

# BAXTER DEVELOPEMENT

MULTI-FAMILY HOUSING  
SEC. 14, T. 08 S., R. 03 W., W.M.  
CITY OF SALEM  
MARION COUNTY, OREGON

Owner / Developer:

## NEIGHBORLY VENTURES

2925 S RIVER ROAD, STE. 100  
SALEM, OR 97302

GEELAN, DONALD C  
& GEELAN, SUSAN M  
1640 BARNES AVE SE  
SALEM, OR. 97306

HAMLIN, JASON  
& HAMLIN, KACEY K  
1700 BARNES AVE SE  
SALEM, OR. 97306

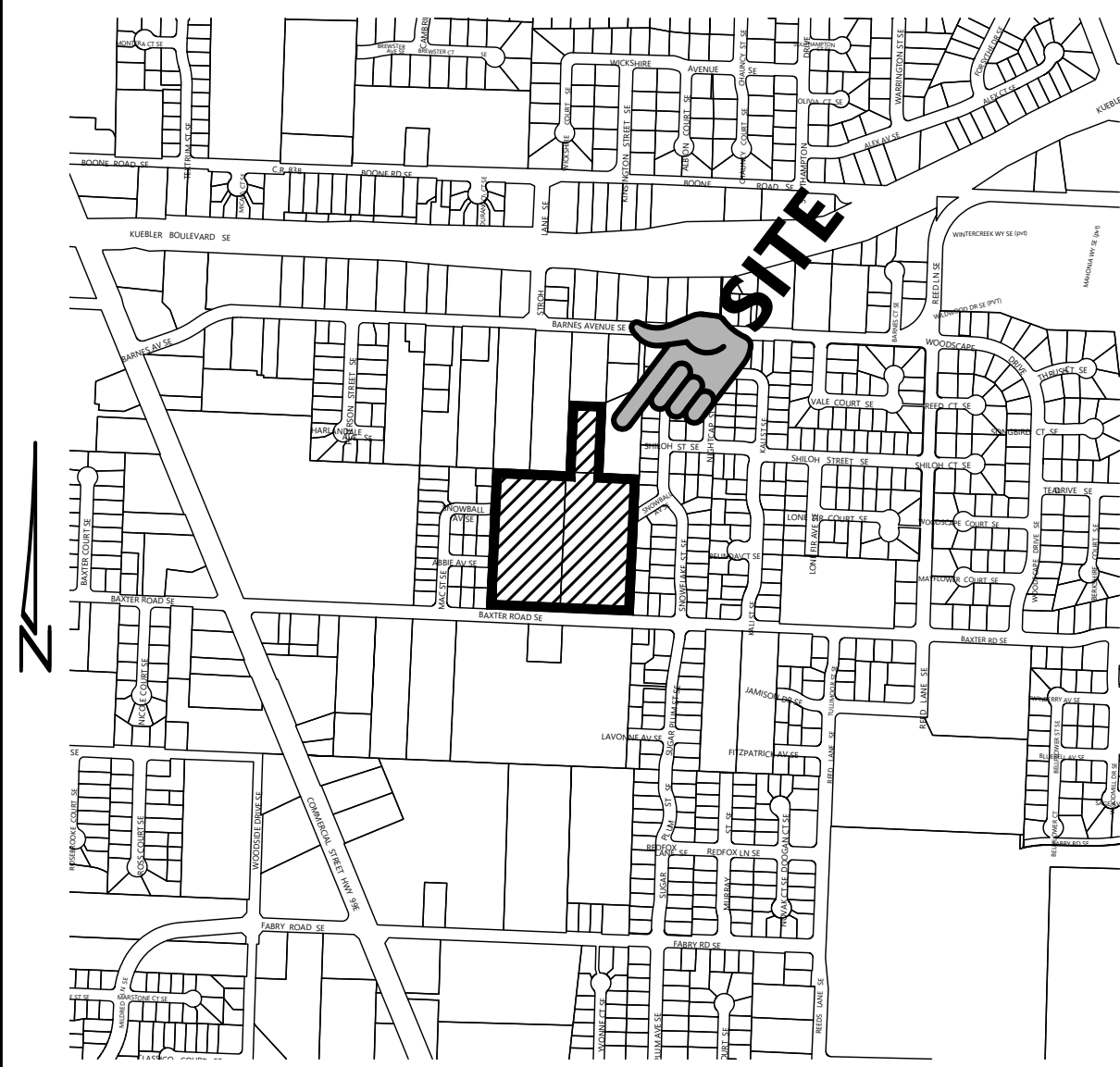
PATEL, MANUBHAI  
& PATEL, MANNA M  
1760 BARNES AVE SE  
SALEM, OR. 97306

3  
52,585 S.F.  
1.21 AC.

1  
267,970 S.F.  
6.15 AC.

