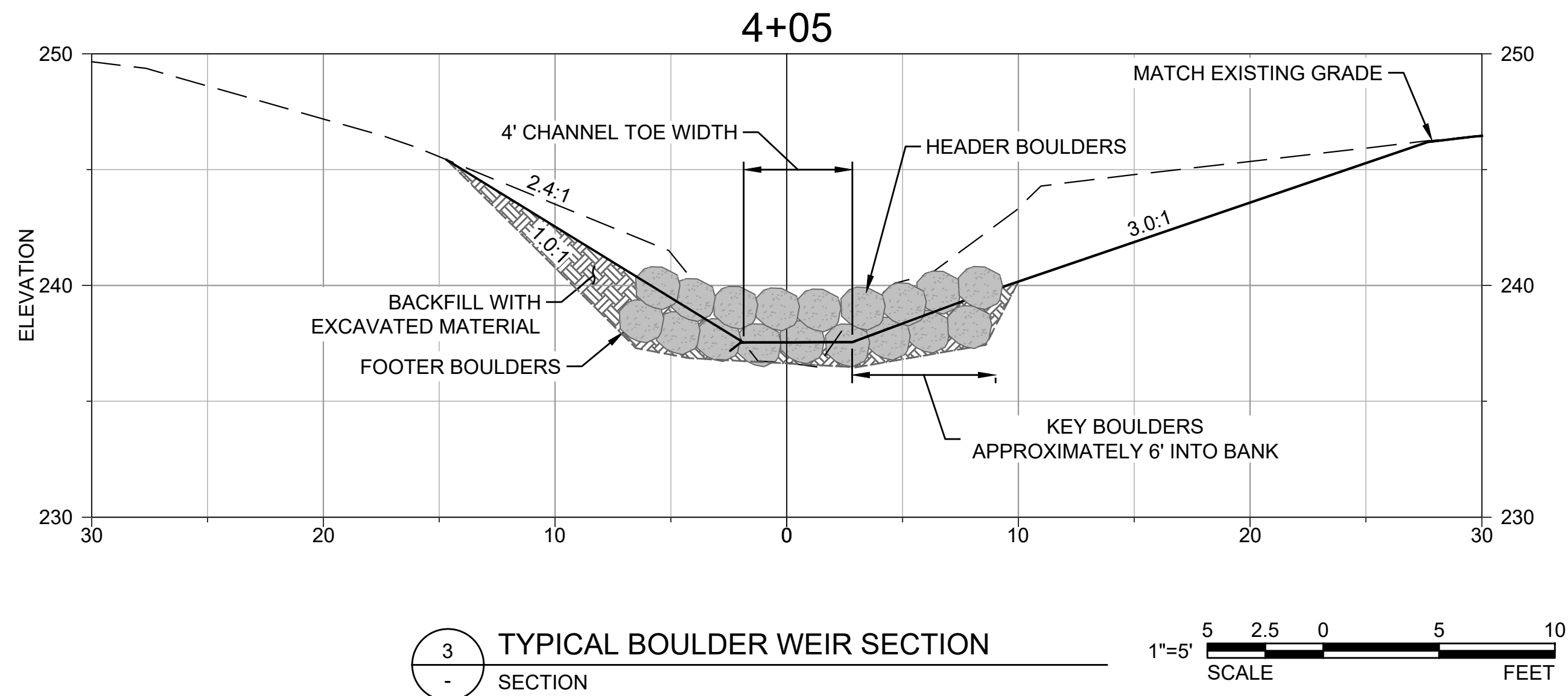
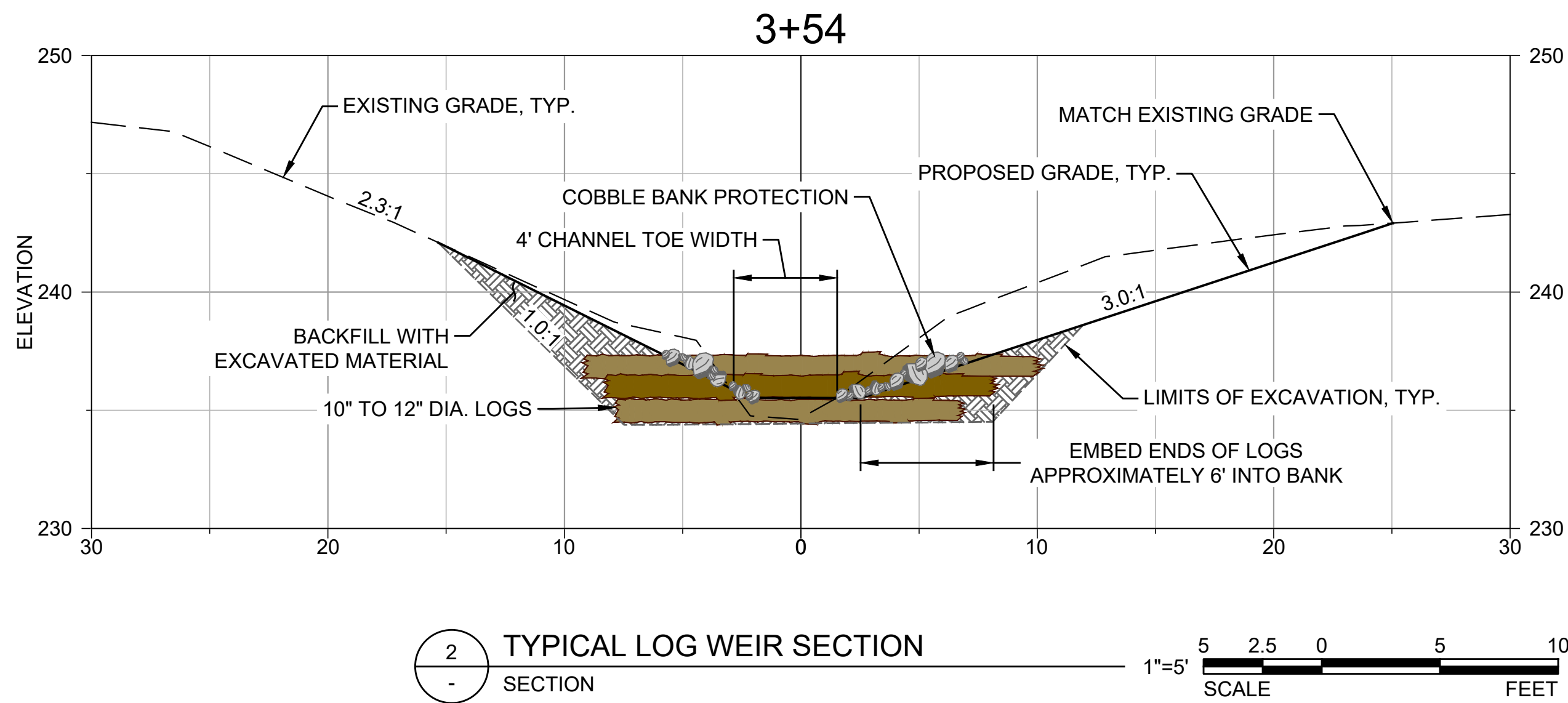
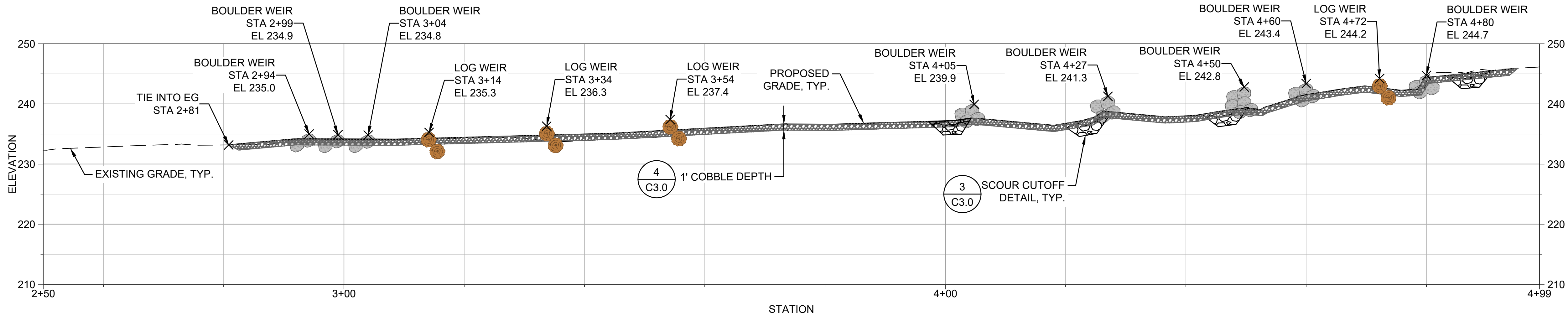
SITE PLAN

SHEET NUMBER

C1.0

SHEET 7 OF 20

FILE: P:\01 CAD\2022\22xxxx\202200371.02 - City of Salem Bailey Ridge Park\DWG\C2.0 SWALE PROFILE AND SECTIONS.dwg PLOT DATE: 1/24/2025 4:09:03 PM PLOTTED BY: THOMAS FISCHER



NOTES

- ALL SECTIONS ARE ORIENTED LOOKING DOWNSTREAM.
- SEE SHEET C3.0 FOR ADDITIONAL DROP STRUCTURE DETAILS.
- SEE SHEET C3.0 FOR STREAMBED COBBLE / SEDIMENT MIX INSTALLATION INSTRUCTIONS.



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CHECKED	MAC
APPROVED BY	MAC

PROJECT # D202200371.02

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PHASE
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DOCUMENTATION

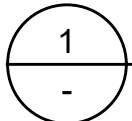
SHEET TITLE

SWALE PROFILE
AND SECTIONS

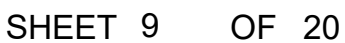
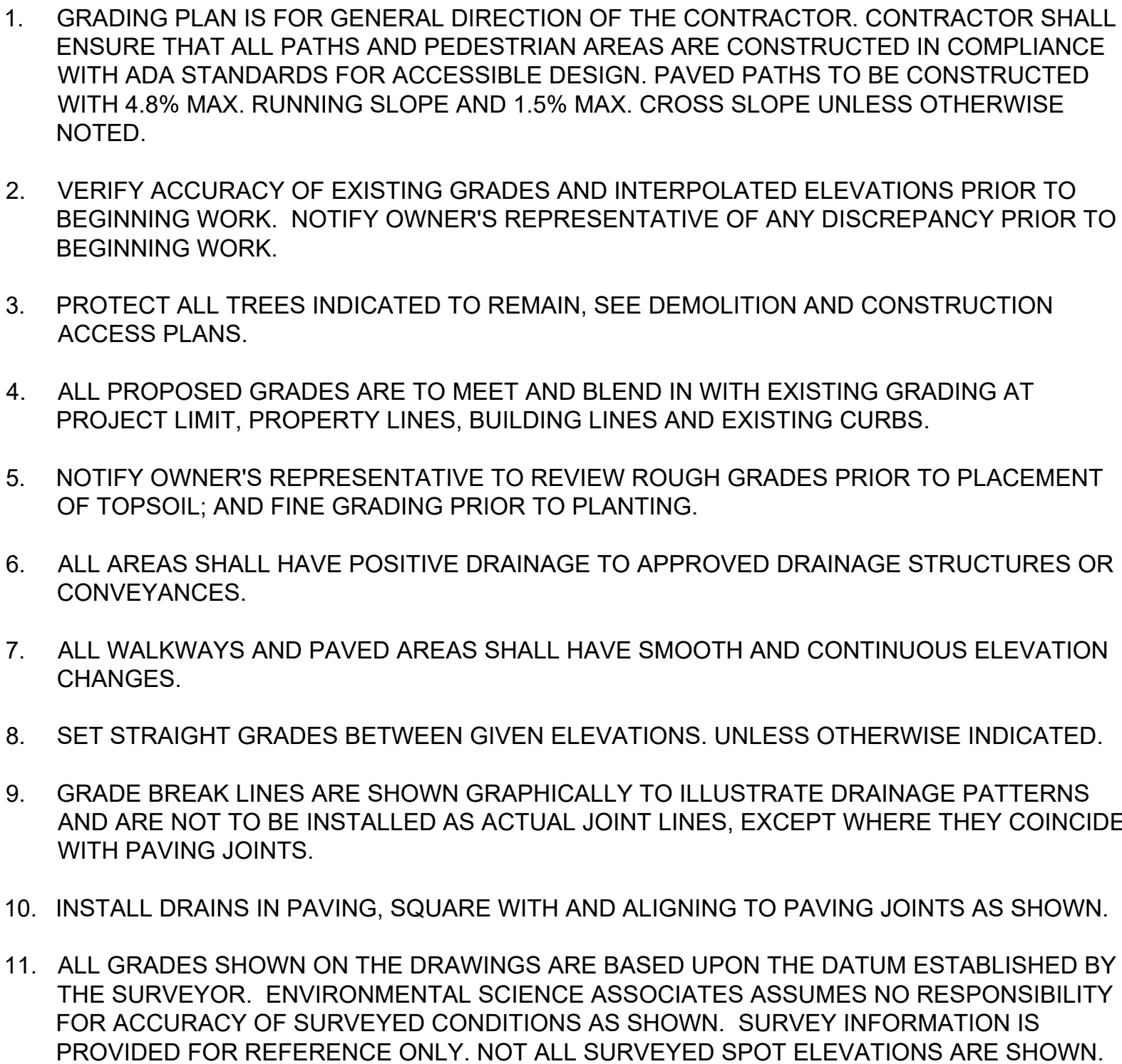
SHEET NUMBER

C2.0

SHEET 8 OF 20



20 10 0 20 40
1"=20'
SCALE FEET



FILE: P:\01 CAD\2022\xxxx\1D202200371.02 - City of Salem Bailey Ridge Park\DWG\L2.0 PATH MATERIALS AND LAYOUT PLAN.dwg PLOT DATE: 1/24/2025 4:09:36 PM PLOTTED BY: THOMAS FISCHER

EXISTING LEGEND

- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPERTY LINE
- FENCE
- TOP OF BANK
- ORDINARY HIGH WATER
- WETLAND
- 50' WETLAND OR STREAM BUFFER
- SWALE CENTERLINE
- EXISTING CONIFEROUS TREE
- EXISTING DECIDUOUS TREE

MATERIALS GENERAL NOTES:

- CONTRACTOR TO NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN PLANS AND EXISTING CONDITIONS BEFORE STARTING WORK.
- SEE SHEET G4.1 FOR TREE PROTECTION.

