

2 LANDSCAPE PLAN - FUEL STATION SITE (PARCEL 1)

1" = 30'-0"

COMBINED DEVELOPMENT SITE LANDSCAPE AREAS

PARCEL 1:
13,412 SF LANDSCAPE AREA PROPOSED

PARCEL 2:
26,061
7,880
627
189
169
766
226
226
226
226
125
226
+ 3,734
40,681 SF LANDSCAPE AREA EXISTING (NO CHANGE)

PARCEL 3:
41,559
3,737
407
510
14,440
12,520
254
312
226
226
+ 330
74,827 SF LANDSCAPE AREA EXISTING (NO CHANGE)

COMBINED DEVELOPMENT SITE AREAS

13,412 SF PARCEL 1 LANDSCAPE AREA PROVIDED
40,681 SF PARCEL 2 LANDSCAPE AREA PROVIDED
74,827 SF PARCEL 3 LANDSCAPE AREA PROVIDED
128,620 COMBINED DEVELOPMENT SITE LANDS. AREA PROVIDED

49,048 SF PARCEL 1 SITE AREA
230,697 SF PARCEL 2 SITE AREA
191,273 SF PARCEL 3 SITE AREA
472,074 SF COMBINED DEVELOPMENT SITE AREA
472,074 SF COMBINED DEVELOPMENT SITE AREA
70,811 SF COMBINED DEVELOPMENT SITE LANDS. AREA REQUIRED
15% LANDSCAPE AREA REQUIRED

128,620 SF COMBINED DEVELOPMENT SITE LANDS. AREA PROVIDED
472,074 SF COMBINED DEVELOPMENT SITE AREA
[27.25% COMBINED DEVELOPMENT SITE LANDSCAPE PROVIDED]

COMBINED DEVELOPMENT SITE LANDSCAPING VALUES

70,811 SF LANDSCAPE AREA REQUIRED
20 SF PER PLANTING UNIT REQUIRED
3,541 PLANTING UNITS PROVIDED

PARCEL 1 PLANTING PROVIDED (SEE 2/G001)
PLANTING UNITS PROPOSED = 496 PU

PARCEL 2 PLANTING PROVIDED
19 MATURE TREES (15 PU) = 285 PU
54 ORNAMENTAL TREES (2 PU) = 108 PU
1,363 SMALL-MEDIUM SHRUB (1 PU) = 1,363 PU
0 LAWN (1 PU PER 60 SF) = 0 PU
PLANTING UNITS PROVIDED = 1,756 PU

PARCEL 3 PLANTING PROVIDED
21 MATURE TREES (15 PU) = 315 PU
41 ORNAMENTAL TREES (2 PU) = 82 PU
129 SMALL-MEDIUM SHRUB (1 PU) = 129 PU
632 LAWN (1 PU PER 60 SF) = 1,053 PU
PLANTING UNITS PROVIDED = 1,512 PU

PARCEL 1 PLANTING UNITS PROPOSED = 496 PU
PARCEL 2 PLANTING UNITS PROVIDED = 1,756 PU
PARCEL 3 PLANTING UNITS PROVIDED = 1,512 PU
COMBINED DEVELOPMENT SITE PLANTING UNITS = 3,564 PU

*QUANTITY OF SMALL TO MEDIUM SHRUBS HAS BEEN ESTIMATED BASED ON THE IDENTIFIED SHRUB AREAS. DIVIDED BY 16 SF (THE AREA OF ONE SMALL TO MEDIUM SHRUB).

THE EXACT QUANTITY OF EXISTING SHRUBS IS UNKNOWN, BUT THE IDENTIFIED SHRUB AREAS APPEARS TO ACHIEVE NEARLY COMPLETE PLANTING COVERAGE AND THE APPROXIMATE AREA ESTIMATIONS ARE INTENDED TO BE CONSERVATIVE.

LIMITS OF WORK

NO MODIFICATIONS TO BUILDING EXTERIOR ENVELOPE, INTERIOR FINISHES, WALLS, LIFE SAFETY SYSTEMS, STRUCTURAL SYSTEMS, OR EGRESS ARE PROPOSED IN THIS PERMIT.

COMBINED DEVELOPMENT SITE SUMMARY

SRC CHAPTER 807 - LANDSCAPE AND SCREENING

15.00% LANDSCAPE AREA REQUIRED
27.25% LANDSCAPE AREA PROVIDED

3,541 PLANTING UNITS REQUIRED
3,564 PLANTING UNITS PROVIDED

1 CONTEXT SITE PLAN - EXISTING CONDITIONS

1" = 30'-0"

PROJECT DIRECTORY

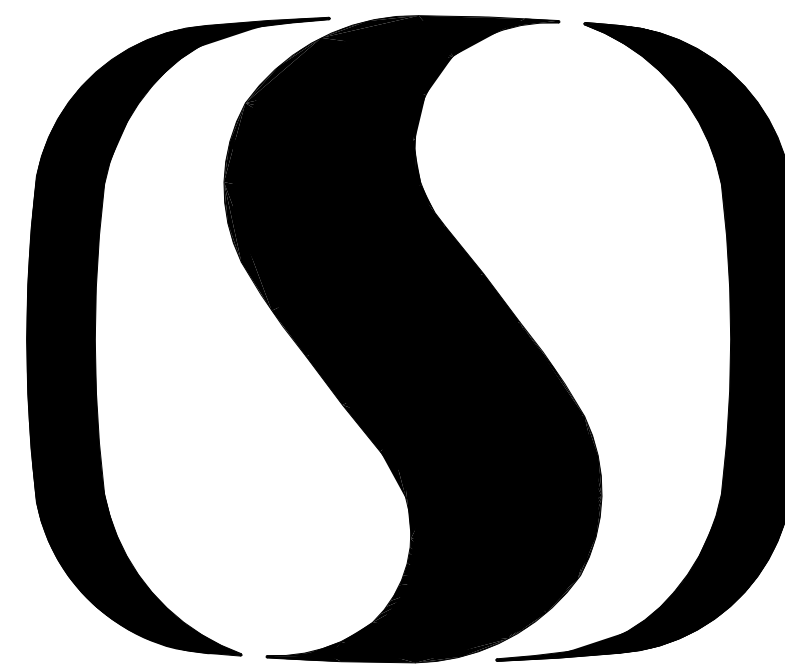
OWNER
DAVID PALMER
ALBERTSONS COMPANIES
202 E. PARKCENTER BLVD.
BOISE, ID 83706
PHONE: 923-869-5712
EMAIL: DAVID.PALMER@ALBERTSONS.COM

ARCHITECT
GBD ARCHITECTS INCORPORATED
MARCUS LIMA
1120 NW COUCH ST
SUITE 300
PORTLAND, OR 97209
PHONE: 503-224-9656
marcus@GBDARCHITECTS.COM

CONTRACTOR
KEVAN THOMAS
FS UNLIMITED, LLC
5705 WILLOW LN
SUITE E
LAKE OSWEGO, OR 97035
PHONE: 503-407-6263
KTHOMAS@FS-UNLIMITED.COM

REGULATORY AGENCIES

SALEM PERMIT APPLICATION CENTER
555 LIBERTY ST. SE
ROOM 320
SALEM, OR 97301
PHONE: 503-588-6256



SAFEWAY STORE # 1935 SAFEWAY SALEM 5660 COMMERCIAL ST. SOUTHEAST SALEM, OR 97306

VICINITY MAP

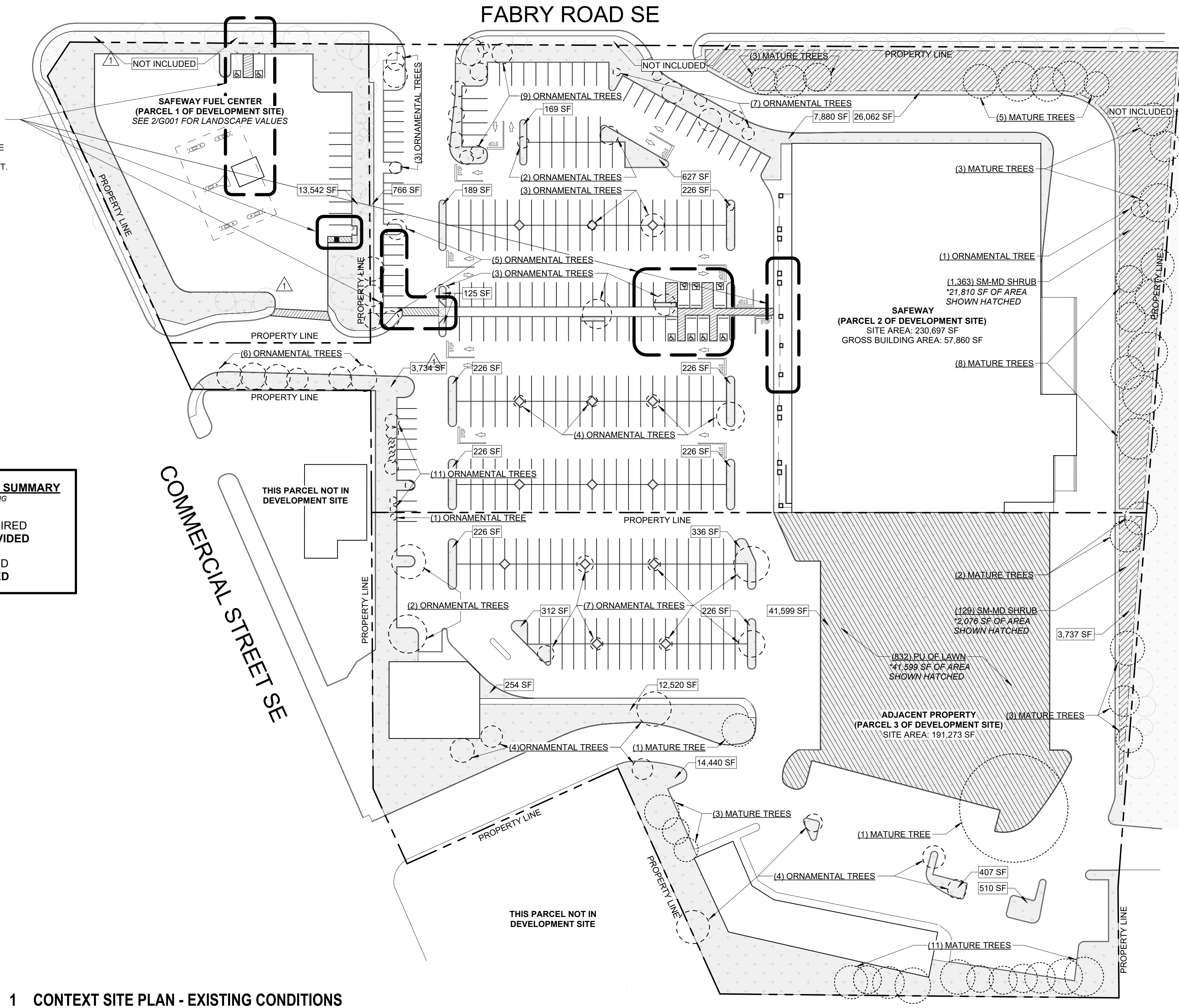


JOB SITE

*NOTE: Parcels 1, 2, and 3 are separate tax lots and are under separate ownership, but are considered to be one Development Site per SRC Chapter 111.1. No scope of work is proposed within Parcel 3, and the Job Site includes only Parcels 1 and 2.