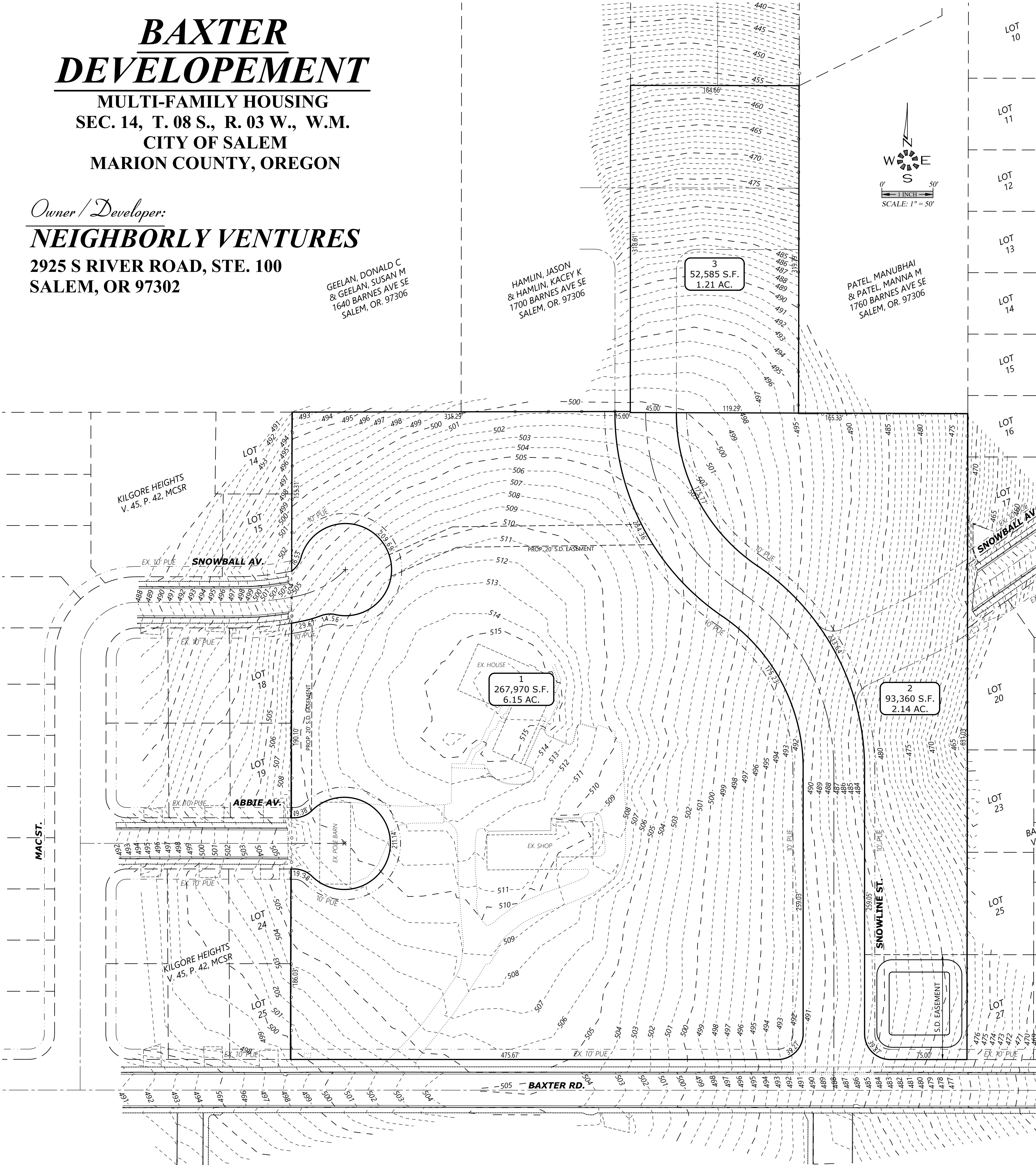
2  
93,360 S.F.  
2.14 AC.

B.M. 406.76  
BENCH MARK 8300 - 2" ALUMINUM DISK  
IN B.R. OF CURB. NE CORNER INTERSECTION  
BAXTER CT. AND BAXTER ROAD, 20' WEST OF  
C.B. 37' NE FIRE HYDRANT, 45' E MANHOLE