MATERIALS LEGEND (NOT ALL HATCHES APPEAR ON EACH SHEET)

- | DETAIL/SHEET | | |
|--------------|-----------------------------|---------------|
| 1 / L5.0 | ASPHALT PAVING | |
| 2 / L5.0 | CONCRETE PAVING | |
| 2 / L5.1 | DESIRE LINE DECOMMISSIONING | |
| - | PA | PLANTING AREA |

DETAIL KEYNOTES (NOT ALL NOTES APPEAR ON EACH SHEET)

- | DETAIL/SHEET | KEYNOTE # |
|--------------|----------------------------------|
| 3 / L5.0 | 1.1 BICYCLE RACK |
| 4 / L5.0 | 1.2 DEER BROWSE FENCE (1,070 LF) |

LAYOUT ABBREVIATIONS

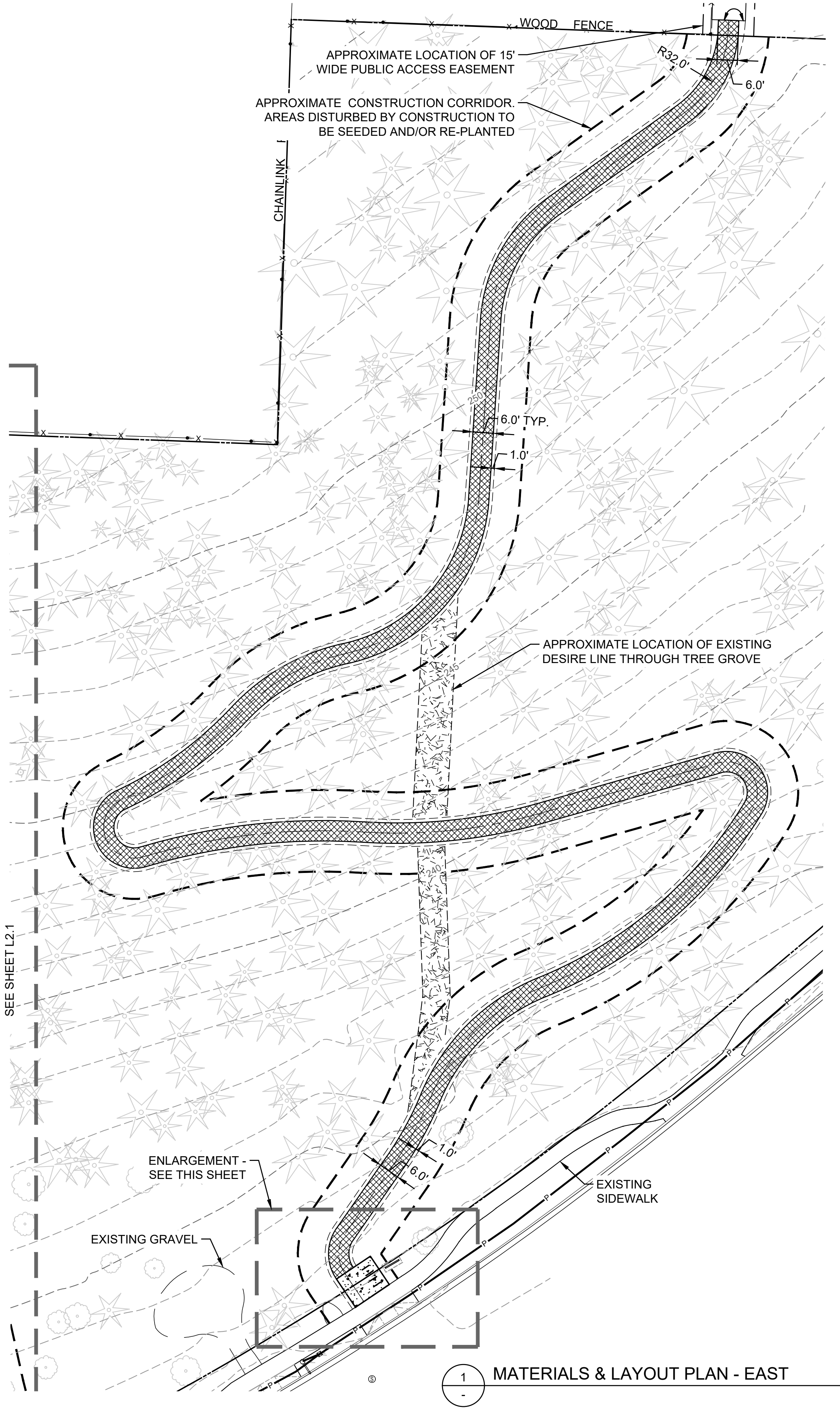
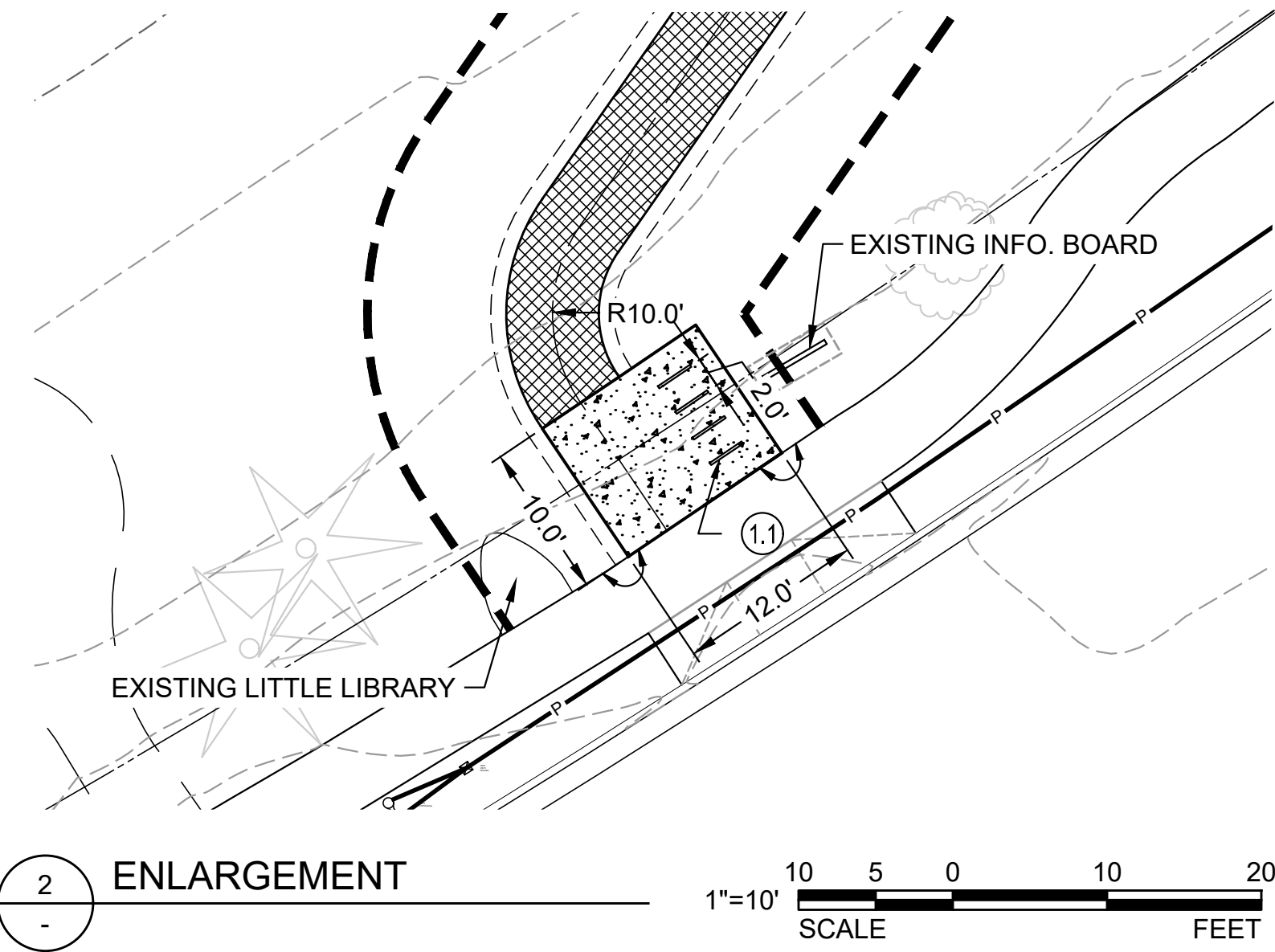
- AL ALIGN
- CC COMPOUND CURVE
- CL CENTERLINE
- CP CENTERPOINT
- E EASTING
- EJ EXPANSION JOINT
- EQ EQUAL
- N NORTHING
- PC POINT OF CURVATURE
- POB POINT OF BEGINNING
- PT POINT OF TANGENCY
- R RADIUS
- RC REVERSE CURVE
- SJ CONTRACTION / SCORE JOINT
- SP SPOT
- TYP TYPICAL
- VIF VERIFY IN FIELD

LAYOUT LEGEND

- WORK LIMIT LINE
- CENTERLINE
- ALIGN

LAYOUT GENERAL NOTES

- DO NOT SCALE FROM DRAWINGS. THE LOCATION OF FEATURES NOT SPECIFICALLY DIMENSIONED MAY NOT BE DETERMINED BY SCALE.
- IF CONFLICTS ARISE IN THE FIELD, CONTACT OWNER'S REPRESENTATIVE IMMEDIATELY FOR RESOLUTION.
- ALL CURVED WALKS AND CURBS SHALL HAVE SMOOTH, CONTINUOUS CURVES AS INDICATED.
- CONTRACTOR TO STAKE PAVING AND FURNISHINGS FOR OWNER'S REPRESENTATIVE'S APPROVAL PRIOR TO INSTALLING FORMWORK.
- OWNER'S REPRESENTATIVE TO APPROVE FORMWORK FOR PAVING, CURBS, AND FURNISHINGS PRIOR TO PLACING CONCRETE.



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DRAWN	MFN/TTF
CHECKED	MAC
APPROVED BY	MAC

PROJECT #	D202200371.02
ISSUE DATE	JANUARY 2025

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1" = 1"

PHASE
30% CONSTRUCTION
DOCUMENTATION

SHEET TITLE

MATERIALS &
LAYOUT PLAN -
EAST

SHEET NUMBER

L2.0

SHEET 10 OF 20

FILE: P:\01 CAD\2022\22xxxx\202200371.02 - City of Salem Bailey Ridge Park\DWG\L2.0 PATH MATERIALS AND LAYOUT PLAN.dwg PLOT DATE: 1/24/2025 4:09:43 PM PLOTTED BY: THOMAS FISCHER

EXISTING LEGEND

- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPERTY LINE
- FENCE
- TOP OF BANK
- ORDINARY HIGH WATER
- WETLAND
- 50' WETLAND OR STREAM BUFFER
- SWALE CENTERLINE
- EXISTING CONIFEROUS TREE
- EXISTING DECIDUOUS TREE

SHEET NOTES:

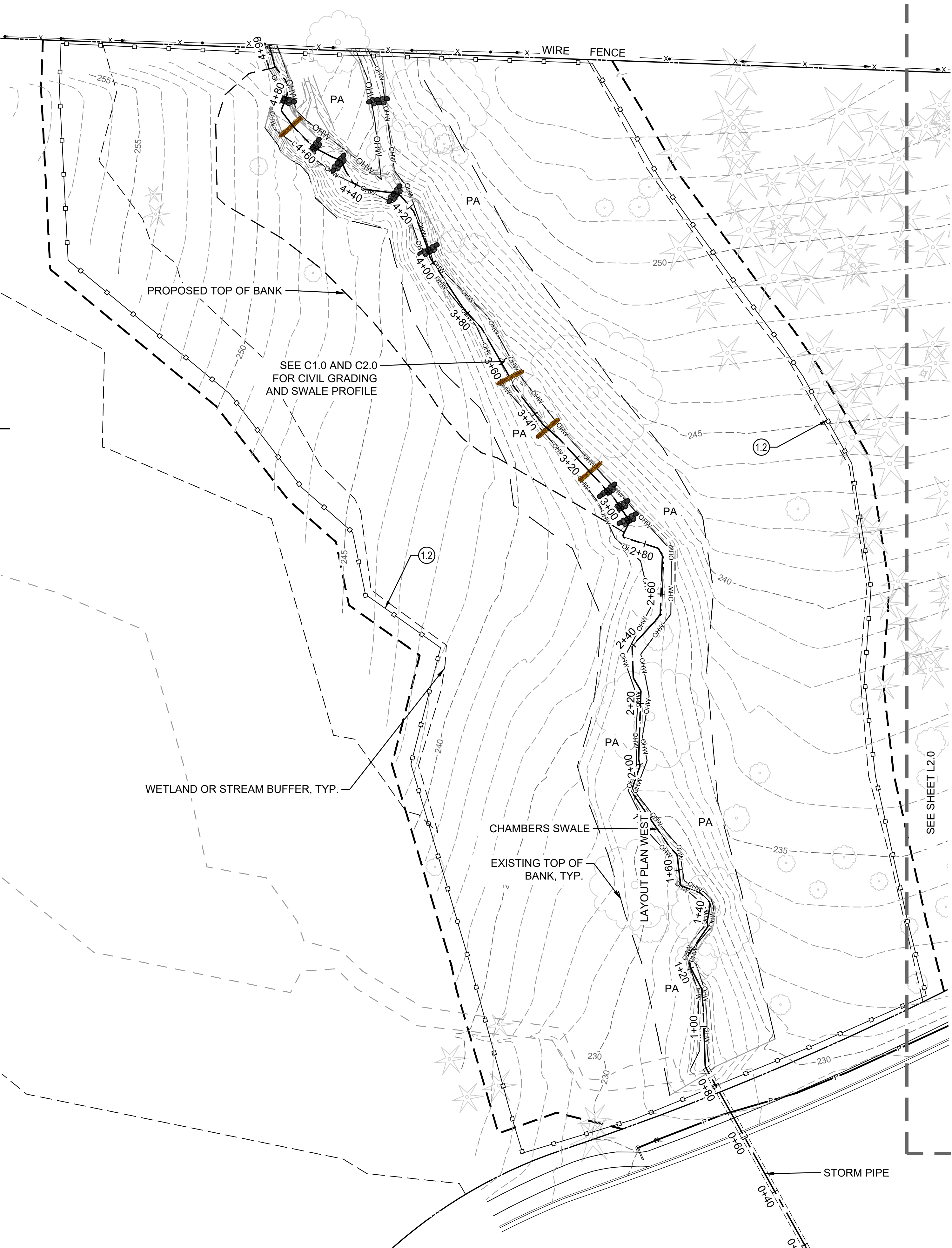
- SEE SHEET L2.0 MATERIALS NOTES.
- SEE SHEET L2.0 LAYOUT NOTES.

MATERIALS LEGEND (NOT ALL HATCHES APPEAR ON EACH SHEET)

- DETAIL/SHEET
- 1 / L5.0 ASPHALT PAVING
 - 2 / L5.0 CONCRETE PAVING
 - 2 / L5.1 DESIRE LINE DECOMMISSIONING
 - PA PLANTING AREA

DETAIL KEYNOTES (NOT ALL NOTES APPEAR ON EACH SHEET)

- DETAIL/SHEET KEYNOTE #
- 3 / L5.0 (1.1) BICYCLE RACK
 - 4 / L5.0 (1.2) DEER BROWSE FENCE (1,070 LF)



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PHASE
30% CONSTRUCTION
DOCUMENTATION

SHEET TITLE

MATERIALS &
LAYOUT PLAN -
WEST

SHEET NUMBER

L2.1

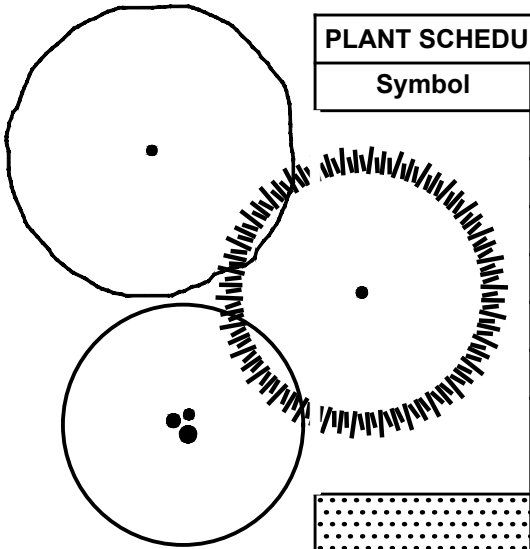
SHEET 11 OF 20

1 MATERIALS & LAYOUT PLAN - WEST



PLANTING NOTES

1. ALL PLANTING AND SEEDING AREAS ARE TO RECEIVE INVASIVE PLANT REMOVAL. INVASIVE PLANTS TO BE REMOVED BY HAND TOOLS ONLY. NO EXISTING TREE ROOTS SHALL BE IMPACTED.
2. CONTRACTOR TO VERIFY LOCATION OF EXISTING TREES INDICATED TO REMAIN PRIOR TO SOIL PREPARATION. PROTECT ALL TREES AND SHRUBS INDICATED TO REMAIN. COORDINATE WITH THE OWNER'S REPRESENTATIVE.
3. PLANTING AREAS TO BE SUFFICIENTLY CLEANED OF ALL CONSTRUCTION MATERIALS, INCLUDING IMPORTED ROCK, TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE BEFORE BEGINNING ANY LANDSCAPE WORK.
4. IDENTIFY ALL PLANTING AREAS IN FIELD WITH WHITE FIELD-MARKING CHALK OR APPROVED EQUAL. PLANTING BEDS TO BE ADJUSTED AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO PLANT LOCATION.
5. FOR PLANTING OCCURRING IN MASSES OF SAME SPECIES PLANT, LABELING REFERS TO ALL ADJACENT IDENTICAL SYMBOLS. REFER TO DETAILS AND LEGEND FOR SPACING INFORMATION.
6. THE OWNER'S REPRESENTATIVE WILL APPROVE INDIVIDUAL PLANT MATERIAL AND LOCATION OF PLANT MATERIAL PRIOR TO INSTALLATION. REFER TO SPECIFICATIONS FOR PROCEDURE.
7. PROVIDE ROOT BARRIER AT HARDSCAPE EDGES FOR ALL TREES WITHIN 5' OF PAVING, CURBS, WALLS, BUILDINGS, UTILITY DUCTS AND OTHER APPURTENANCES. ROOT BARRIER TO EXTEND FOR EXTENTS OF TREE ROOT ZONE/CANOPY.
8. PLANT QUANTITIES INDICATED ARE FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. CONTRACTOR IS RESPONSIBLE FOR CONFIRMING PLANT QUANTITIES REQUIRED AND PLANT QUANTITIES AND LOCATIONS SHOWN ON DRAWINGS.
9. PROVIDE COIR MAT ON ALL SLOPES WITH GRADIENT OF 3:1 OR GREATER AS DIRECTED IN THE FIELD BY THE OWNER'S REPRESENTATIVE. STAPLE FABRIC TO GROUND WITH METAL STAKES AT 4' O.C.
10. HOLD PLANTINGS BACK 18 INCHES FROM EDGE OF PAVING. EXTEND FULL 3 INCH DEPTH MULCH TO EDGE OF PAVING IN PLANTING AREAS.