FABRY ROAD SE

COMMERCIAL STREET SE



DRAWING INDEX

00 - GENERAL
G001 COVER SHEET
G010 ACCESSIBLE ROUTE DETAILS (OR)
G020 PARKING SIGNAGE STANDARDS (2021 IBC) OR
05 - ARCHITECTURE
A050 SITE PLAN & DETAILS
A091 SITE PLAN & DETAILS
A099 TYPICAL PAVING DETAILS

SITE INFORMATION

TAX ACCOUNT ID: 329467 & 575515 SUBDIVISION: PP 2001-084 LOT 2 & AC ADJ & PP 2001-084 LOT 1
TAXLOT NUMBER: 083W14CA01601 & 083W14CA01600 ZONING: MU-III - MIXED USE III

PROJECT DESCRIPTION

THE PROPOSED SCOPE OF WORK CONSISTS OF MAINTENANCE AND REPAIRS TO THE PARKING LOT AND PEDESTRIAN ACCESS ROUTE AT THE EXISTING SAFEWAY STORE ON COMMERCIAL STREET SOUTHEAST. REMOVING SITE ACCESS BARRIERS TO COMPLY WITH ADAS 2010 REQUIREMENTS, INCLUDING:
1. RESLOPING ACCESSIBLE PARKING AREAS AND ACCESS AISLES TO MEET CROSS SLOPE REQUIREMENTS.
2. PROVIDING NEW SIGNAGE, OR RELOCATING EXISTING SIGNAGE, THAT COMPLIES WITH ACCESSIBLE SIGNAGE REQUIREMENTS.
3. NEW STRIPING AT ACCESSIBLE STALLS, ACCESS AISLES
4. RESLOPING ACCESSIBLE CURB RAMPS TO MEET SLOPE REQUIREMENTS.
5. RESLOPING ACCESSIBLE ROUTES TO MEET SLOPE REQUIREMENTS.
6. PROVIDING A NEW ACCESSIBLE CONNECTION TO THE RIGHT OF WAY SIDEWALK.
7. THE PROPOSED ACCESSIBILITY REPAIRS ARE BASED ON THE REPORT PREPARED BY TCHERNESHOFF CONSULTING ON 05/28/2021.

GENERAL NOTES

- ALL CONSTRUCTION WORK SHALL BE DONE IN STRICT COMPLIANCE WITH BUILDING STANDARDS AND THE LATEST ADOPTED EDITION OF THE INTERNATIONAL BUILDING CODE, ANSI, ADA, NFPA, AND ALL OTHER STATE AND LOCAL CODES AND BUILDING REQUIREMENTS THAT APPLY.
- CONTRACTORS/SUBCONTRACTORS SHALL BE LEGALLY REGISTERED AND LICENSED TO COMPLETE THEIR WORK. ALL CONTRACTORS SHALL CARRY WORKMAN'S COMPENSATION INSURANCE AND ALL OTHER INSURANCE AS REQUIRED BY LAW AND AS OTHERWISE INDICATED IN THE CONSTRUCTION DOCUMENTS. ALL SHOP DRAWINGS SHALL BE STAMPED AND SEALED BY THE CONTRACTOR AND HIS/HER DESIGNER.
- CONTRACTORS AND SUBCONTRACTORS SHALL CAREFULLY EXAMINE THE SITE AND THE CONSTRUCTION DOCUMENTS PRIOR TO WORK. ERRORS AND OMISSIONS IN THE PLANS SHALL BE CALLED TO THE ATTENTION OF THE ARCHITECT PRIOR TO WORK.
- DO NOT SCALE DRAWINGS. ALL NOTED DIMENSIONS SUPERCEDE ANY SCALED DRAWING MEASUREMENTS.
- CONTRACTORS/SUBCONTRACTORS SHALL KEEP THE AREA OF WORK FREE OF GARBAGE AND DEBRIS ON A DAILY BASIS.
- DISPOSE OF ALL CONSTRUCTION MATERIALS OFF SITE. DO NOT POUR ANY CONSTRUCTION MATERIALS DOWN DRAIN, CATCH BASINS, OR IN LANDSCAPE.
- OWNER SHALL NOT BE RESPONSIBLE FOR TOOLS OR MATERIAL GOODS STOLEN OR DAMAGED ON SITE.
- ALL DIMENSIONS FOR ACCESSIBILITY ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED.
- ALL MATERIALS AND FINISHES SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS AND DETAILS.
- CONTRACTORS/SUBCONTRACTORS ARE RESPONSIBLE FOR MAINTAINING ALL REQUIRED FIRE-RATED ASSEMBLIES AND CONSTRUCTION ITEMS AS REQUIRED BY CODE.
- AREA OF WORK DOES NOT MODIFY EXISTING TREES OR LANDSCAPING. CONTRACTOR TO PROTECT ALL TREES WITHIN CONTRACTOR'S AREA OF WORK.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE TYPE OF EXISTING SURFACING IN USE, INCLUDING BUT NOT LIMITED TO ASPHALT AND SITE CONCRETE, AND MATCHING BOTH THE TYPE, REINFORCING, AND INSTALLATION REQUIREMENTS, AND THE REQUIREMENTS OF STATE AND LOCAL AUTHORITIES, AT LOCATIONS WHERE SURFACING IS TO BE REPLACED.

APPLICABLE CODES

BUILDING CODE: 2021 INTERNATIONAL BUILDING CODE
ADA STANDARDS: ADAS 2010/2009 ICC A117.1, 2017 IBC A117.1

FIRE SPRINKLERS: BUILDING IS FULLY SPRINKLERED WITH AN NFPA 13 - COMPLIANT SYSTEM
FIRE ALARM: NFPA 72

ACCESSIBLE PARKING REQUIREMENTS (1106.2)

ACCESSIBLE PARKING CHART (OR)			
NUMBER OF PARKING SPACES	NUMBER OF ACCESSIBLE SPACES REQUIRED	NUMBER OF VAN ACCESSIBLE SPACES REQUIRED	"WHEELCHAIR USER ONLY" SPACES REQUIRED
1-25	1	1	-
26-50	2	1	-
51-75	1	1	-
76-100	4	1	-
101-150	5	-	1
151-200	6	-	1
201-300	7	-	2
301-400	8	-	2
401-500	9	-	2
501-1000	2% OF TOTAL	-	1 IN EVERY 6 ACCESSIBLE SPACES OR PORTION THEREOF
1,001+	20 + 1 FOR EVERY 100 SPACES OVER 1,000	-	1 IN EVERY 6 ACCESSIBLE SPACES OR PORTION THEREOF

NUMBER OF STORE PARKING SPACES: 249
NUMBER OF ACCESSIBLE SPACES REQ: 7
"WHEELCHAIR USER ONLY" SPACES REQ: 2

ACCESSIBLE SPACES PROVIDED: 7
"WHEELCHAIR USER ONLY" SPACES PROVIDED: 2

* NO CHANGE IN OVERALL PARKING COUNT.

ACCESSIBLE STALL REQUIREMENTS (ICC A117.1)

502.2: CAR PARKING SPACES SHALL BE 96 INCHES MINIMUM IN WIDTH. VAN PARKING SPACES MUST BE 132 INCHES IN WIDTH. VAN PARKING WIDTH MAY BE REDUCED TO 96 INCHES WHEN ADJACENT ACCESS AISLE IS 96 INCHES IN WIDTH. ALL MEASUREMENTS SHALL BE TAKEN FROM CENTERLINE OF MARKING.

502.4: CAR AND VAN PARKING SPACES MUST HAVE AN ADJACENT ACCESS AISLE NO LESS THAN 60 INCHES IN WIDTH. ACCESS AISLES MUST BE ADJACENT TO THE ACCESSIBLE ROUTE. ACCESS AISLE FOR ANGLED VAN PARKING MUST BE ADJACENT TO THE PASSENGER SIDE.

502.5: PARKING SPACES AND ACCESS AISLES SHALL NOT SLOPE AT GREATER THAN 1:48 (2%) IN ANY DIRECTION.

ACCESSIBLE ROUTE REQUIREMENTS (ICC A117.1)

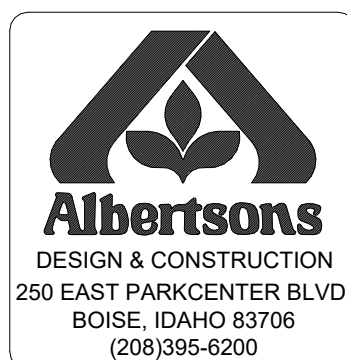
403.3: THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT EXCEED 1:20 (5%). THE CROSS SLOPE OF A WALKING SURFACE SHALL NOT EXCEED 1:48 (2%).

405: RAMPS: CHANGES IN LEVEL GREATER THAN 1/2" MAY BE ACHIEVED WITH A RAMP. RAMPS MAY HAVE A RUNNING SLOPE GREATER THAN 1:20 (5%) BUT NO STEEPER THAN 1:12 (8.33%). RAMPS THAT SLOPE AT GREATER THAN 1:20 (5%) AND UP TO 1:12 (8.33%) ARE REQUIRED TO HAVE HANDRAILS AT A CHANGE IN ELEVATION GREATER THAN 6 INCHES. RAMPS MAY NOT EXCEED 30 INCHES IN RISE WITHOUT A LANDING. LANDINGS AT RAMPS SHALL HAVE A CLEAR LENGTH OF 60 INCHES MINIMUM.