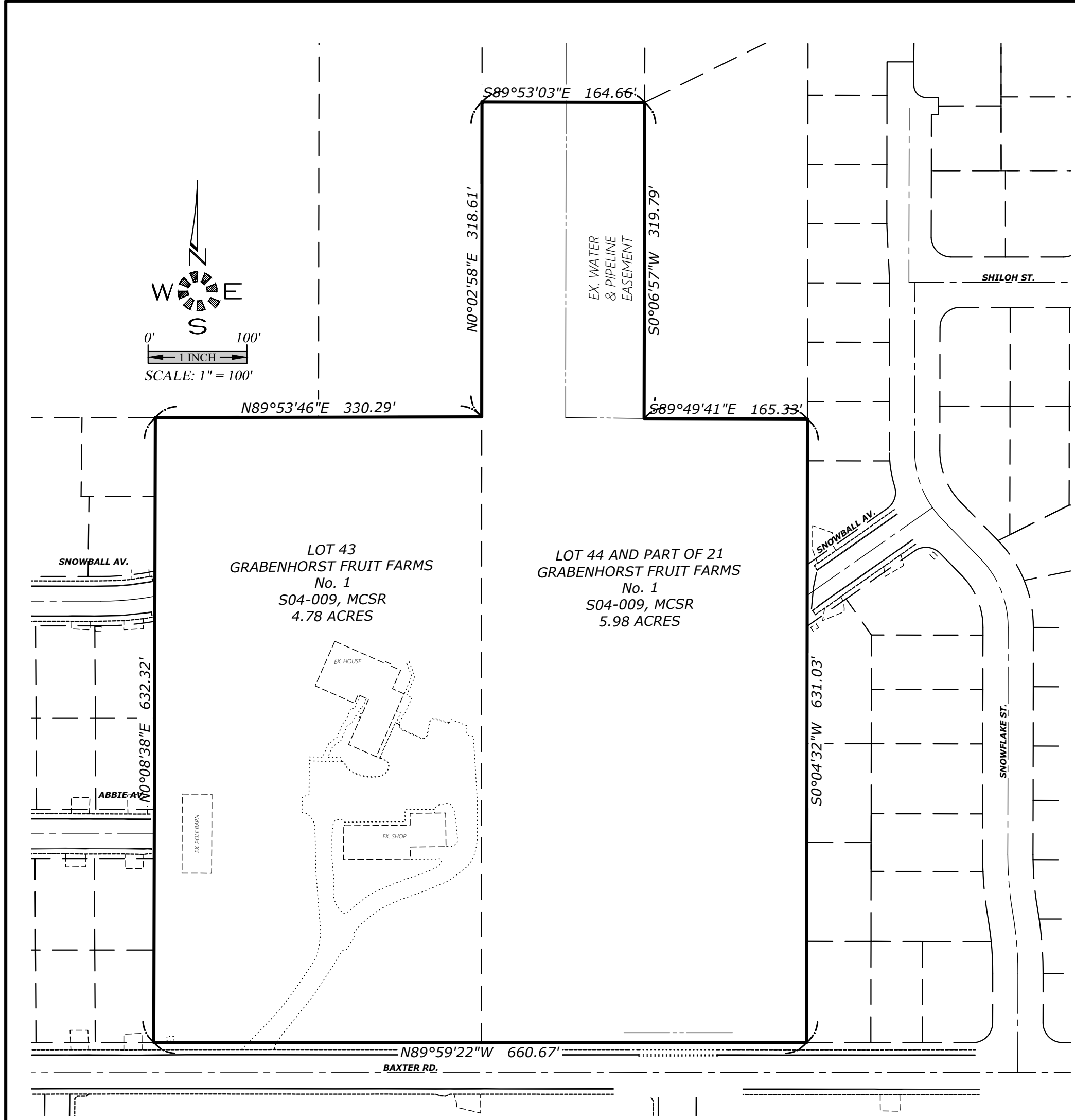


VICINITY MAP

- SHEET INDEX
- P1 PARTITIONING PLAN
  - P2 SHADOW PLAN
  - P3 TREE PLAN
  - P4 GRADING PLAN
  - P5 TREE REMOVAL PLAN
  - P6 STREET PLAN - SNOWLINE ST.
  - P7 STREET PLAN - HARLANDALE AV. & SNOWBALL AV. (EAST)
  - P8 STREET PLAN - ABBIE AV.
  - P9 STREET PALN - SNOWBALL AV. (WEST)



PROPOSED PARTITIONING



EXISTING SITE

MULTI/TECH

ENGINEERING SERVICES, INC.  
11555 13th ST., S.E. SALEM, OR. 97302  
PH. (503) 363 - 9227 FAX (503) 364-1260  
www.rteengineering.net office@rteengineering.net

### PARTITIONING PLAN

### BAXTER DEVELOPEMENT

NO CHANGES, MODIFICATIONS  
OR REPRODUCTIONS TO BE  
MADE TO THESE DRAWINGS  
WITHOUT WRITTEN  
AUTHORIZATION FROM THE  
DESIGN ENGINEER.

DIMENSIONS & NOTES TAKE  
PRECEDENCE OVER  
GRAPHICAL REPRESENTATION.

Design: M.D.G.  
Drawn: J.P.H.  
Checked: B.M.G.  
Issue Date: 12/19/24  
Scale: AS SHOWN



EXPIRES 06-30-2025  
JOB # 7707