PLANT SCHEDULE: OAK SAVANNAH							0.9	Acres
Symbol	Botanical Name	Common Name	% of Mix	Spacing	Type	Size	Quantity	
	Trees							
	Quercus garryana	Gary Oak	N/A	AS SHOWN	Bareroot	1" CAL	17	
	Pinus ponderosa	Ponderosa pine	N/A	AS SHOWN	Bareroot	1" CAL	18	
	Arbutus madrona	Pacific madrone	N/A	AS SHOWN	Bareroot	1" CAL	15	
	Seed - Upland Savanna Economy Mix							
	PT Lawn Seed 453 Native Dry Prairie Mix, 50% grasses, 40% perennial flowers, 10% annual flowers							
	Botanical Name	Common Name	Application Rate (Pounds PLS/Acre)					
	California Oatgrass	Danthonia californica	According to manufacturer					
	Roemer's Fescue	Festuca roemerii	According to manufacturer					
	Prairie Junegrass	Koeleria macrantha	According to manufacturer					
	Pine Bluegrass	Poa secunda (P. scabrella)	According to manufacturer					
	Meadow Checkermallow	Sidalcea campestris	According to manufacturer					
	Rose Checkermallow	Sidalcea malviflora ssp virgata	According to manufacturer					
	Western Buttercup	Ranunculus occidentalis	According to manufacturer					
	Oregon Sunshine	Eriophyllum lanatum	According to manufacturer					
	Western Yarrow	Achillea millefolium	According to manufacturer					
	Lance Self-heal	Prunella vulgaris v. lanceolata	According to manufacturer					
	Hall's Aster	Symphotrichum (Aster) hallii	According to manufacturer					
	Farewell to Spring	Clarkia amoena	According to manufacturer					
	Large-flowered Blue-eyed Mary	Collinsia grandiflora	According to manufacturer					
	Purple Godetia	Clarkia purpurea ssp. quadrivulnera	According to manufacturer					
	Large-flowered Collomia	Collomia grandiflora	According to manufacturer					
	Blue Field Gilia	Gilia capitata	According to manufacturer					
	Seablush/Rosy Plecritlis	Plectritis congesta	According to manufacturer					
	Showy Tarweed	Madia elegans	According to manufacturer					
	Purple Sanicle	Sanicula bipinnatifida	According to manufacturer					
			6	Total Pounds PLS/Acre				
	Planting Area Prep							SEE SPECIFICATIONS
	Topsoil							SEE SPECIFICATIONS
	Mulch							SEE SPECIFICATIONS

PLANT SCHEDULE: LIVE STAKES AT UNDISTURBED LOWER RIPARIAN							3,204	Square Feet
Symbol	Botanical Name	Common Name	% of Mix	Spacing	Type	Size	Quantity	
	Live Stakes							
	Cornus sericea	Red twig dogwood	16%	36" O.C.	LIVE STAKE	36" LENGTH	68	
	Physocarpus capitatus	Pacific ninebark	16%	36" O.C.	LIVE STAKE	36" LENGTH	68	
	Spiraea douglasii	Douglas spirea	16%	36" O.C.	LIVE STAKE	36" LENGTH	68	
	Salix hookeriana	Hooker's Willow	16%	36" O.C.	LIVE STAKE	36" LENGTH	68	
	Salix lucida ssp. lasiandra	Pacific Willow	16%	36" O.C.	LIVE STAKE	36" LENGTH	68	
	Salix sitchensis	Sitka Willow	16%	36" O.C.	LIVE STAKE	36" LENGTH	68	

PLANT SCHEDULE: LIVE STAKES AT SENSITIVE PLANTING AREA							2,221	Square Feet
Symbol	Botanical Name	Common Name	% of Mix	Spacing	Type	Size	Quantity	
	Live Stakes							
	Cornus sericea	Red twig dogwood	16%	5' O.C.	LIVE STAKE	36" LENGTH	19	
	Physocarpus capitatus	Pacific ninebark	16%	5' O.C.	LIVE STAKE	36" LENGTH	19	
	Spiraea douglasii	Douglas spirea	16%	5' O.C.	LIVE STAKE	36" LENGTH	19	
	Salix hookeriana	Hooker's Willow	16%	5' O.C.	LIVE STAKE	36" LENGTH	19	
	Salix lucida ssp. lasiandra	Pacific Willow	16%	5' O.C.	LIVE STAKE	36" LENGTH	19	
	Salix sitchensis	Sitka Willow	16%	5' O.C.	LIVE STAKE	36" LENGTH	19	

PLANT SCHEDULE: LOWER RIPARIAN							2,922	Square Feet
Symbol	Botanical Name	Common Name	% of Mix	Spacing	Type	Size	Quantity	
	Trees							
	Alnus rubra	Red Alder	33%	20' O.C.	CONTAINER	1 GAL	3	
	Fraxinus latifolia	Oregon Ash	33%	20' O.C.	CONTAINER	1 GAL	3	
	Salix lucida ssp. lasiandra	Pacific Willow	33%	20' O.C.	CONTAINER	1 GAL	3	
	Shrubs							
	Cornus sericea	Red twig dogwood	14%	5' O.C.	CONTAINER	1 GAL	20	
	Salix hookeriana	Hooker's Willow	14%	5' O.C.	CONTAINER	1 GAL	20	
	Salix lucida ssp. lasiandra	Pacific Willow	14%	5' O.C.	CONTAINER	1 GAL	20	
	Salix sitchensis	Sitka Willow	14%	5' O.C.	CONTAINER	1 GAL	20	
	Rubus spectabilis	Salmonberry	14%	5' O.C.	CONTAINER	1 GAL	20	
	Physocarpus capitatus	Pacific ninebark	14%	5' O.C.	CONTAINER	1 GAL	20	
	Spiraea douglasii	Douglas spirea	14%	5' O.C.	CONTAINER	1 GAL	20	
	Herbaceous							
	Beckmannia syzigachne	American Slough Grass	16%	30" O.C.	PLUG	10 CUBIC INCH	55	
	Carex obnupta	Slough Sedge	16%	30" O.C.	PLUG	10 CUBIC INCH	55	
	Glyceria striata	Fowl Mannagrass	16%	30" O.C.	PLUG	10 CUBIC INCH	55	
	Juncus effusus ssp. Pacificus	Pacific Rush	16%	30" O.C.	PLUG	10 CUBIC INCH	55	
	Juncus effusus ssp.		16%	30" O.C.	PLUG	10 CUBIC INCH	55	
	Juncus patens	Spreading Rush	16%	30" O.C.	PLUG	10 CUBIC INCH	55	

PLANT SCHEDULE: UPPER RIPARIAN							7,631	Square Feet
Symbol	Botanical Name	Common Name	% of Mix	Spacing	Type	Size	Quantity	
	Trees							
	Acer macrophyllum	Big Leaf Maple	16%	20' O.C.	CONTAINER	1" CAL	4	
	Corylus cornuta	Beaked Hazlenut	16%	20' O.C.	CONTAINER	1" CAL	4	
	Crataegus douglasii	Black Hawthorne	16%	20' O.C.	CONTAINER	1" CAL	4	
	Quercus garryana	Gary Oak	16%	20' O.C.	CONTAINER	1" CAL	4	
	Pinus ponderosa	Ponderosa pine	16%	20' O.C.	CONTAINER	1" CAL	4	
	Arbutus madrona	Pacific madrone	16%	20' O.C.	CONTAINER	1" CAL	4	
	Shrubs							
	Amelanchier alnifolia	Serviceberry	14%	5' O.C.	CONTAINER	1 GAL	51	
	Holodiscus discolor	Ocean Spray	14%	5' O.C.	CONTAINER	1 GAL	51	
	Mahonia aquifolium	Oregon Grape	14%	5' O.C.	CONTAINER	1 GAL	51	
	Physocarpus capitatus	Pacific Ninebark	14%	5' O.C.	CONTAINER	1 GAL	51	
	Symphoricarpos albus	Snowberry	14%	5' O.C.	CONTAINER	1 GAL	51	
	Spiraea douglasii	Douglas spirea	14%	5' O.C.	CONTAINER	1 GAL	51	
	Polystichum munitum	Sword fern	14%	5' O.C.	CONTAINER	1 GAL	51	
	Herbaceous							
	Achillea millefolium	Common Yarrow	14%	30" O.C.	PLUG	10 CUBIC INCH	190	
	Acmispon americanus var. americanus	American bird's-foot trefoil	14%	30" O.C.	PLUG	10 CUBIC INCH	190	
	Bromus sitchensis/carinatus	Alaska Brome	14%	30" O.C.	PLUG	10 CUBIC INCH	190	
	Elymus glaucus	Wild Rye	14%	30" O.C.	PLUG	10 CUBIC INCH	190	
	Hordeum brachyantherum	Meadow Barley	14%	30" O.C.	PLUG	10 CUBIC INCH	190	
	Potentilla gracilis	Slender Cinquefoil	14%	30" O.C.	PLUG	10 CUBIC INCH	190	
	Sidalcea campestris	Meadow Checkermallow	14%	30" O.C.	PLUG	10 CUBIC INCH	190	



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DOCUMENTATION

SHEET TITLE

PLANTING LEGENDS
& NOTES

SHEET NUMBER

L3.0

SHEET 12 OF 20

FILE: P:\01 CAD\2022\xxxx\202200371.02 - City of Salem Bailey Ridge Park\DWG\L3.1 PLANTING PLAN.dwg PLOT DATE: 1/24/2025 4:10:08 PM PLOTTED BY: THOMAS FISCHER



1 PLANTING PLAN

EXISTING LEGEND

- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPERTY LINE
- x - FENCE
- TOP OF BANK
- OHW OHW ORDINARY HIGH WATER
- WETLAND
- 50' WETLAND OR STREAM BUFFER
- SWALE CENTERLINE
- ★ EXISTING CONIFEROUS TREE
- EXISTING DECIDUOUS TREE

NOTES

- SEE SHEET L3.0 FOR PLANTING NOTES AND LEGENDS.
- SEE SHEET G4.1 FOR TREE DEMOLITION AND PROTECTION.

PLANTING LEGEND

- [Pattern] OAK SAVANNAH
- [Pattern] UPPER RIPARIAN PLANTING
- [Pattern] LOWER RIPARIAN PLANTING
- [Pattern] LIVE STAKES AT UNDISTURBED LOWER RIPARIAN
- [Pattern] LIVES STAKES AT SENSITIVE PLANTING AREA
- LIVE STAKE FASCINE AT OHW



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PLANTING PLAN

SHEET NUMBER

L3.1

SHEET 13 OF 20

FILE: P:\01 CAD\2022\xxxx\D202200371.02 - City of Salem Bailey Ridge Park\DWG\L4.1 IRRIGATION PLAN.dwg PLOT DATE: 1/24/2025 4:10:18 PM PLOTTED BY: THOMAS FISCHER

TBD

IRRIGATION EQUIPMENT

SYMBOL	DESCRIPTION
--------	-------------

<div>POC</div>	POINT OF CONNECTION TO WATER SUPPLY
----------------	-------------------------------------

<div>M</div>	WATER METER
--------------	-------------

<div></div>	IRRIGATION LATERAL - ABOVE GRADE, CLASS 200 PVC (NOT SHOWN)
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<div>----</div>	IRRIGATION MAINLINE - BELOW GRADE, 2-INCH SCH 40 PVC
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IRRIGATION NOTES

1. 1.IRRIGATION SYSTEM TO BE DESIGN BUILD BY CONTRACTOR.
2. CONTRACTOR TO SUBMIT IRRIGATION SYSTEM PLAN FOR WRITTEN APPROVAL FROM OWNERS REPRESENTATIVE PRIOR TO CONSTRUCTION.
3. THE CONTRACTOR SHALL INSPECT THE SITE AND VERIFY CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY OF ANY DISCREPANCIES AFFECTING SYSTEM PERFORMANCE PRIOR TO BEGINNING WORK.
4. INSTALL IRRIGATION SYSTEM IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES.
5. IRRIGATION LINES SHOWN WITHIN PAVED AREAS ARE FOR GRAPHIC CLARITY ONLY. IRRIGATION HEADS AND PIPES ARE TO BE PLACED WITHIN LANDSCAPED AREAS WITH THEIR LOCATIONS MODIFIED AS REQUIRED TO AVOID PLANT MATERIALS, UTILITIES, AND OTHER OBSTRUCTIONS. PLACE LINES IN COMMON TRENCHES WHERE POSSIBLE.
6. COORDINATE ALL IRRIGATION WORK WITH OTHER TRADES INVOLVED. COORDINATE IRRIGATION P.O.C. AND LOCATION OF AUTOMATIC CONTROLLER.
7. ALL VALVE BOXES WILL BE PLACED IN A MANNER WHICH FACILITATES ACCESS FOR MAINTENANCE. LOCATE VALVE BOXES IN PLANTING AREAS WHEREVER POSSIBLE. SIZE BOXES TO ACCOMMODATE COMPLETE VALVE ASSEMBLY INCLUDING UNIONS.
8. ALL COMPONENTS OF IRRIGATION SYSTEM SHALL BE INSTALLED AND ADJUSTED TO PROVIDE ADEQUATE COVERAGE AND ELIMINATE OVERSPRAY ONTO BUILDINGS, ROADS, AND WALKWAYS. CONTRACTOR IS RESPONSIBLE FOR PROVIDING A COMPLETE WORKING SYSTEM.
9. THIS SYSTEM REQUIRES A MINIMUM STATIC PRESSURE OF XX P.S.I. AND MAXIMUM FLOW OF XX GPM. THE P.O.C.S, HEAD LAYOUTS, AND ZONES ARE BASED ON THIS DATA AND DATA SHOWN IN THE IRRIGATION SCHEDULE. NOTIFY OWNER'S REPRESENTATIVE PRIOR TO COMMENCING WORK IF ACTUAL FIELD DATA DIFFERS FROM THIS INFORMATION.
10. IRRIGATION LATERALS ARE SIZED AT VALVE AND CONTINUING IN DIRECTION OF FLOW. REDUCTIONS IN PIPE SIZE ARE LABELED BEGINNING DOWNSTREAM OF NEAREST FITTING. ALL LATERALS ARE MINIMUM 1" OR SAME SIZE AS UPSTREAM PIPE UNLESS OTHERWISE NOTED.
11. ADJUST ALL MAINLINE ALIGNMENTS TO ENSURE THEY ARE NOT IN CONFLICT WITH PROPOSED PAVING. FIELD VERIFY ALIGNMENTS AND CONNECTION POINTS.
12. INSTALL ALL LATERAL LINES AS CLOSE TO THE HARDSCAPE AS POSSIBLE. AVOID TRENCHING NEAR EXISTING TREES TO BE PRESERVED.
13. INSTALL ALL IRRIGATION PIPES IN SCHEDULE 40 PVC SLEEVES BELOW ALL PAVED SURFACES. COORDINATE PLACEMENT OF SLEEVES WITH APPLICABLE TRADES.
14. CONTRACTOR SHALL REFER TO ANY APPLICABLE SPECIAL PROVISIONS INCLUDED AS PART OF THESE CONTRACT DOCUMENTS.
15. THE CONTRACTOR SHALL PERFORM A STATIC PRESSURE TEST AT THE EXISTING BACKFLOW BEFORE THE START OF WORK AND PROVIDE A SUBMITTAL TO THE LANDSCAPE ARCHITECT STATING PRESSURE AND LOCATION WITH PHOTOGRAPH OF PRESSURE GAUGE IN SUBMITTAL.
16. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ANY TEMPORARY IRRIGATION TO ESTABLISH PLANTING AS A PART OF THIS CONTRACT.
17. THE CONTRACTOR SHALL ADJUST IRRIGATION IN EXISTING IRRIGATED LAWN AREAS TO MAINTAIN HEAD-TO-HEAD COVERAGE.
18. THE CONTRACTOR SHALL CONFIRM LAYOUT AND LOCATIONS OF ALL VALVE BOXES WITH THE LANDSCAPE ARCHITECT OR CITY REPRESENTATIVE PRIOR TO INSTALLATION.
19. THE CONTRACTOR SHALL INSTALL BLOW OUT VALVE AFTER EACH DOUBLE CHECK VALVE AT THE END OF ALL NEWLY-INSTALLED MAINLINES. BLOW OUT VALVE SHALL BE QUICK COUPLER VALVE AS SHOWN ON THE IRRIGATION SCHEDULE, THIS SHEET.
20. FINAL LOCATION OF CONTROLLERS TO BE CONFIRMED IN THE FIELD BY OWNER OR OWNERS REPRESENTATIVE.