GBD

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GBD © 2020

STAMP



PROJECT

1935 Salem

5660 Commercial St.
Southeast
Salem, OR 97306

CLIENT

Albertsons Companies

250 East Parkcenter Blvd.
Boise, ID 83708

Notice of Extended Payment Provision: The contract will allow the owner to make payment within 30 days after the date a billing or estimate is submitted. Notice of Alternate Billing Cycle: The contract will allow the owner to require the submission of billings or estimates in billing cycles other than 30-day cycles. Billings or estimates for the contract shall be submitted as follows: Each calendar month ending on the last day of the applicable month. REVISIONS:

2 10/20/24 LUR RESPONSE 02
1 09/09/24 LUR RESPONSE 01

DATE

07/24/2024

PROJECT NUMBER

20237107

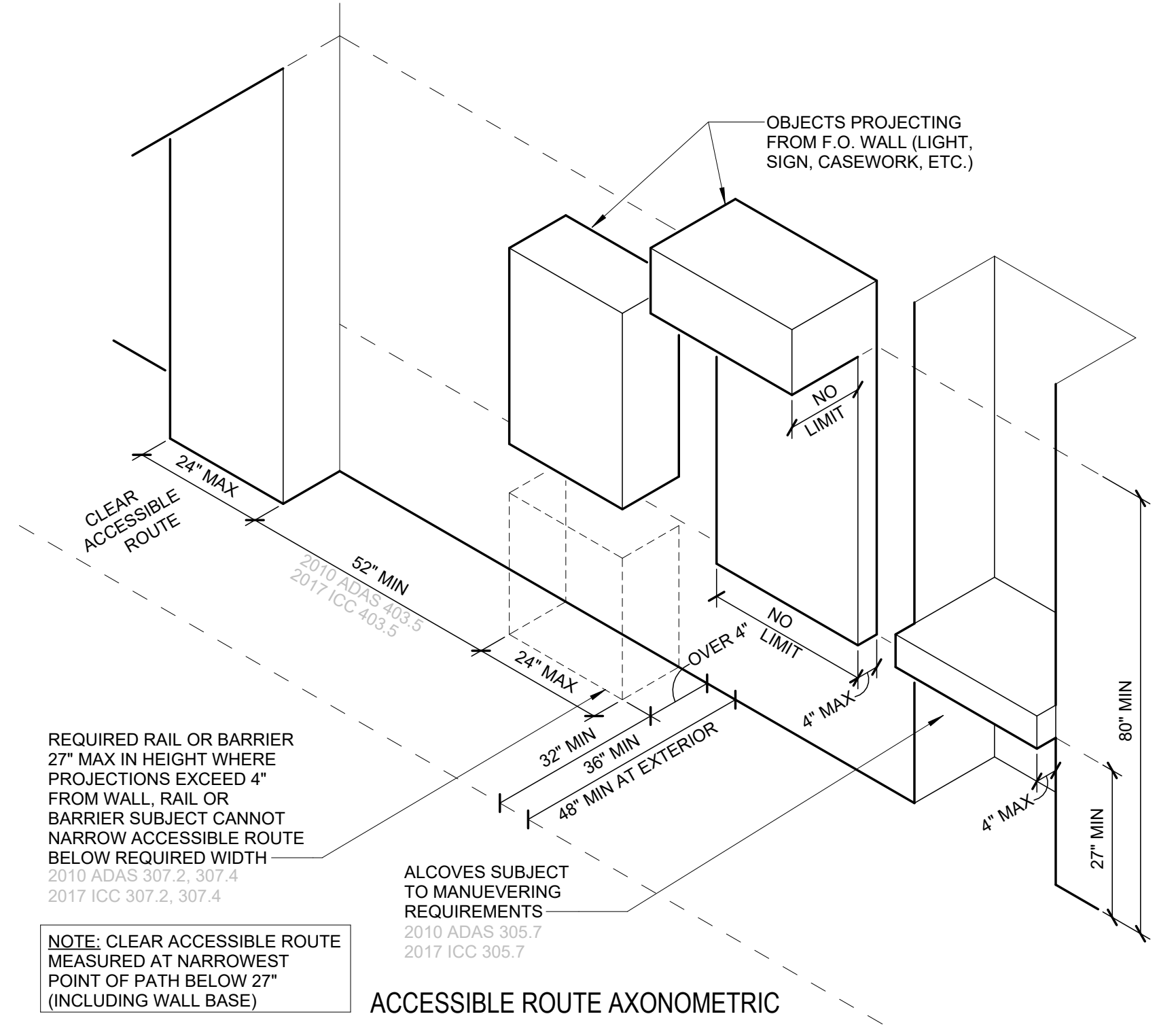
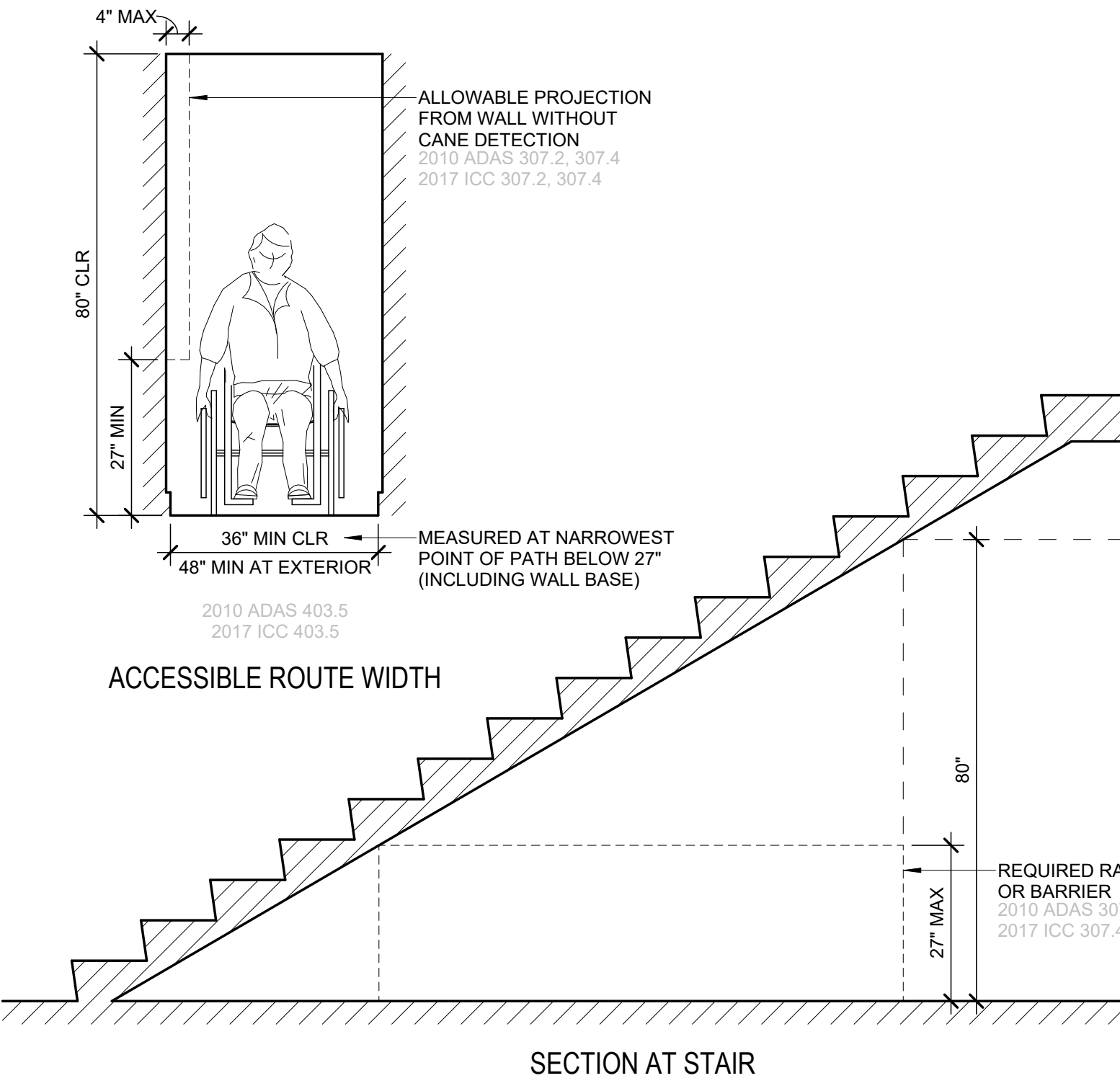
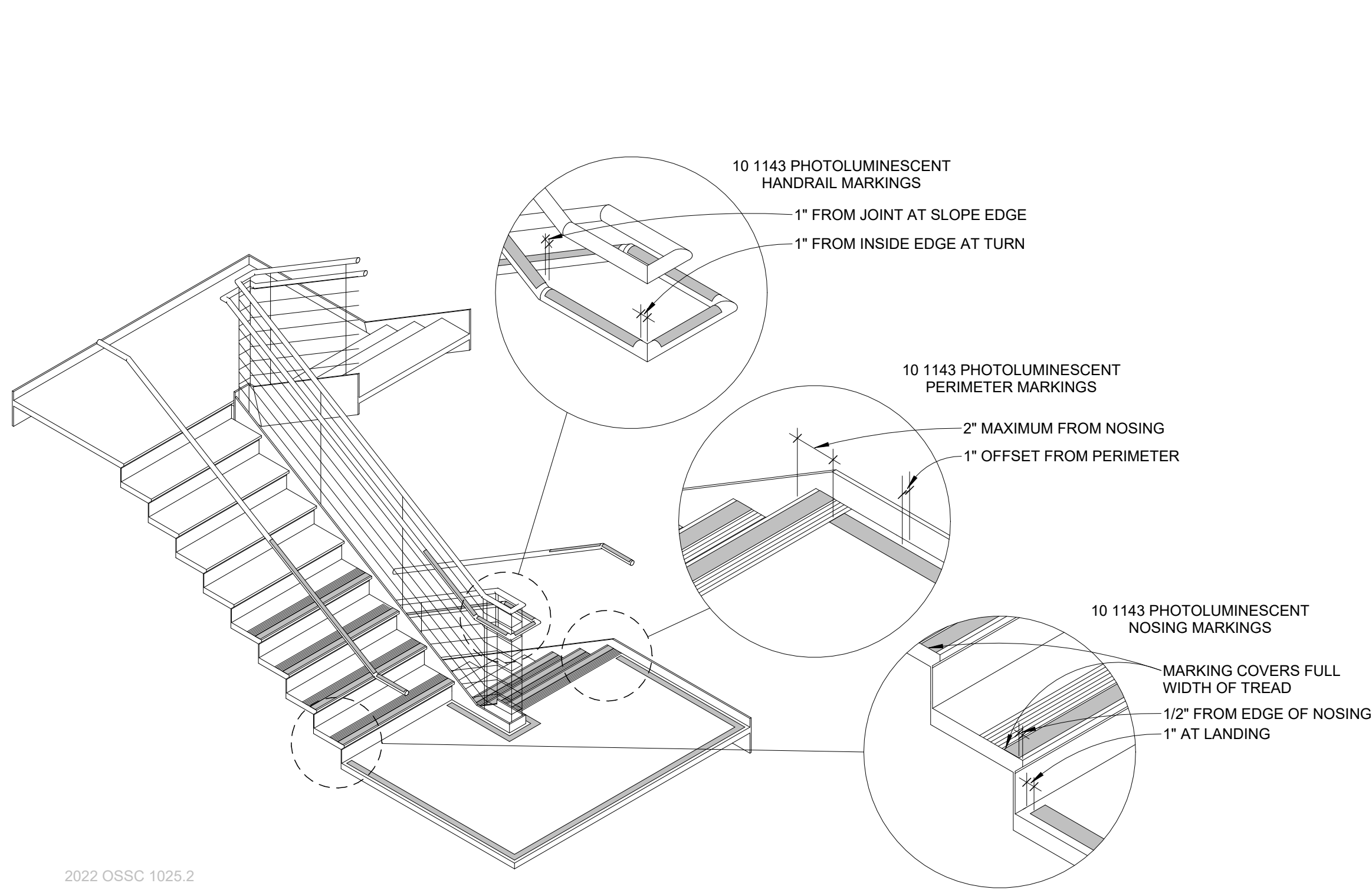
SCALE

As indicated

SHEET TITLE

COVER SHEET

G001



ACCESSIBLE DETAILS SPECIFIC TO COMMON USE AND PUBLIC AREAS

Applicable Standards:
- 2010 ADA Standards for Accessible Design (ADAS) for areas of public accommodation
- 2021 International Building Code with Oregon Amendments ("2022 OSSC") with referenced accessibility technical standard ICC A117.1 - 2017 (per IBC Chapter 11) for public, common use and units to satisfy local building code.
- The Fair Housing Act (FHA), as Amended 1988, using the "safe harbor" of the 2018 IBC with referenced ICC A117.1 2009 for FHA Guidelines Requirements 1-7 for common use areas and units to satisfy FHA.

GENERAL ACCESSIBILITY NOTES

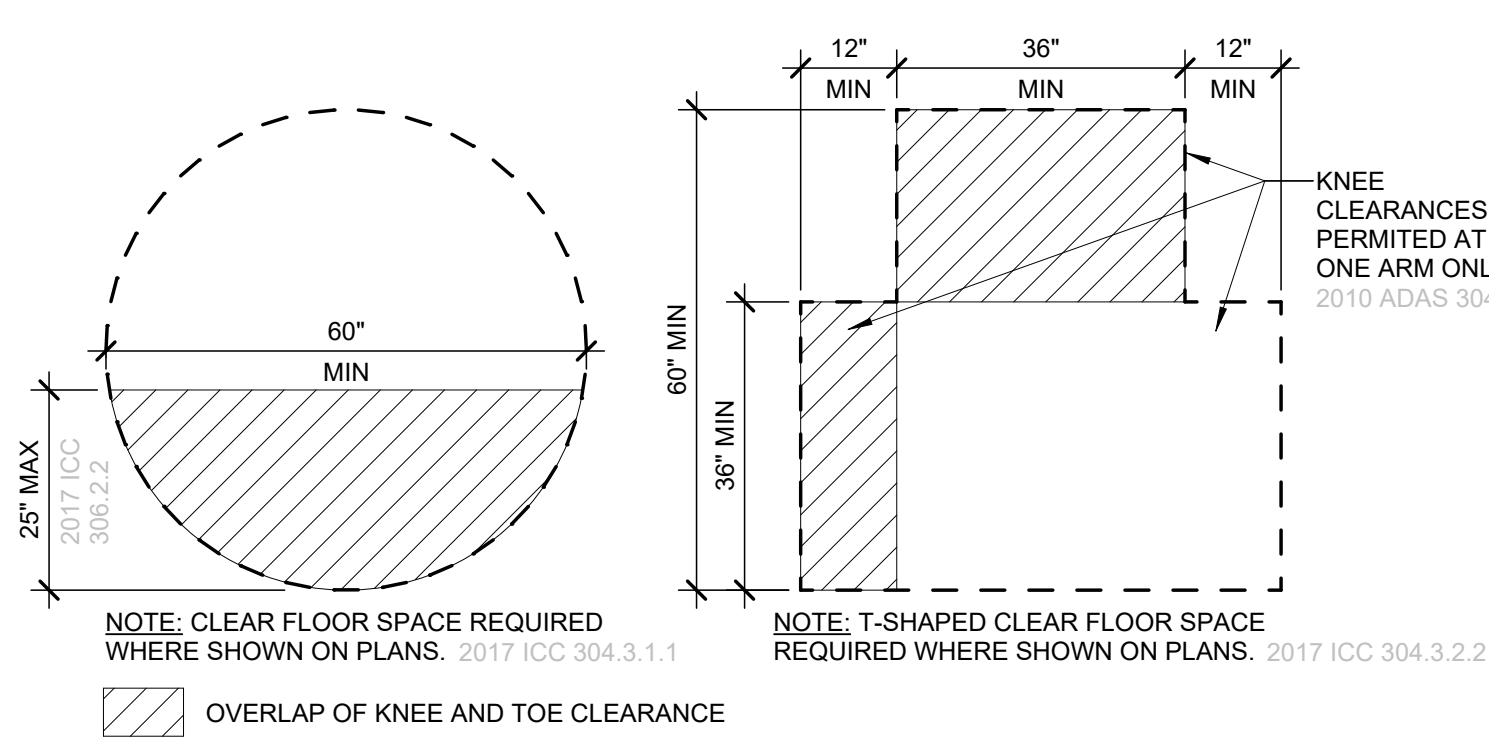
- RESIDENTIAL USE UNITS AND COMMON AREAS SHALL COMPLY WITH U.S. GOVERNMENT FAIR HOUSING ACT AND APPLICABLE STATE REGULATIONS. ALL OTHER AREAS TO COMPLY WITH AMERICANS WITH DISABILITIES ACT AND SECTIONS OF CURRENT OREGON STRUCTURAL SPECIALTY CODE.
- UNLESS NOTED OTHERWISE, ALL DIMENSIONS AND DOOR MANEUVERING CLEARANCES ON THIS SHEET ARE MEASURED FROM FACE OF FINISH, CLEAR DIMENSIONS SHOULD BE MEASURED FROM THE FACE OF BASE BOARDS, CHAIR RAILS, WAINSCOT, ETC.
- MOUNTING HEIGHTS ARE MEASURED ON THIS SHEET FROM FINISH FLOOR ELEVATION.
- VERIFY COMPONENT DIMENSIONS AND LEVELING REQUIREMENTS ARE WITHIN ALLOWABLE DIMENSIONS.
- DIMENSIONS AND CONFIGURATIONS SHOWN ARE FOR REFERENCE ONLY. ACTUAL DIMENSIONS AND CONFIGURATIONS MAY VARY. MINIMUMS AND MAXIMUMS INDICATED IN THE DOCUMENTS MAY BE MORE STRINGENT THAN THOSE DIMENSION INDICATED ON THIS SHEET. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DIMENSIONS THAT DO NOT MEET OR EXCEED THE GUIDELINES ON THIS SHEET.
- VERIFY CLEARANCES WITH MANUFACTURER'S PRODUCT SIZES AND REQUIREMENTS TO ENSURE ACCESSIBLE CLEARANCES ARE MET.
- PROVIDE BACKING AS INDICATED FOR INSTALLED OR FUTURE GRAB BARS SHALL WITHSTAND MINIMUM 250 LBS. OF FORCE. SEE SPECIFICATIONS.
- AT ALL CASEWORK INDICATED AS REMOVABLE, EXTEND FLOOR FINISH UNDER CASEWORK AND COMPLETE FINISH OF ADJACENT WALL AND/OR CASEWORK SURFACES.

FOR REFERENCE

STATE OF OREGON COMPLIANCE
OREGON STRUCTURAL SPECIAL CODE 2022.
Section 1102.1 Design. Buildings and facilities shall be designed and constructed to be accessible in accordance with this code and ICC A117.1 (v2017 per OSSC Ch. 35).
1102.1.2 Amendments to ICC A117.1. The provisions of this section shall be considered amendments to ICC A117.1, ICC A117.1 Section 407 is not adopted, ICC A117.1 Section 408 is not adopted, ICC A117.1 Section 409 is not adopted, ICC A117.1 Section 410 is not adopted, ICC A117.1 Section 404.2.8 is deleted in its entirety and replaced, ICC A117.1 Section 406.6 is deleted in its entirety, ICC A117.1 Section 502.2, 502.5, 502.10, 502.11 are adopted, the remaining provisions of section 502 are deleted. Accessible parking is subject to ORS 447.233, ICC A117.1 Chapter 10 is adopted as noted in OSSC 1102.1.2.8.
OREGON TRANSPORTATION COMMISSION, Standards for Accessible Parking Spaces 2018.
FEDERAL COMPLIANCE (PRIVATELY FUNDED BUILDINGS)
FAIR HOUSING ACT (FHA) of 1968 with 1988 amendments included in FHA FAIR HOUSING ACT GUIDELINES, FAIR HOUSING ACT GUIDELINE Q&A SUPPLEMENT, FAIR HOUSING ACT DESIGN MANUAL v1998, as referenced by FHA, ICC/ANSI A117.1 v1988 (v1992, v1998, v2003, v2009 permitted as safe harbors when used with the FHA Guidelines per Federal Register Design and Construction Requirements; Compliance with ANSI A117.1 Standards).
Note: Portions of buildings covered by the FHA are expressly exempt from the requirements of Americans with Disabilities Act (ADA) of 1990 with 2010 amendments (per Title III Sec.36.104 Definitions, 31 of ADA 2010). Common use areas that are leaseable or available to the public at large (rather than solely for the use of residence and their guests) must comply with the requirements of ADA 2010.
Note: Buildings with Federal Assistance must comply with ADA 2010 and Section 504 of HUD which requires compliance with Uniform Federal Accessibility Standards (UFAS).