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PROJECT NAME

BAILEY
RIDGE PARK

TAXLOT NUMBER:
083W06CC13900

REVISIONS

#	DATE	DESCRIPTION
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DRAWN	TTF
CHECKED	MAC
APPROVED BY	MAC

PROJECT #	D202200371.02
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ISSUE DATE	JANUARY 2025
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SCALE IS AS SHOWN WHEN
PLOTTED TO FULL SIZE (22"x34")

1" = 1'

PHASE
30% CONSTRUCTION
DOCUMENTATION

SHEET TITLE

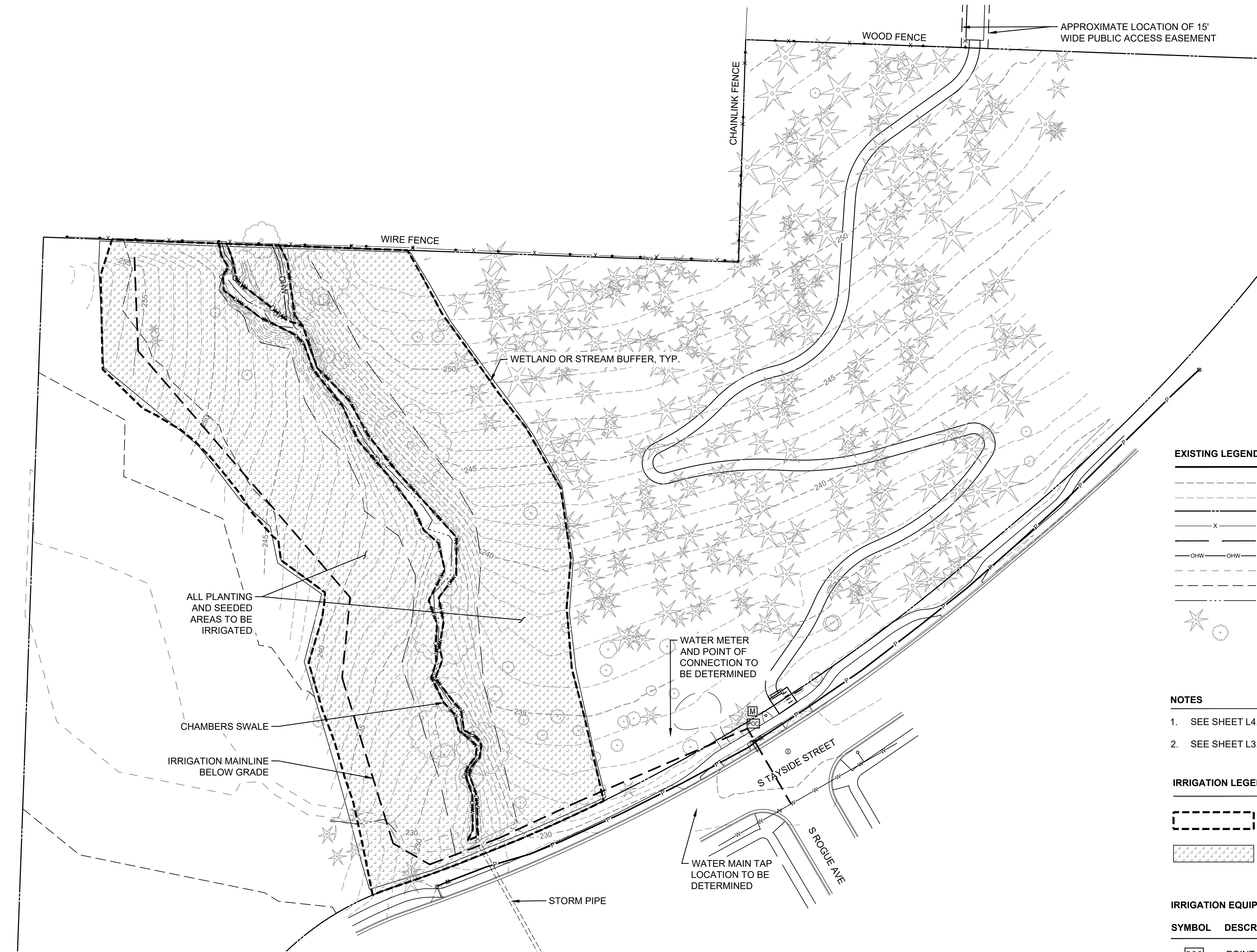
IRRIGATION LEGEND
& NOTES

SHEET NUMBER

L4.0

SHEET 14 OF 20

FILE: P:\01 CAD\2022\xxxx\202200371.02 - City of Salem Bailey Ridge Park\DWG\L4.1 IRRIGATION PLAN.dwg PLOT DATE: 1/24/2025 4:10:21 PM PLOTTED BY: THOMAS FISCHER



EXISTING LEGEND

- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPERTY LINE
- FENCE
- TOP OF BANK
- ORDINARY HIGH WATER
- WETLAND
- 50' WETLAND OR STREAM BUFFER
- SWALE CENTERLINE
- EXISTING CONIFEROUS TREE
- EXISTING DECIDUOUS TREE

NOTES

- SEE SHEET L4.0 FOR IRRIGATION NOTES AND LEGENDS.
- SEE SHEET L3.1 FOR PLANTING PLAN.

IRRIGATION LEGEND

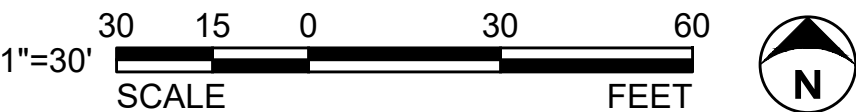
- TEMPORARY IRRIGATION AREA - 0.9 AC
- PLANTING OR SEEDING AREA

IRRIGATION EQUIPMENT

SYMBOL DESCRIPTION

- POINT OF CONNECTION TO WATER SUPPLY
- WATER METER
- IRRIGATION LATERAL - ABOVE GRADE, CLASS 200 PVC (NOT SHOWN)
- IRRIGATION MAINLINE - BELOW GRADE, 2-INCH SCH 40 PVC

1 IRRIGATION PLAN



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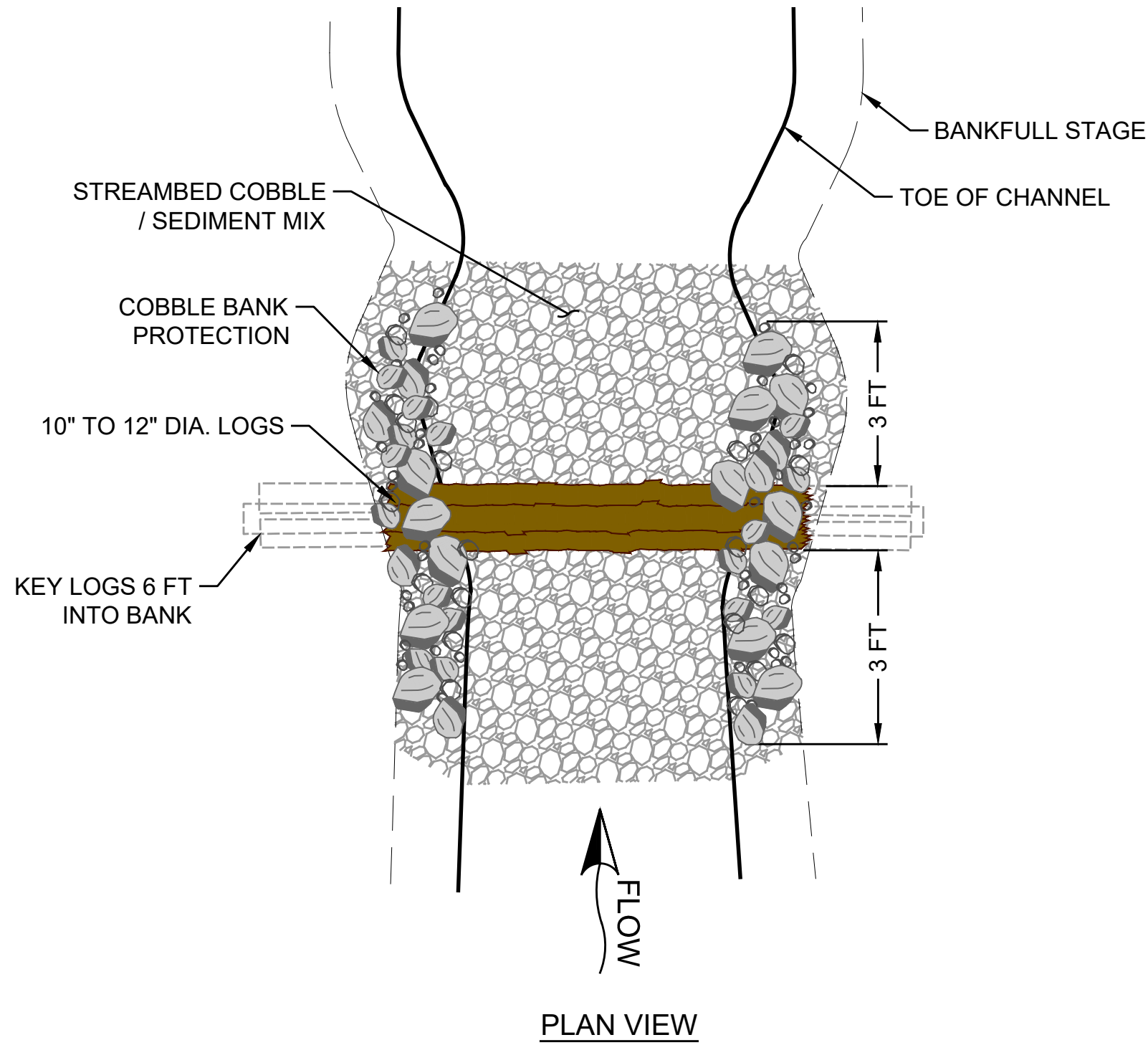
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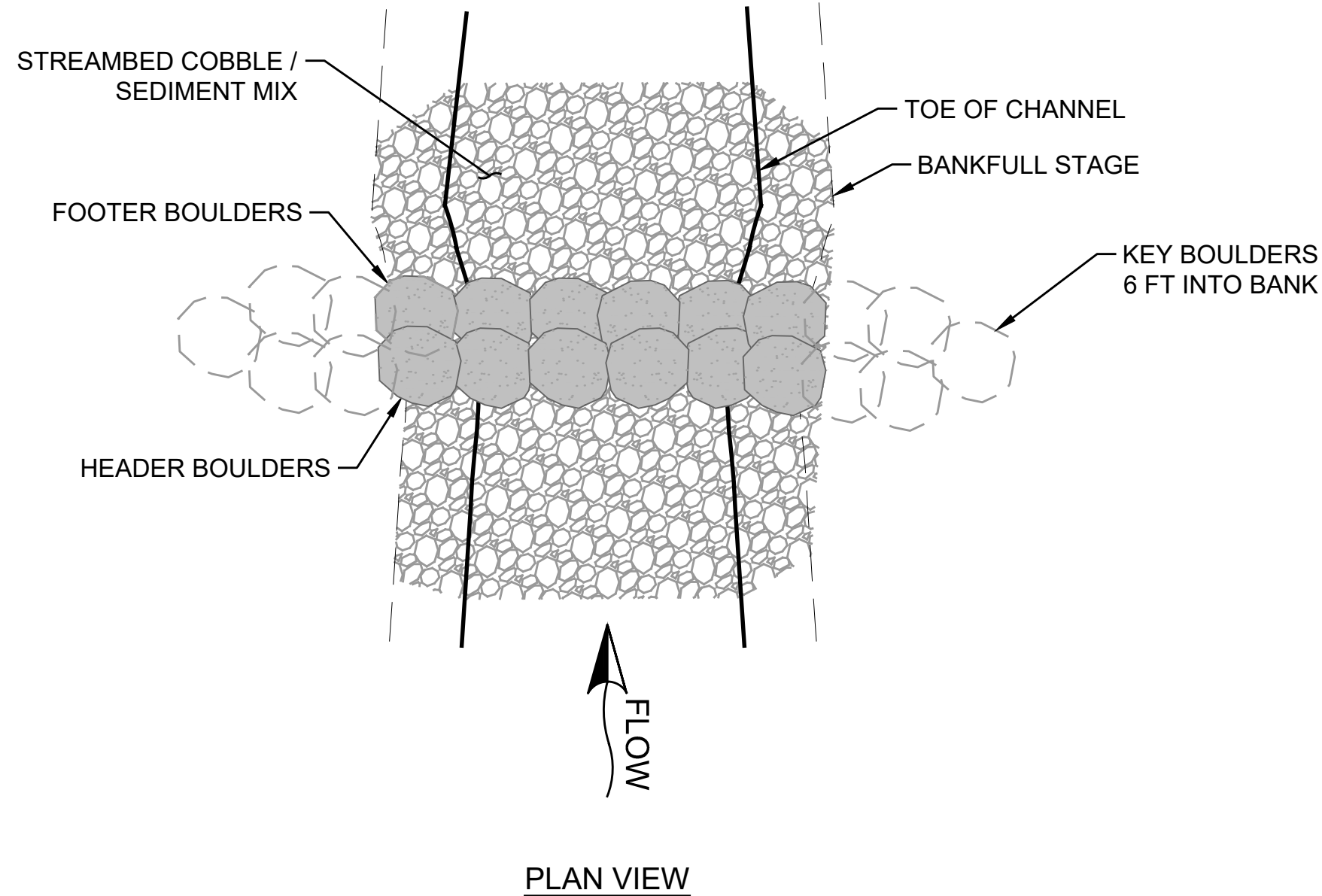
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SHEET 15 OF 20

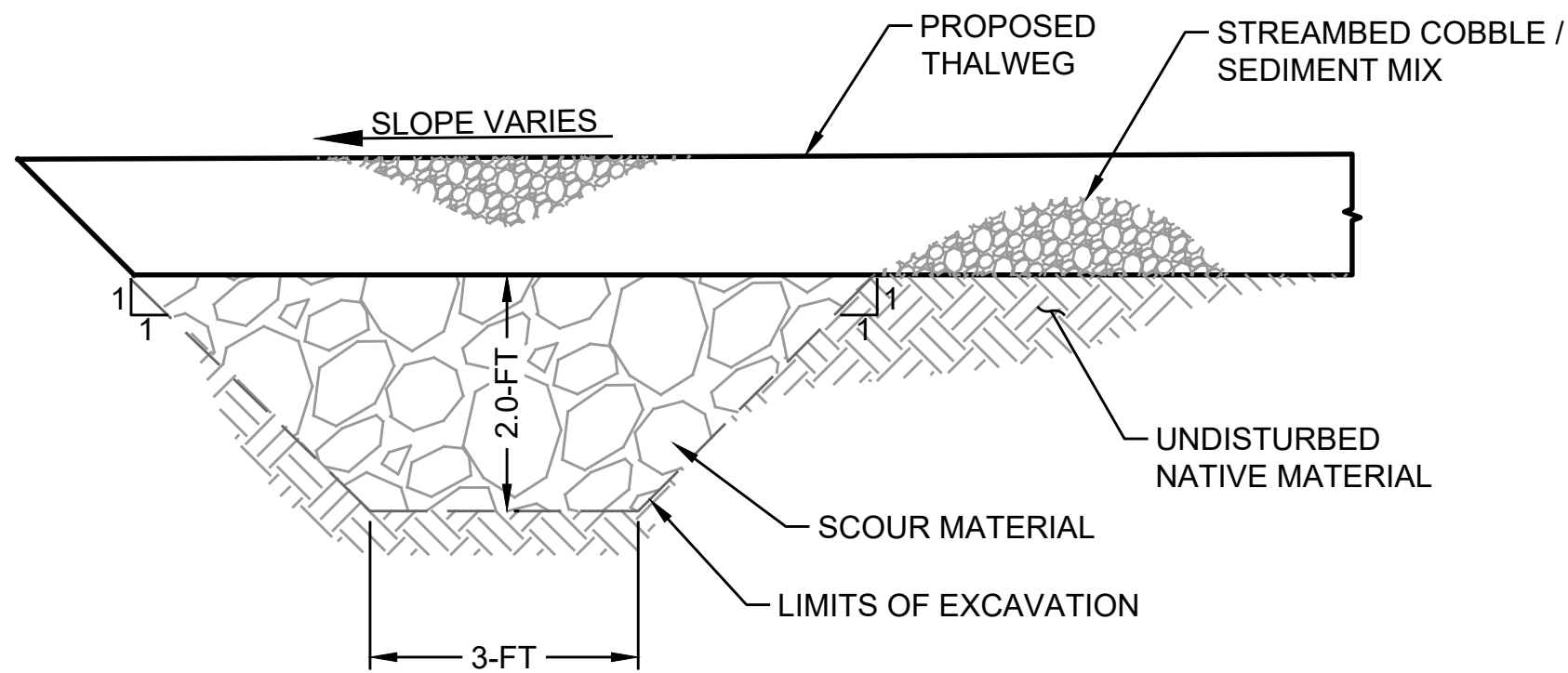
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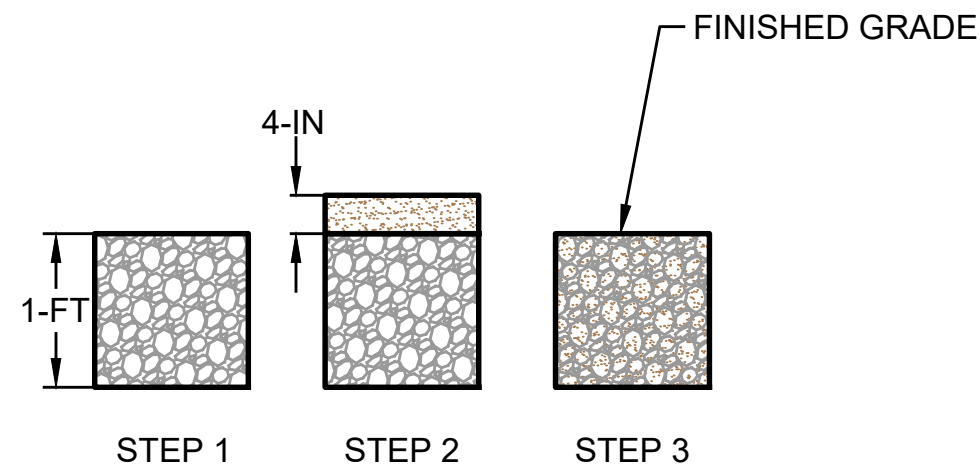
1 LOG WEIR
- DETAIL NOT TO SCALE



2 BOULDER WEIR
- DETAIL NOT TO SCALE



3 SCOUR CUTOFF
- DETAIL NOT TO SCALE



4 STREAMBED COBBLE / SEDIMENT MIX INSTALLATION
- DETAIL NOT TO SCALE

STREAMBED COBBLE/SEDIMENT MIX INSTALLATION NOTES:

- STEP 1 - IF NEEDED, EXCAVATE CHANNEL TO ACCOMMODATE STREAMBED COBBLE/SEDIMENT MIX PLACEMENT AND PLACE LIFT OF STREAMBED COBBLE 12" GRADATION.
- STEP 2 - PLACE LIFT OF STREAMBED SEDIMENT UNIFORMLY OVER STREAMBED COBBLES.
- STEP 3 - APPLY WATER TO WASH SEDIMENT INTO COBBLES UNTIL PONDING OF WATER IS OBSERVED.

LIFT THICKNESS FOR STEP 2 BASED ON ASSUMED VOID RATIO OF 0.35 FOR STREAMBED COBBLES. ACTUAL STREAMBED SEDIMENT LIFT THICKNESS TO FILL VOIDS WITH STREAMBED SEDIMENT MAY VARY.



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1" = 1'

PHASE
**30% CONSTRUCTION
DOCUMENTATION**

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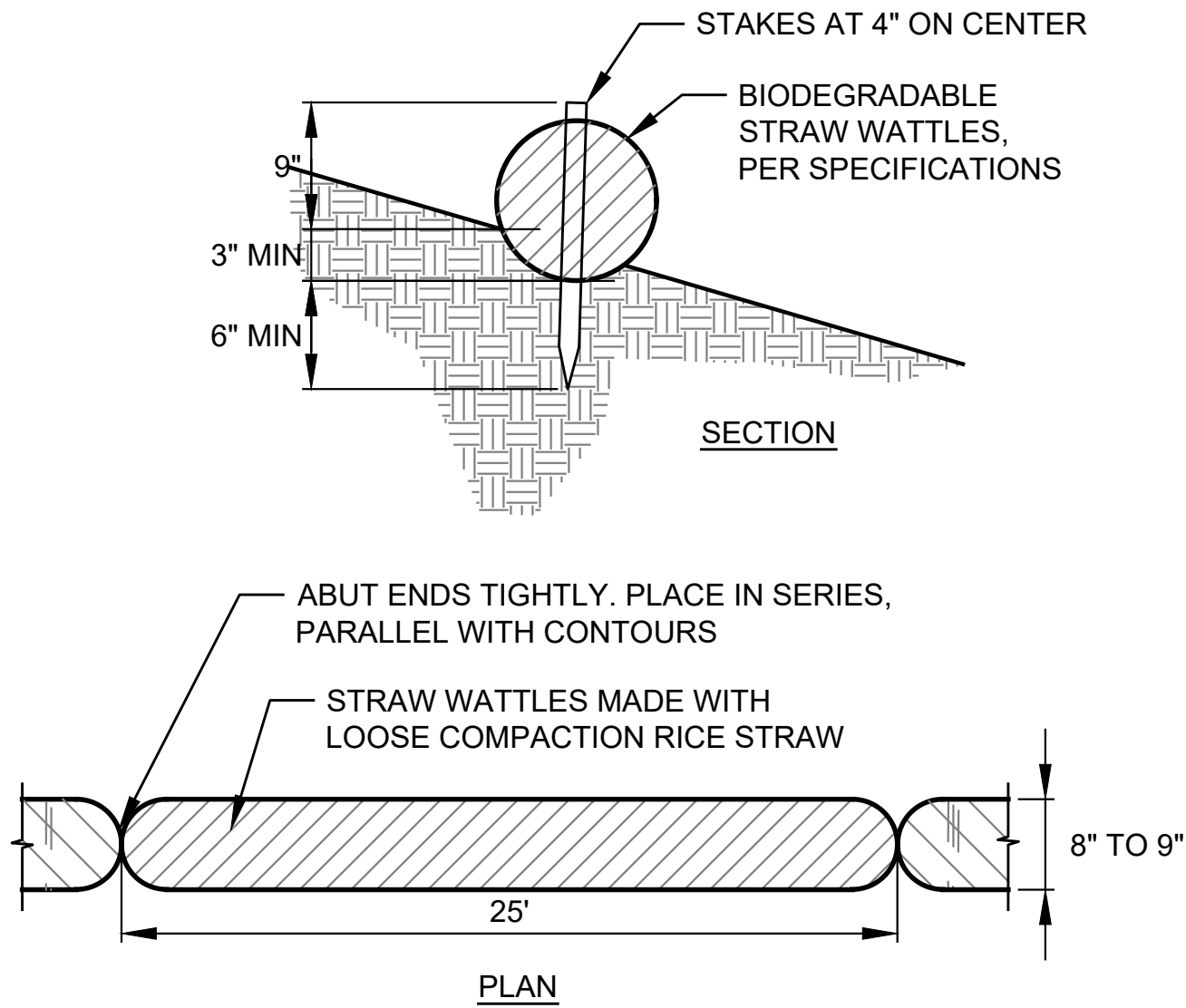
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DETAILS**

SHEET NUMBER

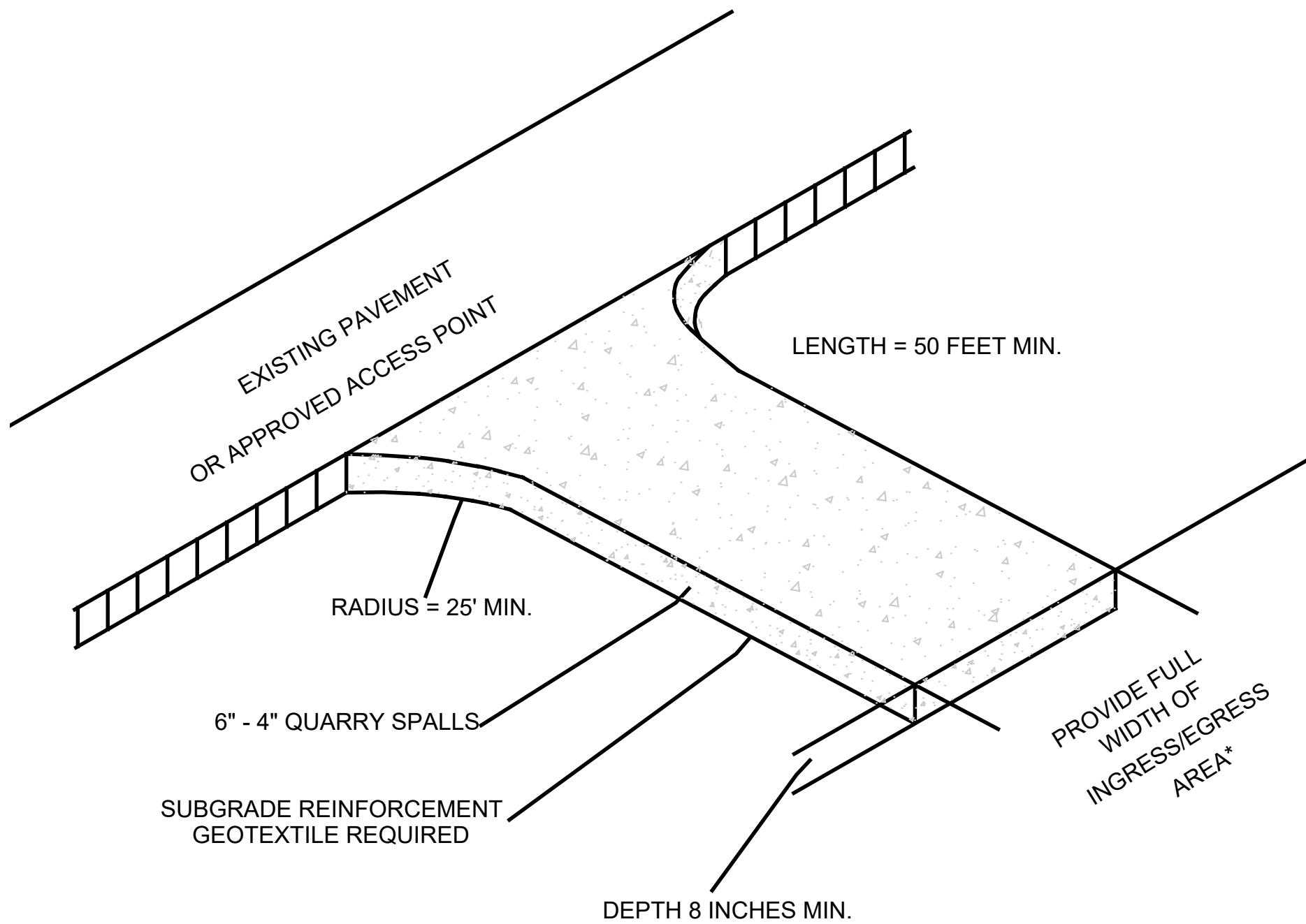
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SHEET 16 OF 20

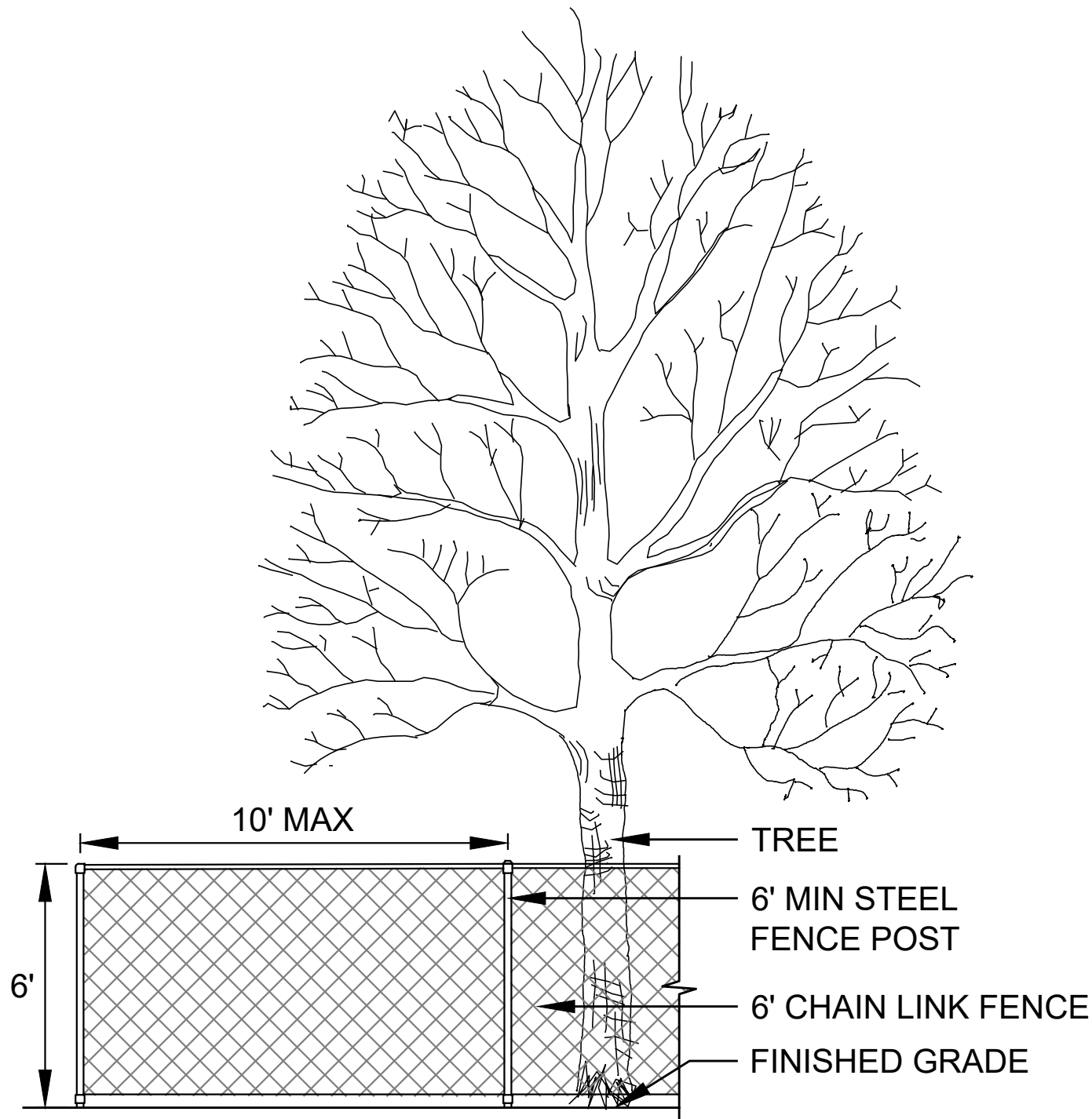
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1 STRAW WATTLES
G3.0 DETAIL SCALE: NTS