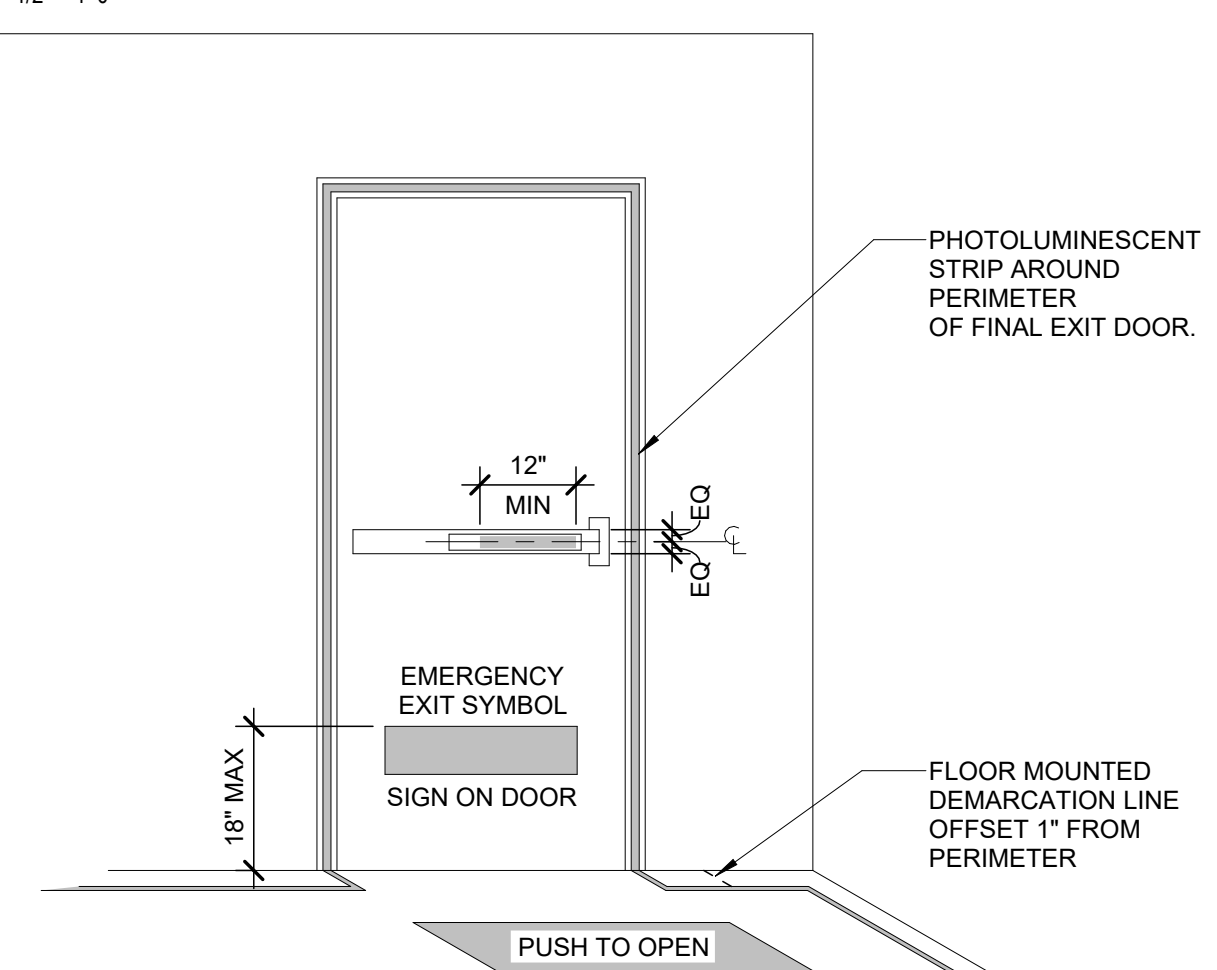
32 PHOTOLUMINESCENCE AT STAIRS - WHERE REQUIRED IN HIGH RISE BUILDINGS

3/8" = 1'-0"



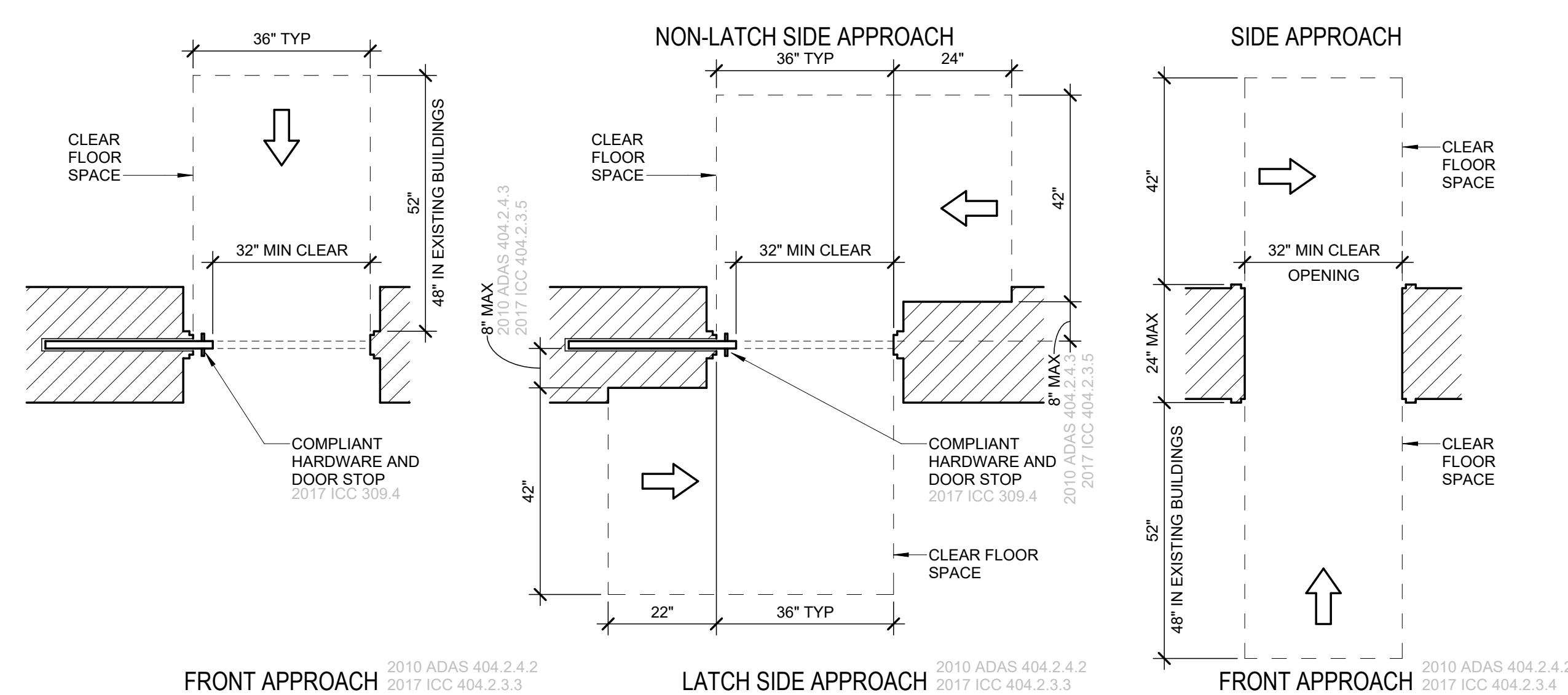
20 ACCESSIBLE ROUTE AND CANE DETECTION

1/2" = 1'-0"



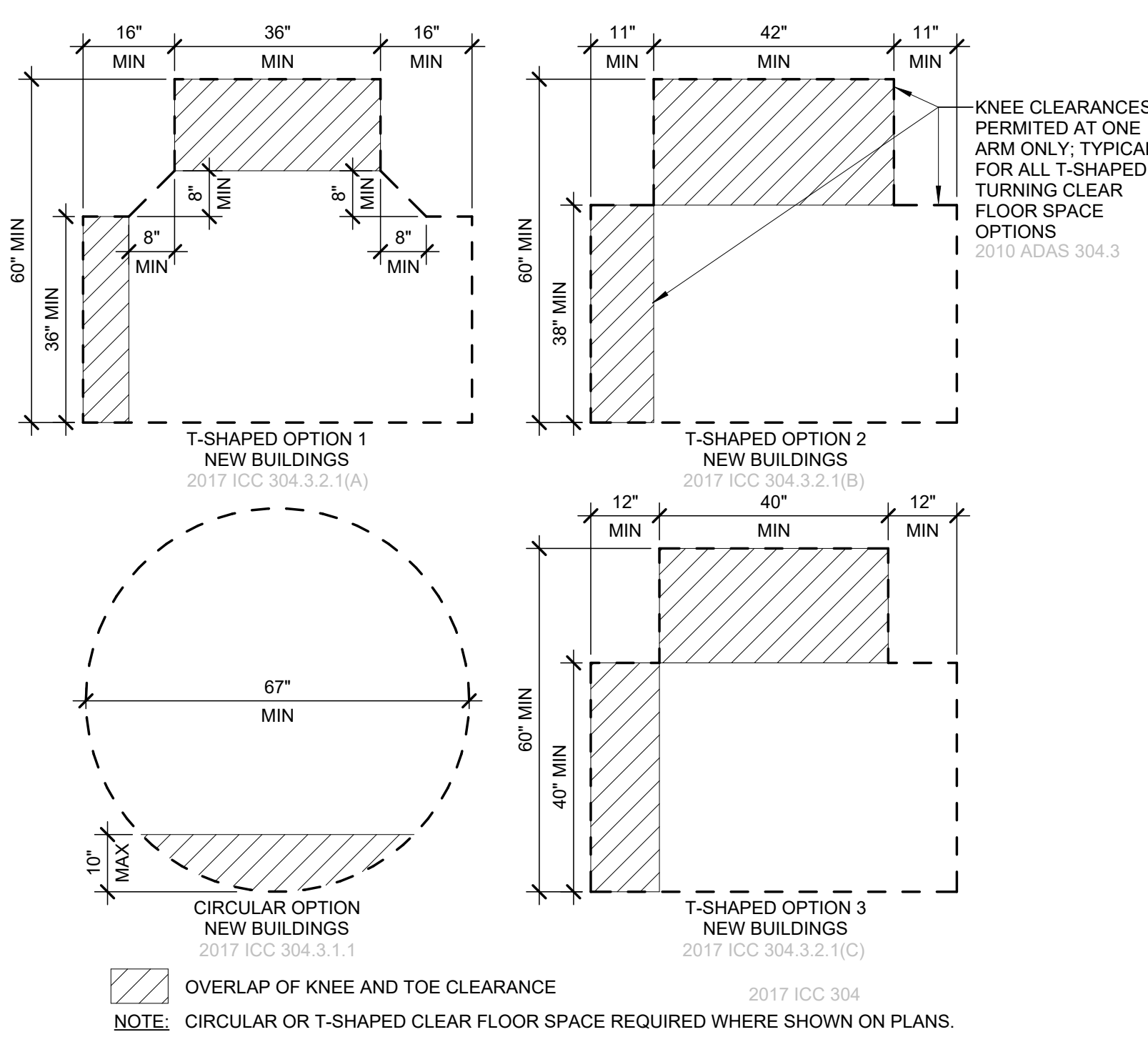
15 DOOR ELEVATION

1/2" = 1'-0"