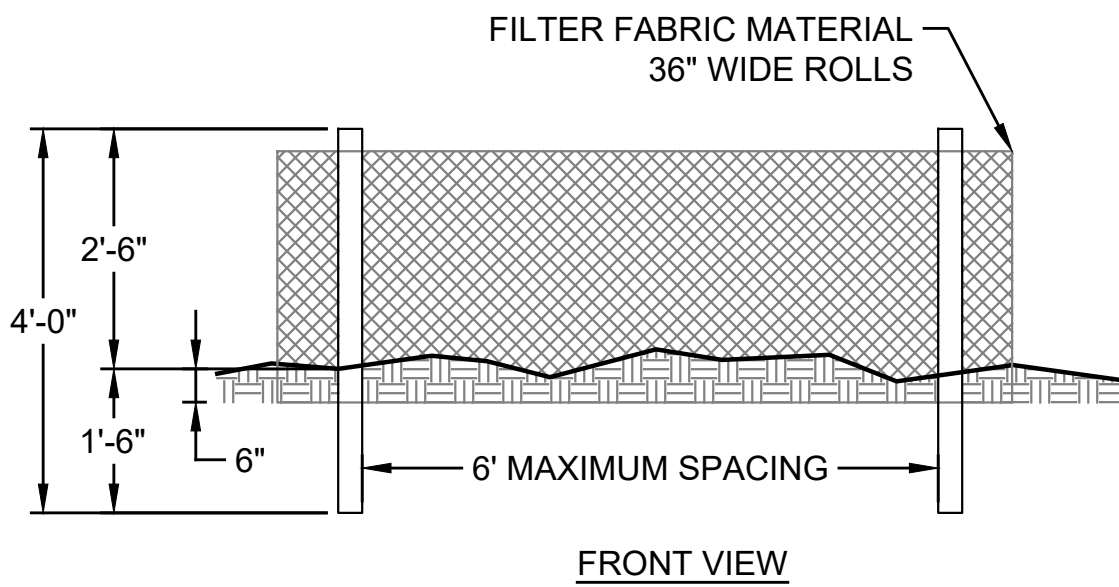
3 CONSTRUCTION ENTRANCE
G3.0 DETAIL SCALE: NTS



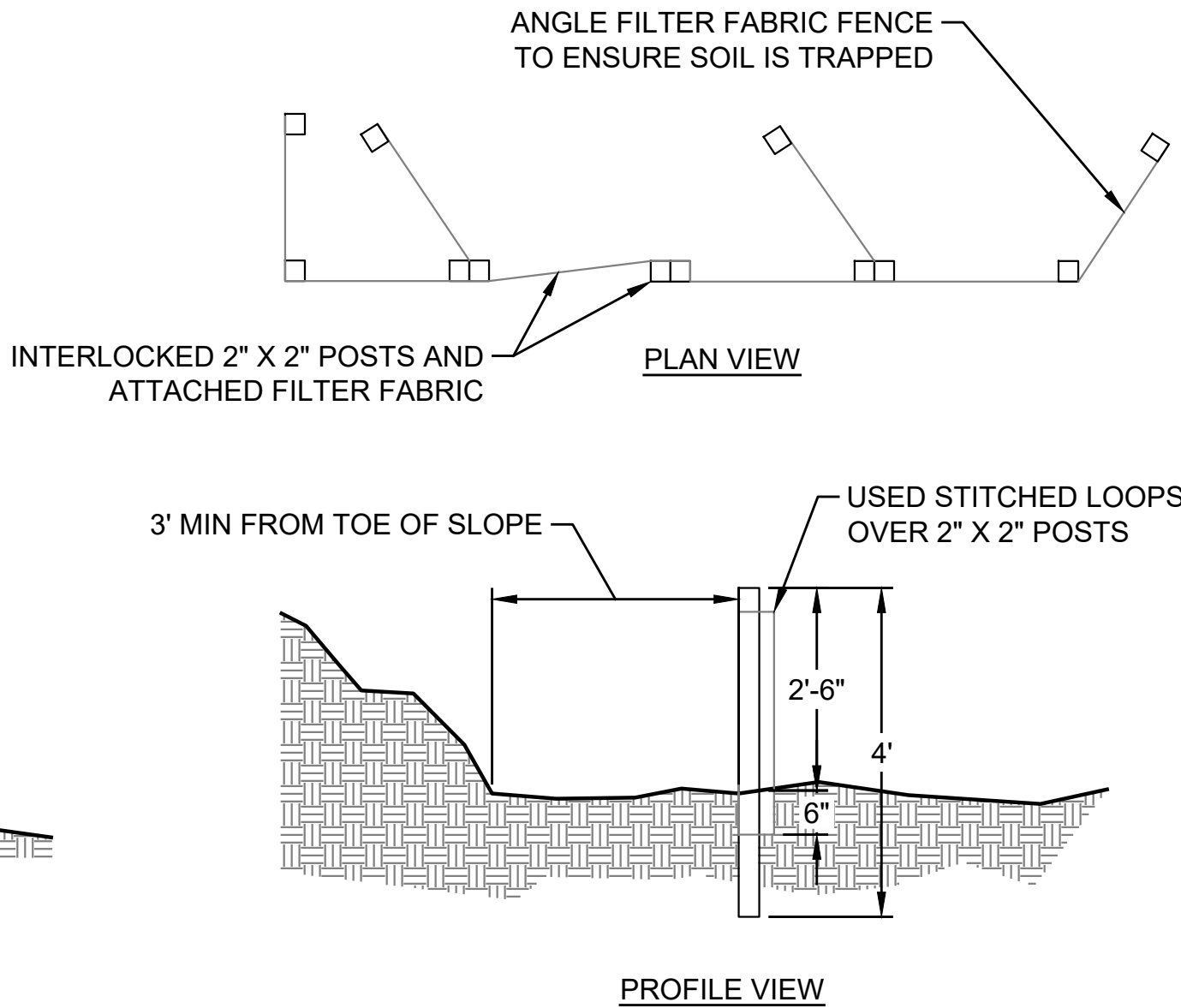
- NOTES:
1. INSTALL FENCING IN LOCATIONS AS SHOWN ON PLANS.
 2. LOCATE POSTS TO AVOID SEVERING OR DAMAGING LARGE ROOTS.
 3. CONTRACTOR IS RESPONSIBLE TO MAINTAIN TREE PROTECTION FENCING THROUGH DURATION OF CONSTRUCTION AND MAKE NECESSARY REPAIRS AS NEEDED.

2 TREE PROTECTION FENCE
G4.1 DETAIL SCALE: NTS

- NOTES:
1. BURY BOTTOM OF FILTER FABRIC 6" VERTICALLY BELOW FINISHED GRADE.
 2. 2"x2" FIR, PINE OR STEEL FENCE POSTS.
 3. POSTS TO BE INSTALLED ON UPHILL SIDE OF SLOPE.
 4. COMPACT BOTH SIDES OF FILTER FABRIC TRENCH.
 5. WHEN JOINING TWO OR MORE SEDIMENT FENCES TOGETHER, JOIN THE TWO END STAKES BY WRAPPING THE TWO ENDS AT LEAST ONE AND ONE HALF TURNS AND DRIVING THE JOINED STAKES INTO THE GROUND TOGETHER.



4 SEDIMENT FENCE
G3.0 DETAIL SCALE: NTS



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PHASE
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DOCUMENTATION

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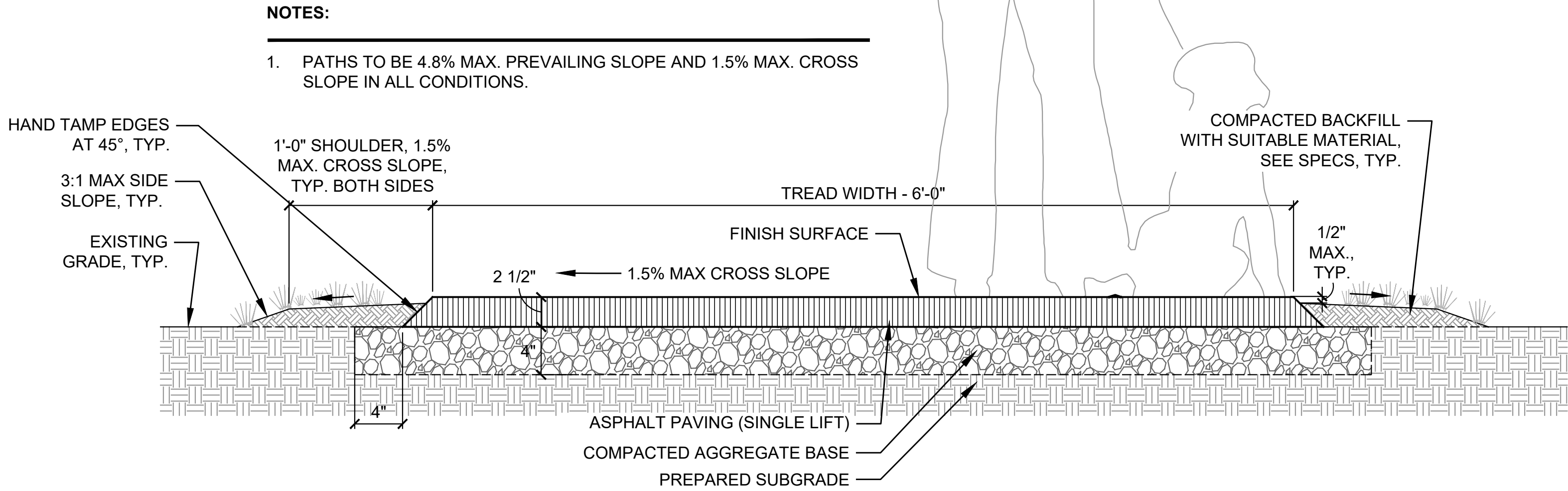
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SHEET NUMBER

C3.1

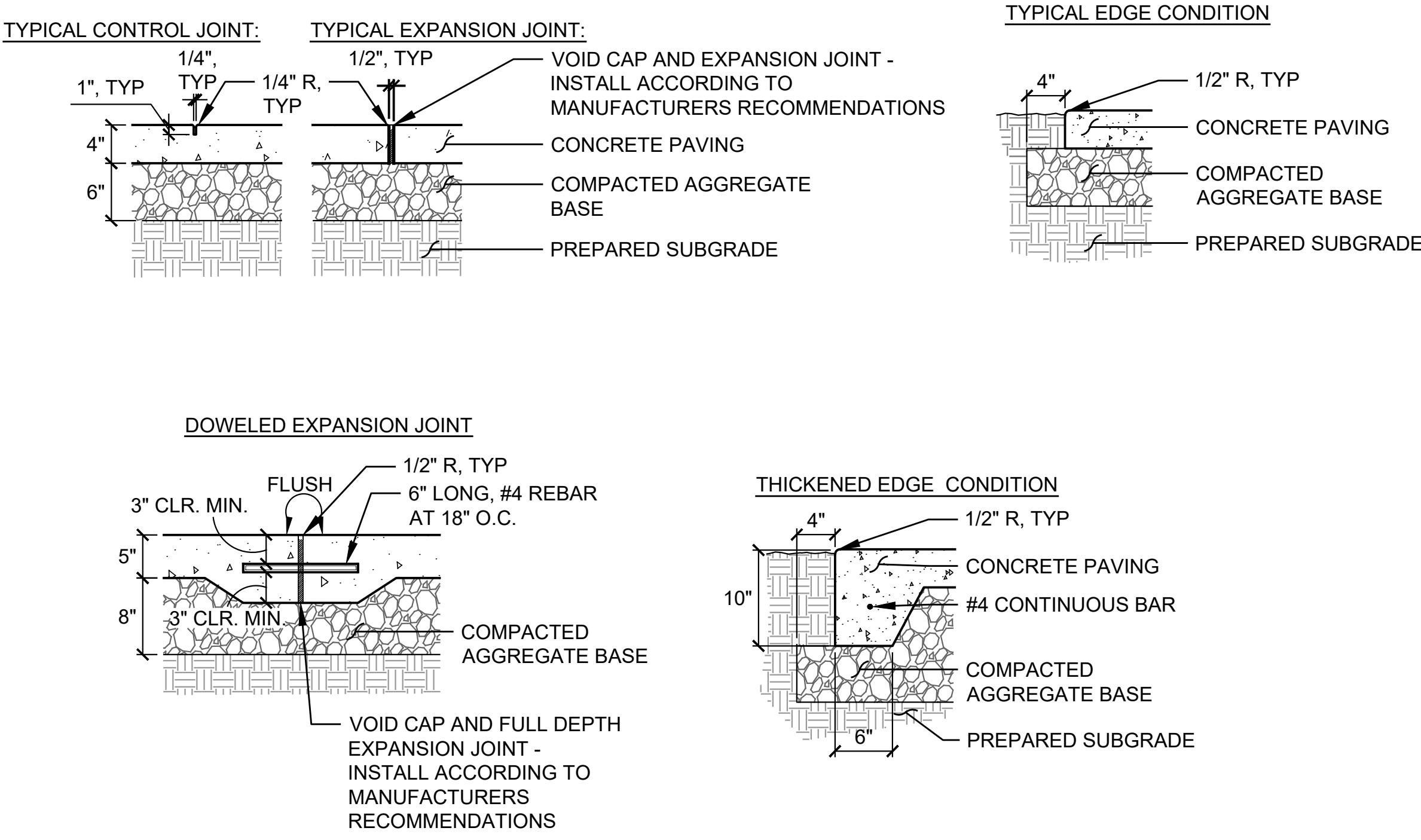
SHEET 17 OF 20

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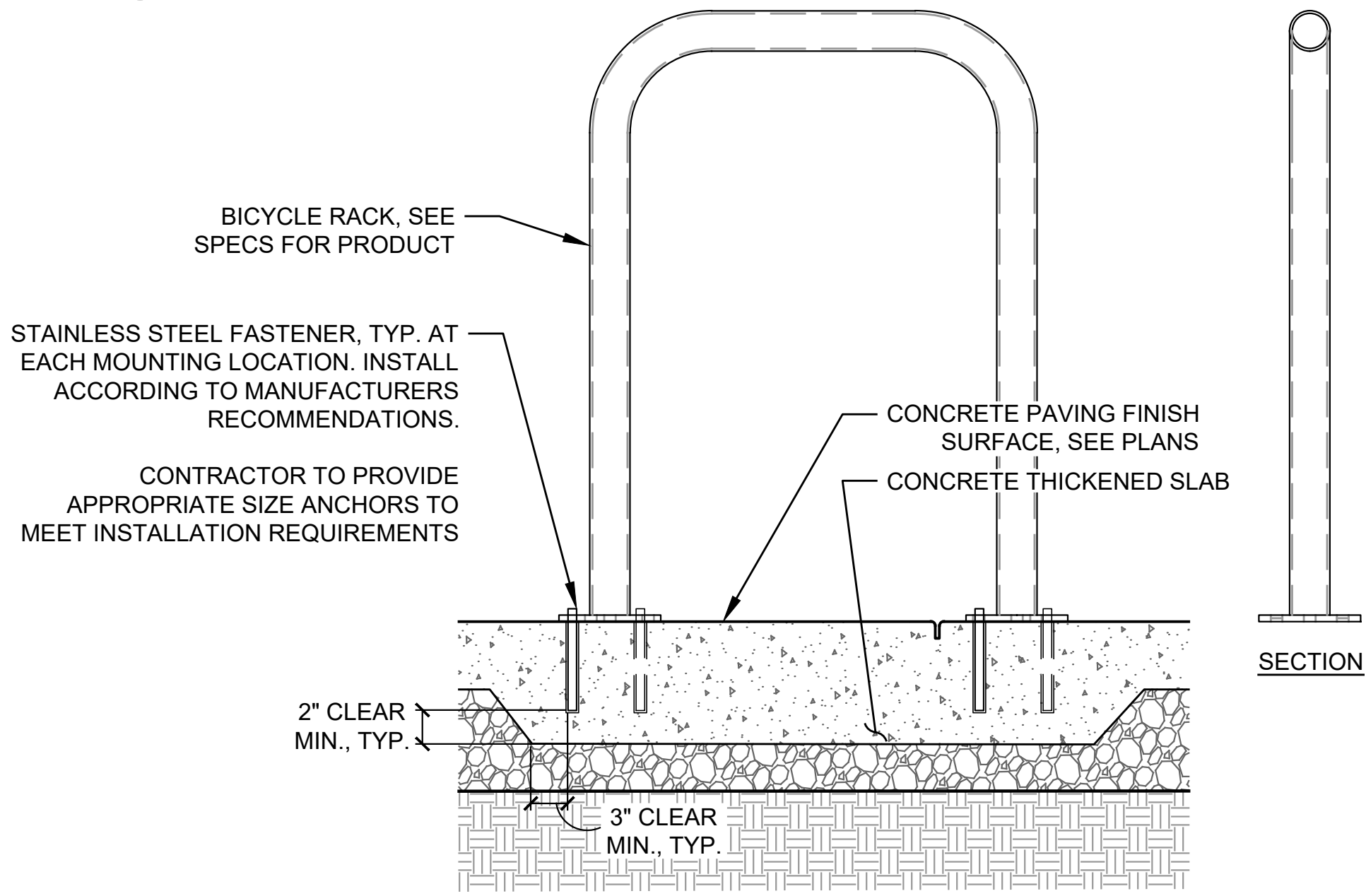
1 ASPHALT PAVING
- DETAIL

NOT TO SCALE



2 CONCRETE PAVING
- DETAIL

NOT TO SCALE



3 BICYCLE RACK
- DETAIL

NOT TO SCALE



DEER BROWSE FENCING-
6.5' HEIGHT, WOOD POSTS DIRECT EMBED IN COMPACTED GRAVEL FOOTING WITH METAL WIRE MESH

4 DEER BROWSE FENCE
- DETAIL

NOT TO SCALE

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PHASE
30% CONSTRUCTION DOCUMENTATION

SHEET TITLE

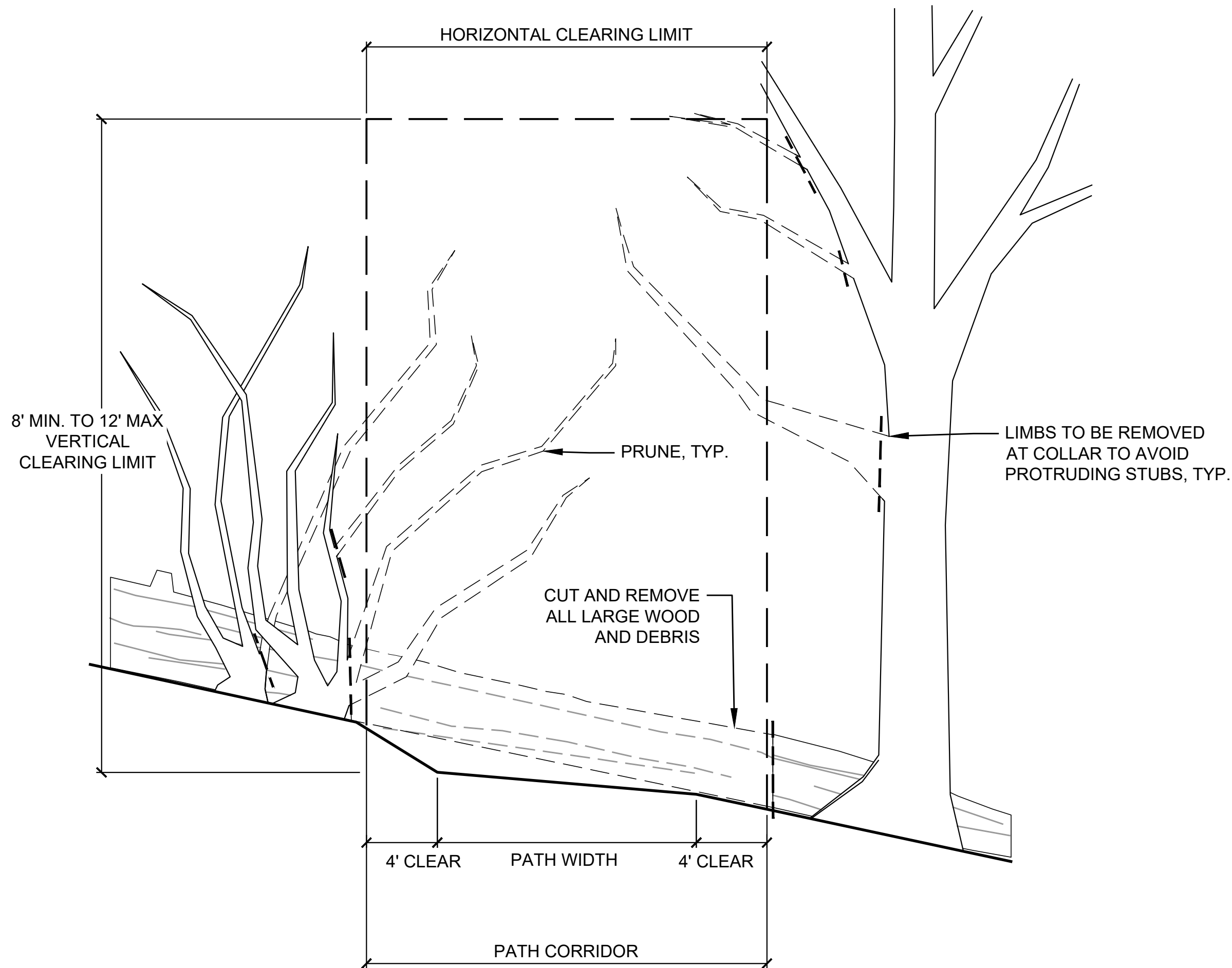
**LANDSCAPE
DETAILS**

SHEET NUMBER

L5.0

SHEET 18 OF 20

FILE: P:\01 CAD\2022\xxxx\202200371.02 - City of Salem Bailey Ridge Park\DWG\L5.1 LANDSCAPE DETAILS.dwg PLOT DATE: 1/24/2025 4:10:47 PM PLOTTED BY: THOMAS FISCHER



NOTES:

- ALL PATH AND TRAIL CONSTRUCTION SHALL INCLUDE STANDARD CLEARING LIMITS AS FOLLOWS:
 - BRUSH AND BRANCHES 36" ABOVE GROUND LEVEL SHALL BE REMOVED TO A HEIGHT OF 8" WITHIN 36" OF THE TRAIL.
 - ALL VEGETATION BELOW 36" HEIGHT SHALL BE CUT BACK TO THE WIDTH OF THE TRAIL PLUS 3 FT FROM TRAIL EDGE, TYP.
 - FALLEN LOGS SHALL BE CUT 3 FT FROM THE EDGE OF THE TRAIL.
- WITHIN THE DESIGNED PATH CORRIDOR, REMOVE ALL SURFACE ROOTS PRIOR TO COMPACTING FINISH GRADE SURFACE. ENSURE THAT THE NATIVE SOIL IS STRIPPED OF ORGANIC MATERIAL. ROOTS LESS THAN 2" DIAMETER MAY BE LEFT IN PLACE WITHIN TRAIL CORRIDORS.

1

-

PATH CORRIDOR CLEARING

DETAIL

NOT TO SCALE

2

-

DESIRE LINE DECOMMISSIONING

DETAIL

1" = 1'-0"

TBD



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1" = 1'-0"

PHASE
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DOCUMENTATION

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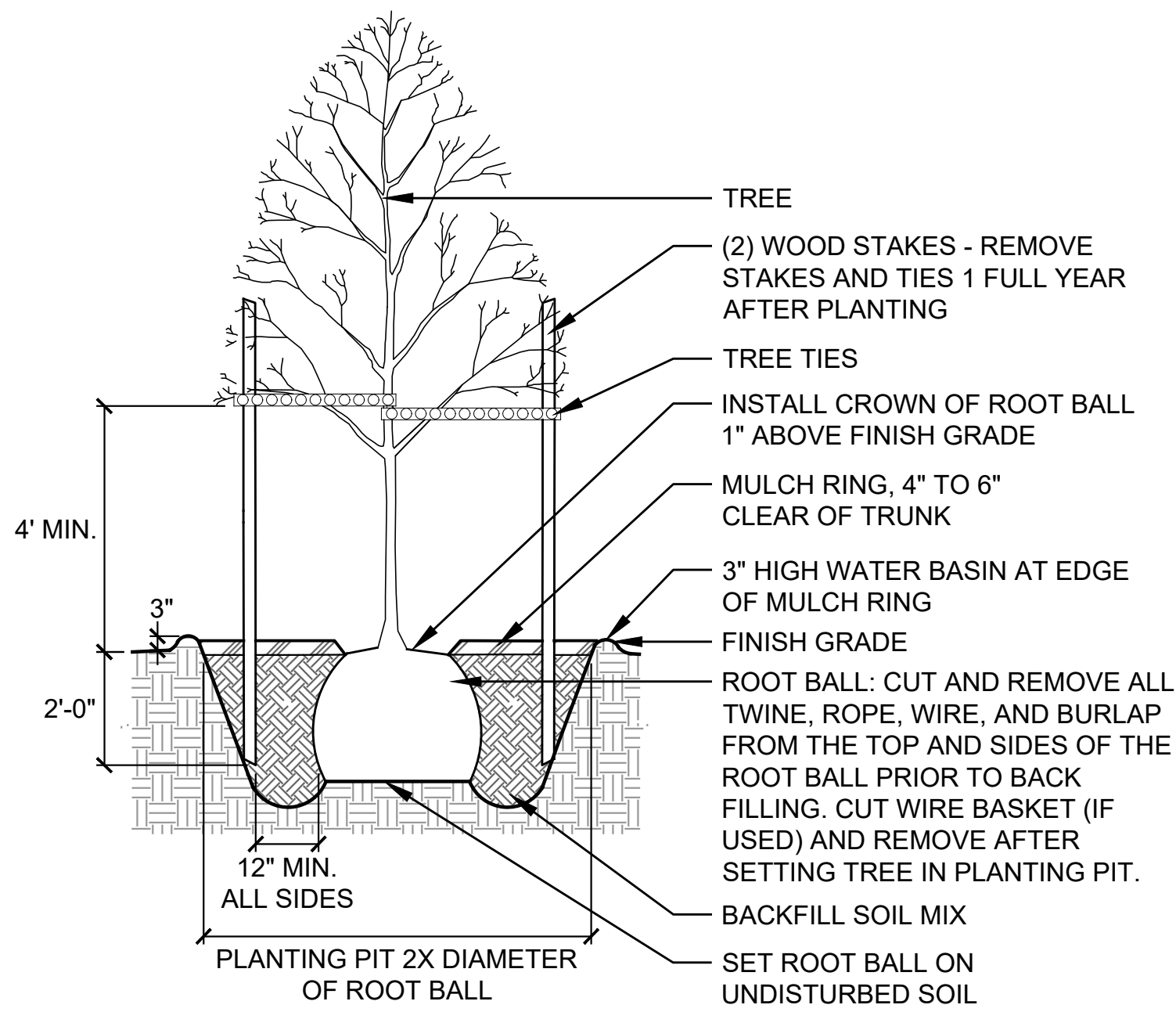
LANDSCAPE
DETAILS

SHEET NUMBER

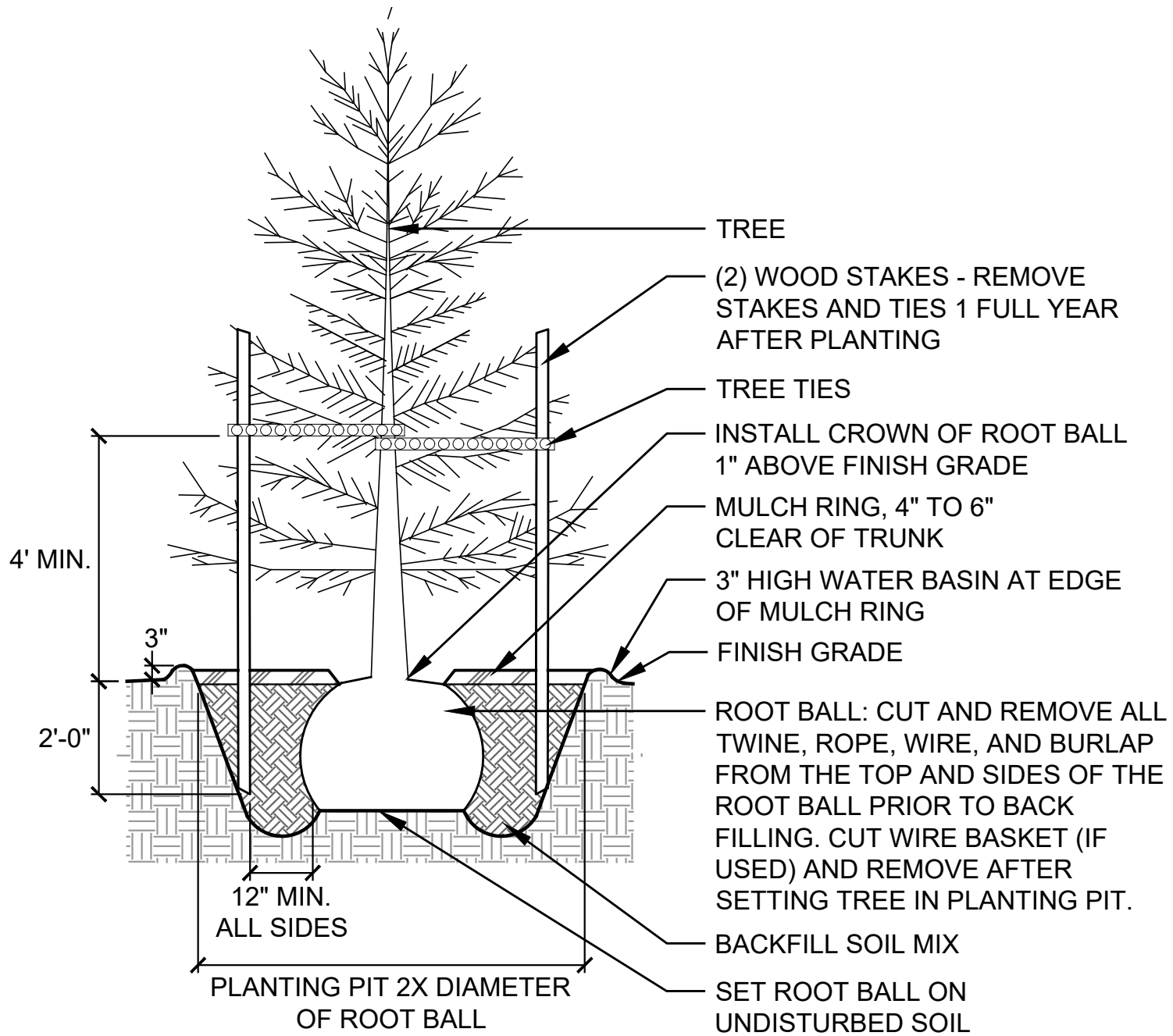
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SHEET 19 OF 20

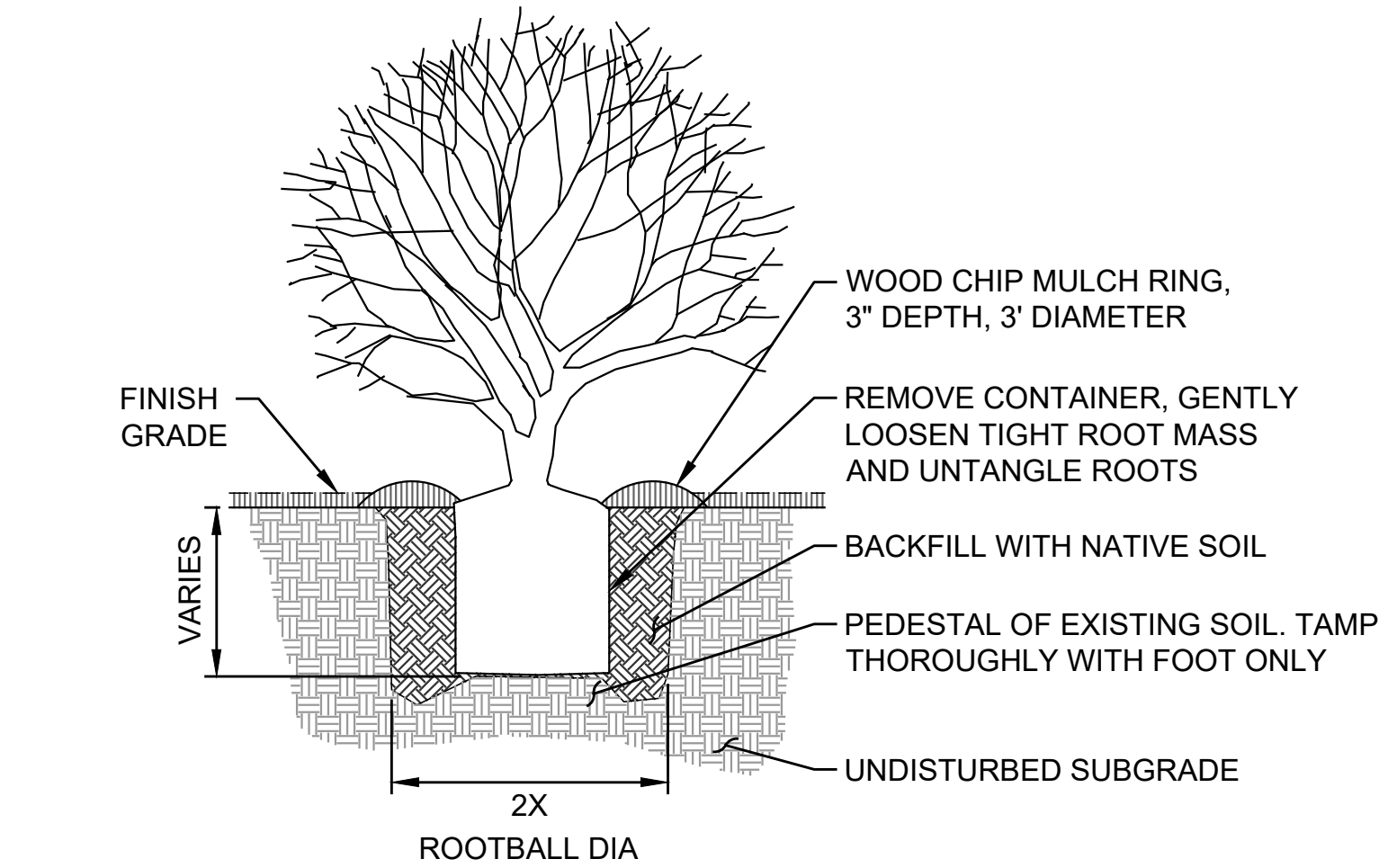
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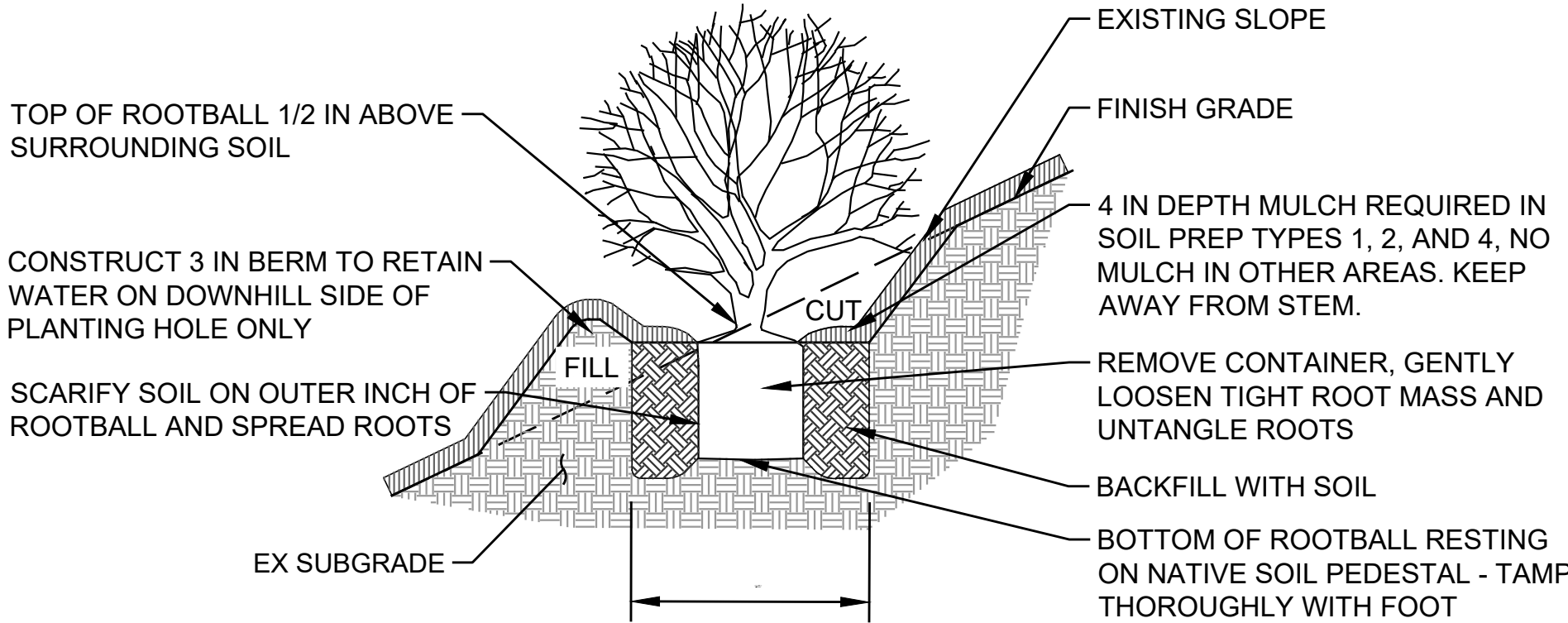
1 DECIDUOUS TREE PLANTING
- DETAIL NOT TO SCALE