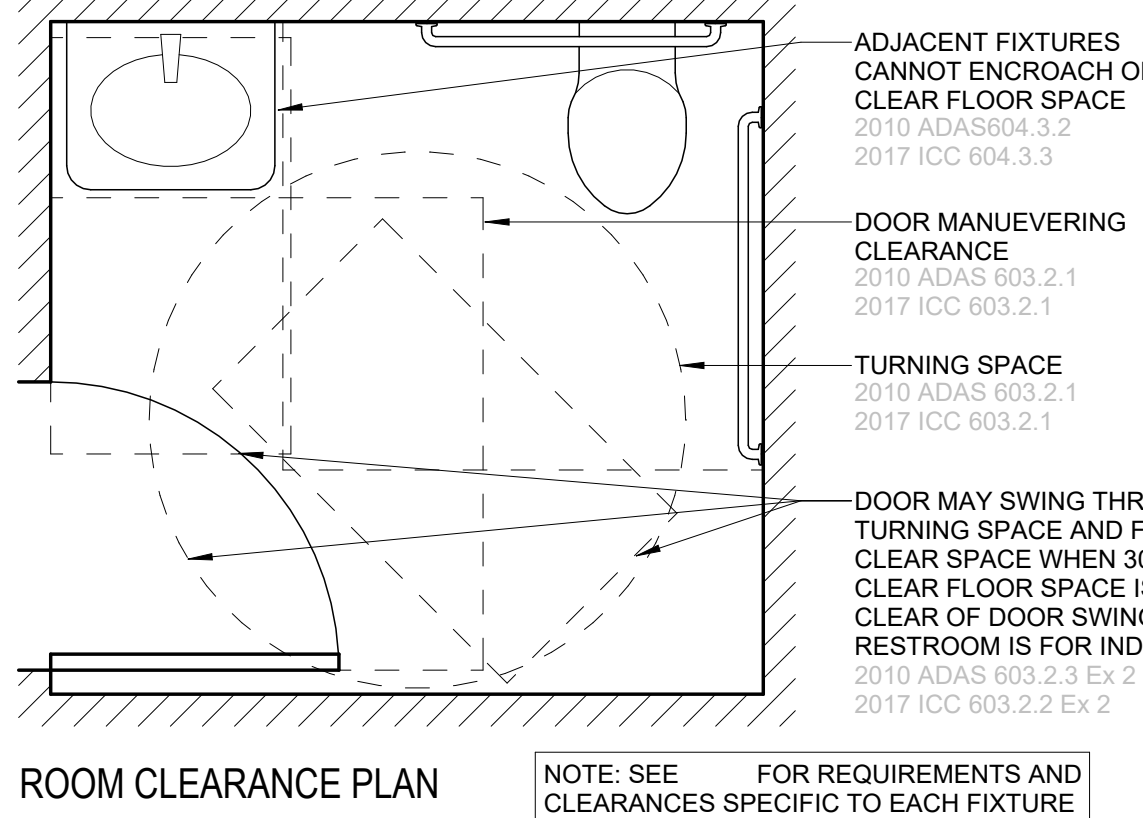
27 TURNING SPACE FLOOR CLEARANCE - EXISTING BUILDINGS

1/2" = 1'-0"



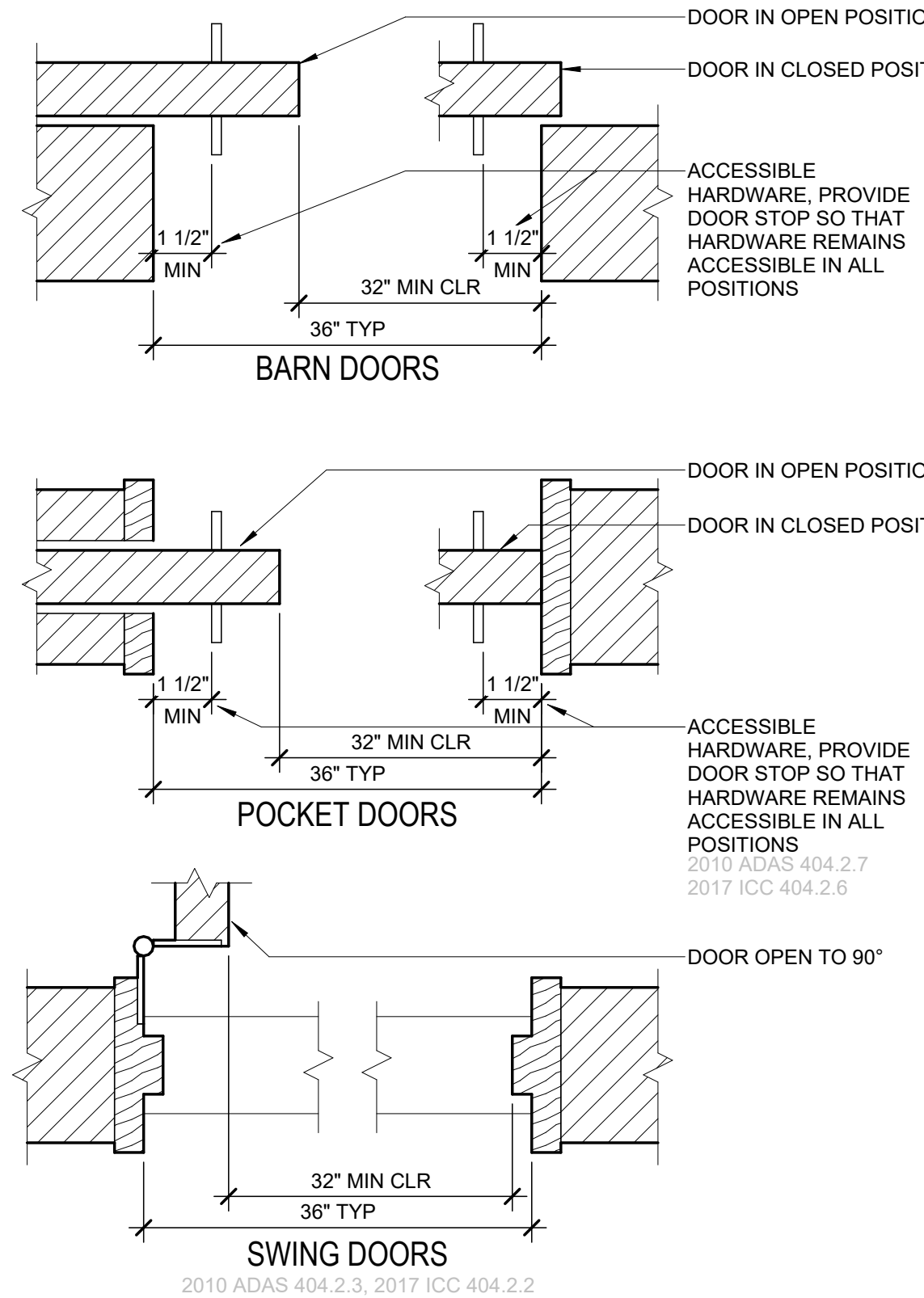
21 PHOTOLUMINESCENCE AT EXIT DOORS

1/2" = 1'-0"



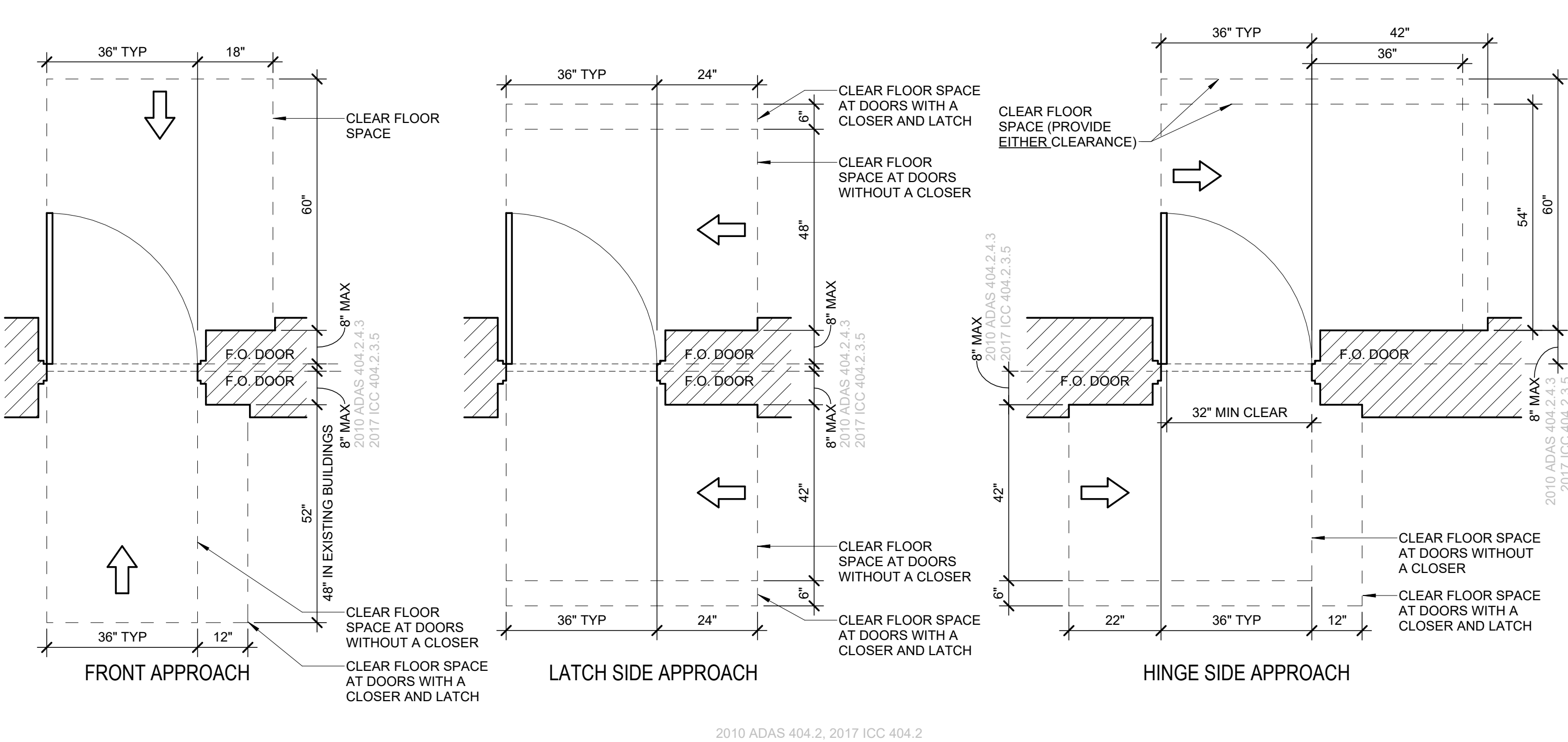
22 SINGLE OCCUPANT RESTROOM

1/2" = 1'-0"



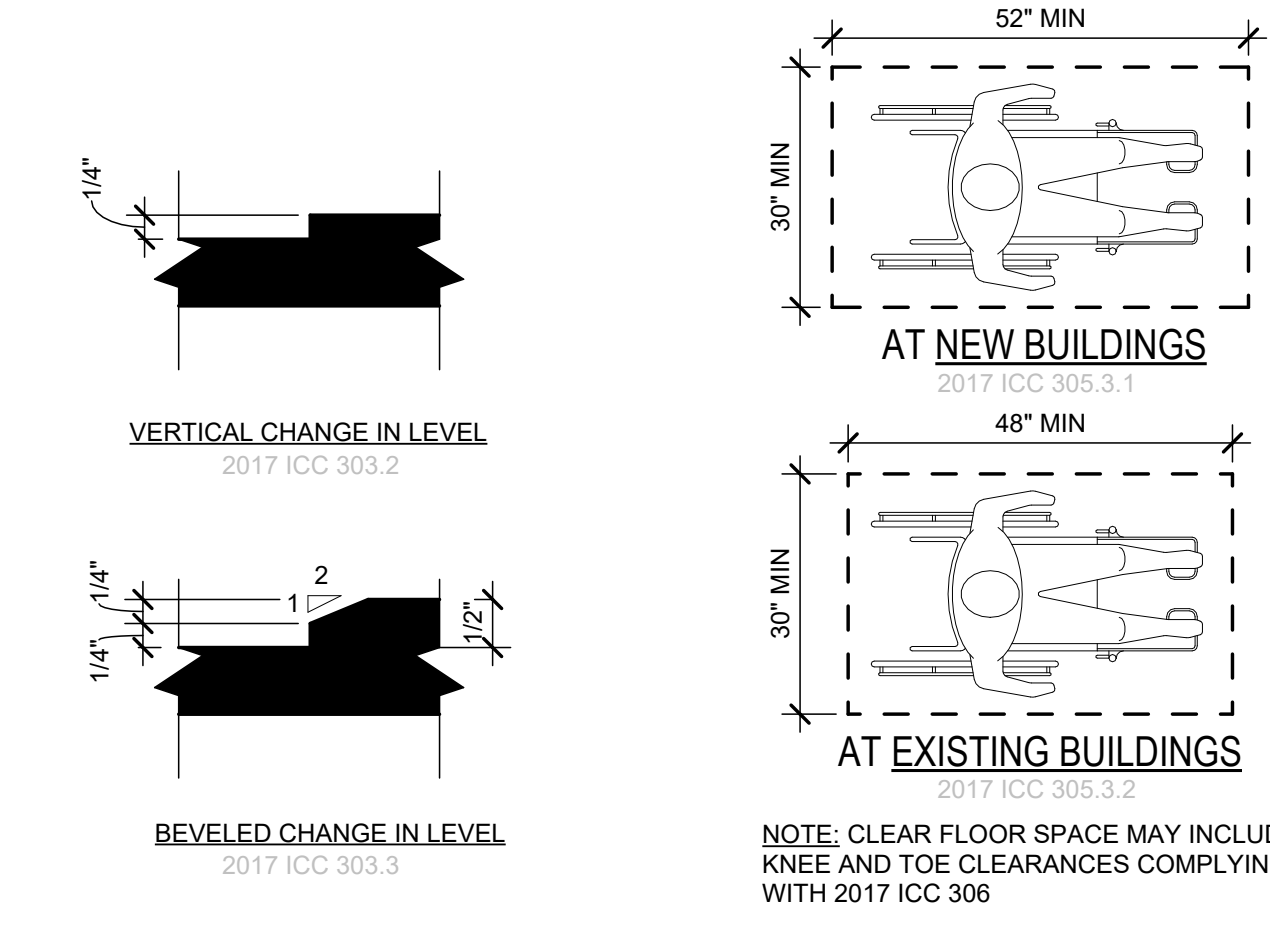
16 MANEUVERING CLEARANCES AT POCKET/SLIDING DOORS & OPEN DOORWAYS

1/2" = 1'-0"



29 TURNING SPACE FLOOR CLEARANCE - NEW BUILDINGS

1/2" = 1'-0"