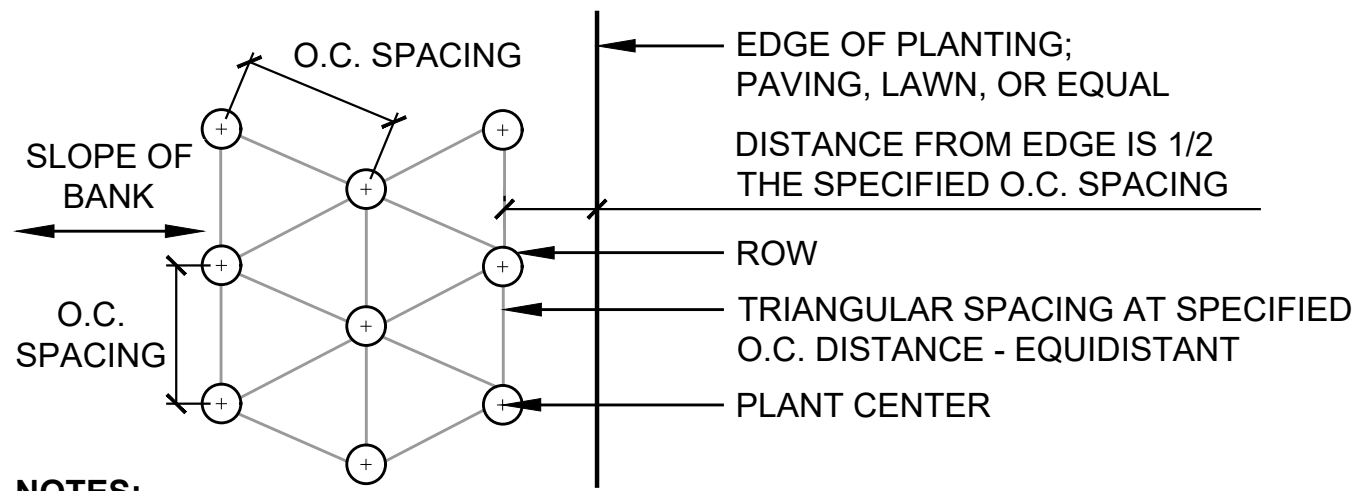
2 CONIFER TREE PLANTING
- DETAIL NOT TO SCALE



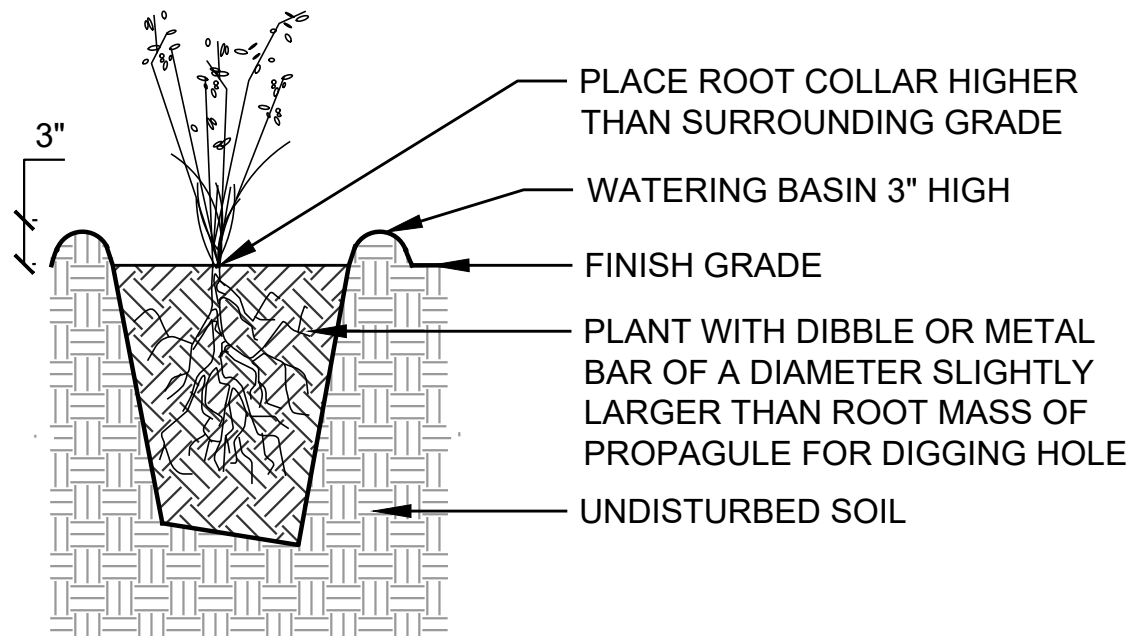
3 SHRUB PLANTING
- DETAIL NOT TO SCALE



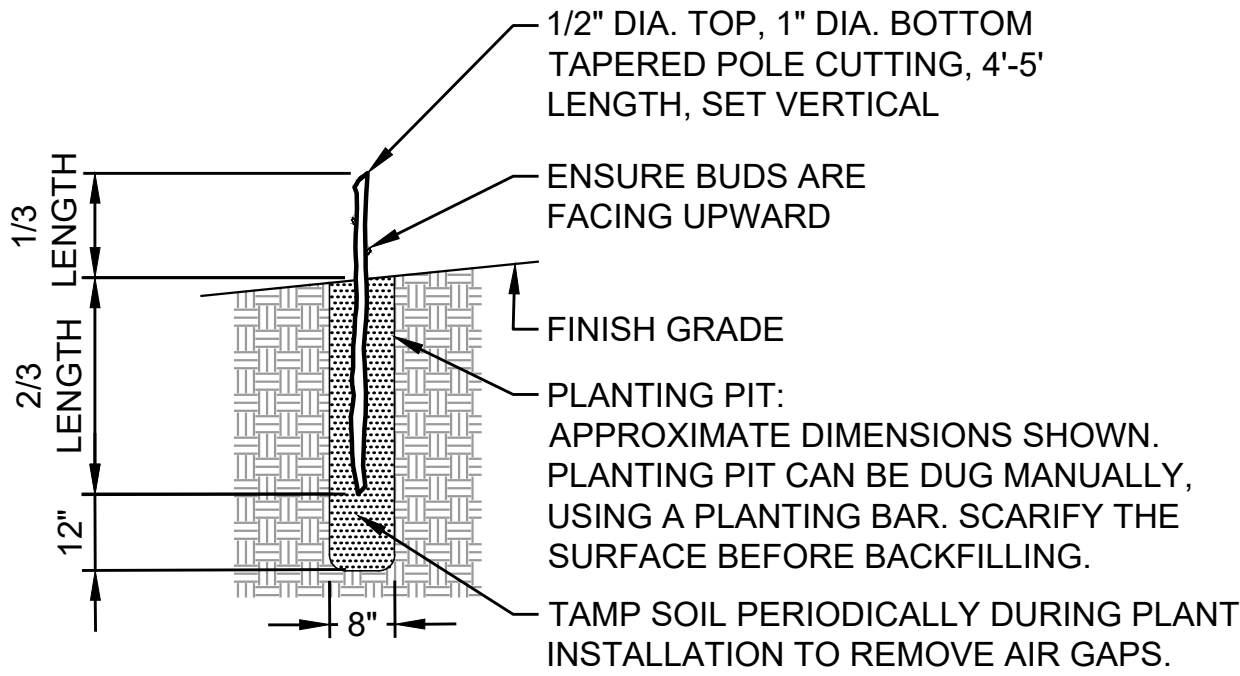
4 SHRUB PLANTING ON SLOPE
- DETAIL NOT TO SCALE



- NOTES:
- SEE PLANT SCHEDULE FOR EACH PLANT'S APPROPRIATE O.C. SPACING.
 - PLANTING PLAN SHOWING INDIVIDUAL LOCATION OF A TREE, SHRUB AND OR GROUND COVER TAKE PRECEDENT OVER THIS DETAIL.
 - INSTALL PLANTING ROWS PERPENDICULAR TO SLOPE OF BANK.



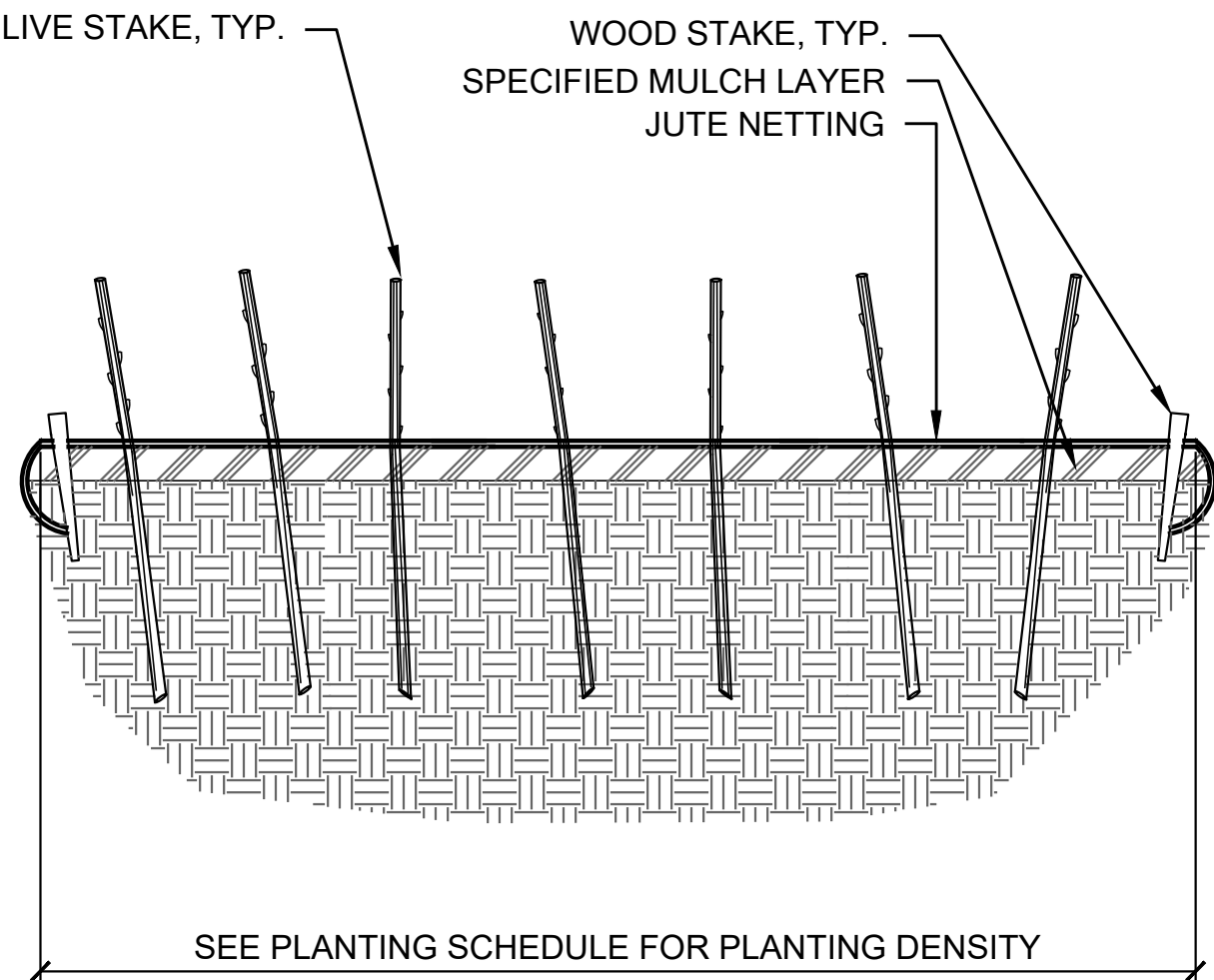
6 PLUG PLANTING
- DETAIL NOT TO SCALE



7 LIVE STAKE PLANTING
- DETAIL NOT TO SCALE

- NOTES:
- PREPARE PLANTING SUBGRADE BY REMOVING BLACKBERRY DOWN TO GRADE. DIG HOLES FOR ANY PROPOSED CONTAINER PLANTS.
 - CUT JUTE NETTING LARGER THAN PLANTING AREA IN ORDER TO KEY INTO SUBGRADE AS SHOWN.
 - DIG TRENCHES TO SECURE JUTE NETTING.
 - KEY ONE SIDE OF NETTING INTO SUBGRADE AND BACKFILL WITH SOIL. TAMP SOIL UNTIL NETTING IS SECURE, WITHOUT COMPACTING AREA TO BE PLANTED. SECURE WITH WOOD STAKES SPACED 3 FEET ON CENTER.
 - APPLY A FOUR (4) INCH THICK LAYER OF SPECIFIED MULCH TO PLANTING AREA.
 - KEY IN REMAINING NETTING AND STAKE UNTIL SECURED.
 - INSTALL PLANTS. INSTALL LIVE STAKES DIRECTLY THROUGH NETTING. SEE LIVE STAKE PLANTING DETAIL. INSTALL CONTAINER PLANTS BY CUTTING AN "X" PATTERN IN THE NETTING, PULLING BACK THE FLAPS AND INSTALLING THE CONTAINER PER THE PLANTING DETAIL.

8 LIVE STAKE PLANTING AT COIR MAT
- DETAIL NOT TO SCALE



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DOCUMENTATION

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PLANTING DETAILS

SHEET NUMBER

L5.2