31 CHANGES IN LEVEL

6\"/>

30 CLEAR FLOOR SPACE

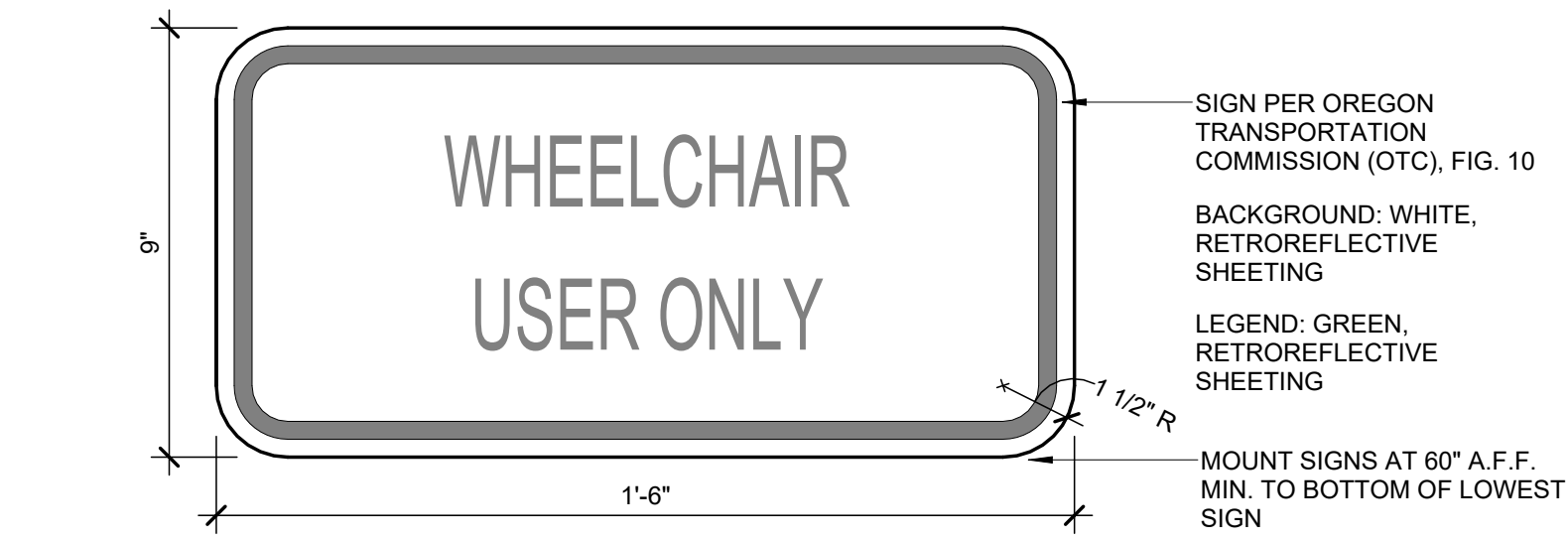
1/2\"/>

24 PASSAGE DOOR WIDTH

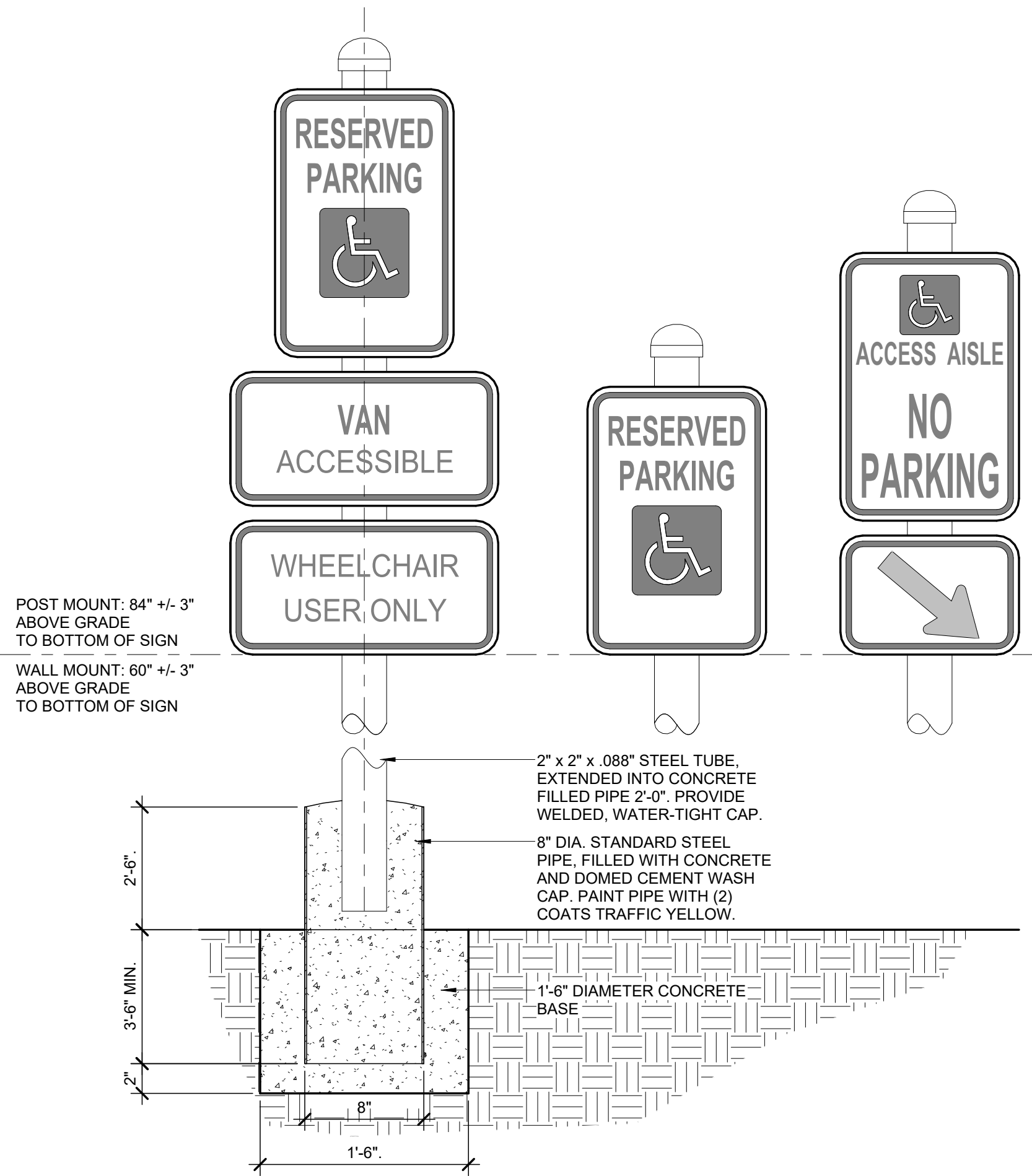
3\"/>

18 MANEUVERING CLEARANCES AT MANUAL SWING DOORS

1/2\"/>

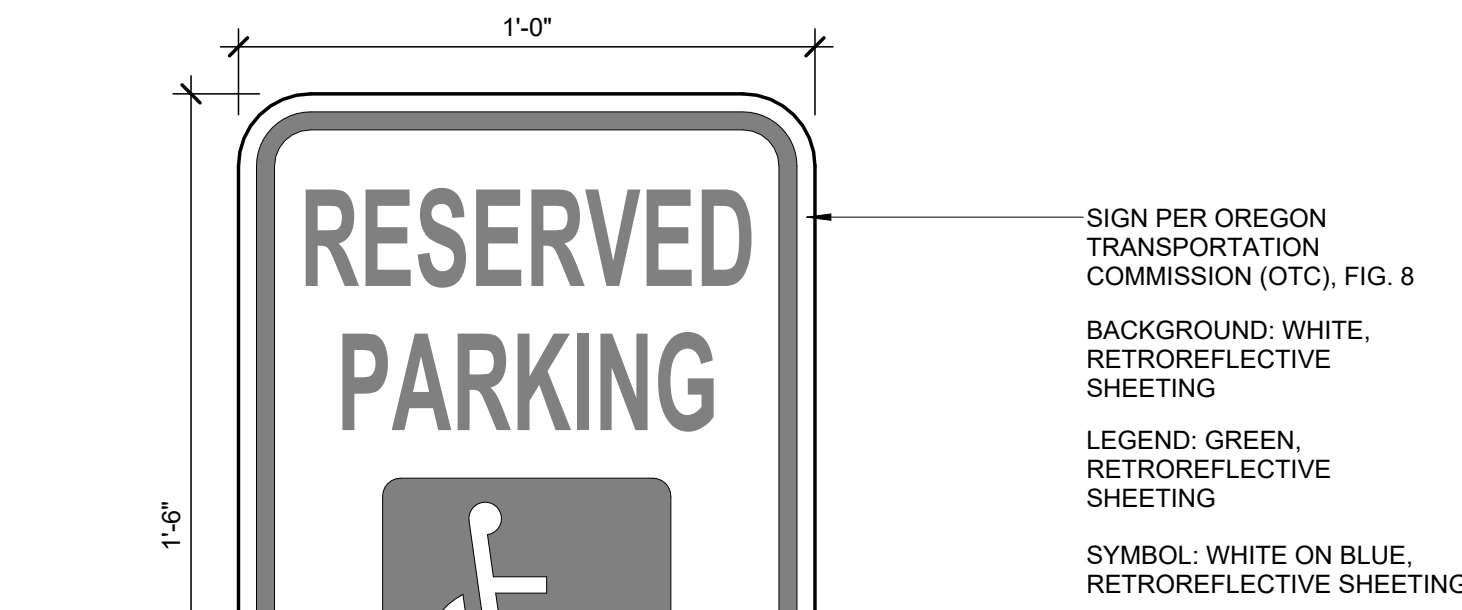


25 TYP. WHEELCHAIR USER SIGN OR7-8c



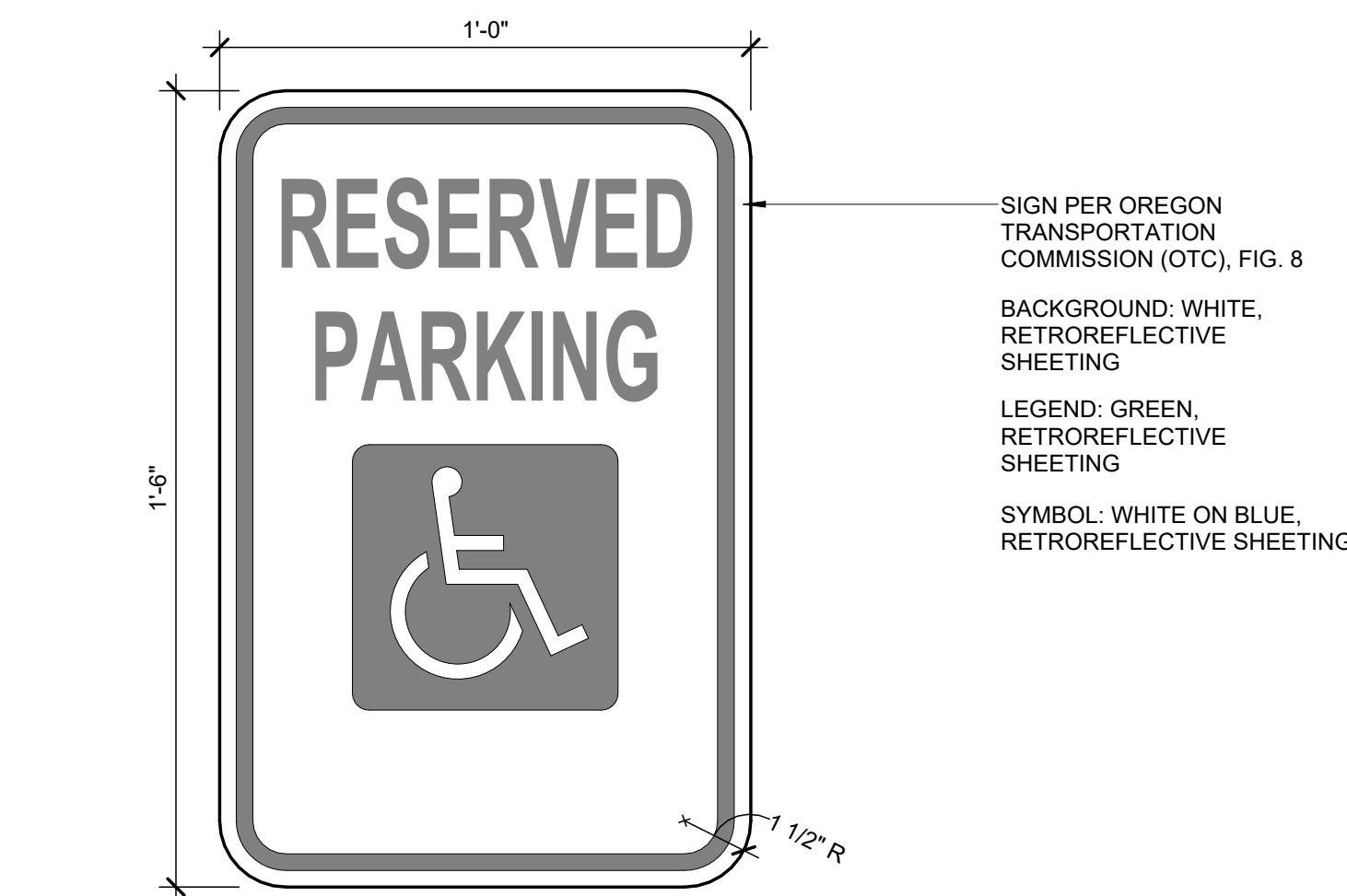
27 TYP. SIGN MOUNTING

1 1/2" ± 1'-0"



14 TYP. VAN ACCESSIBLE SIGN R7-8 AND R7-8a

3" ± 1'-0"



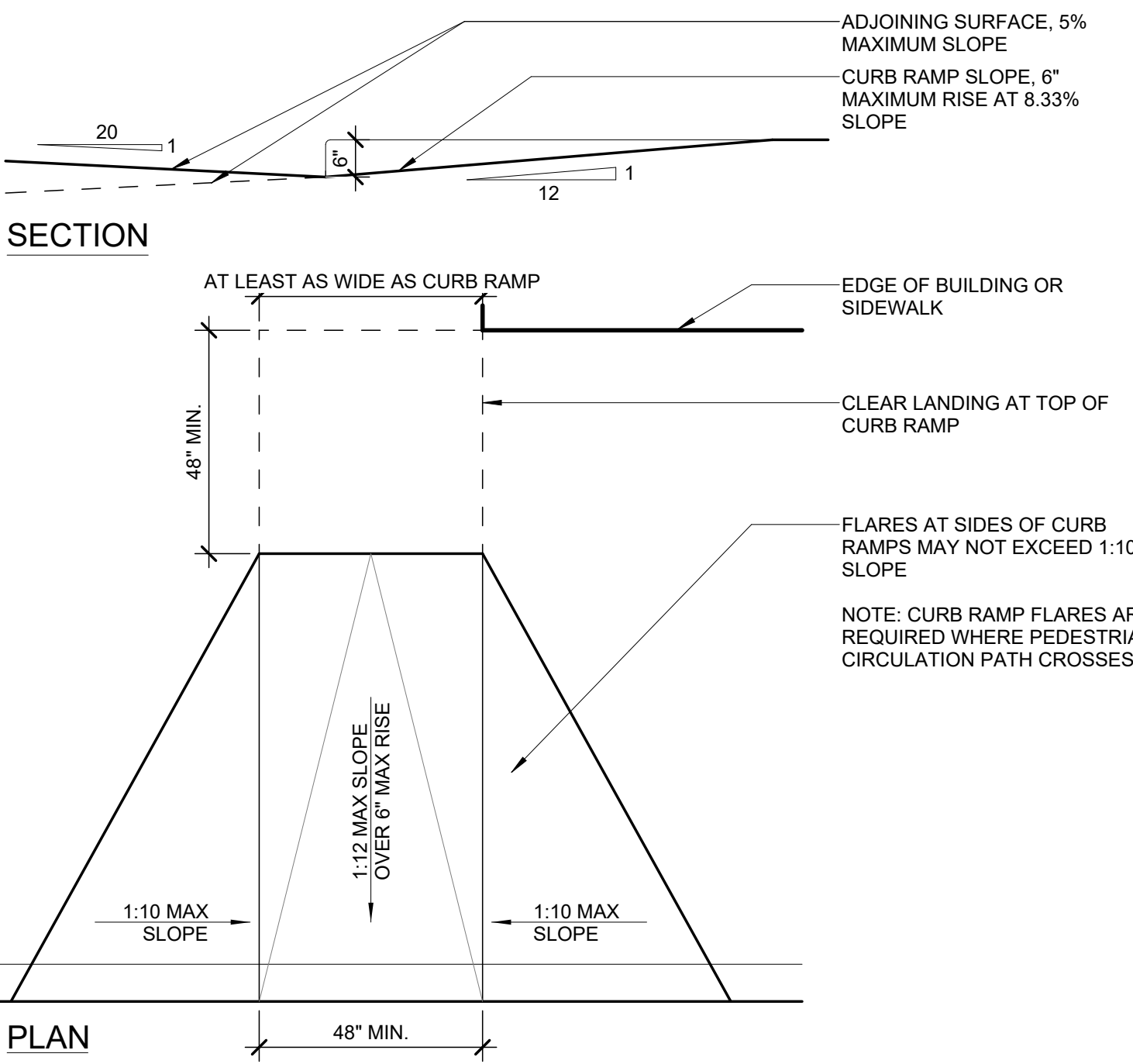
15 TYP. ACCESSIBLE SIGN R7-8

3" ± 1'-0"



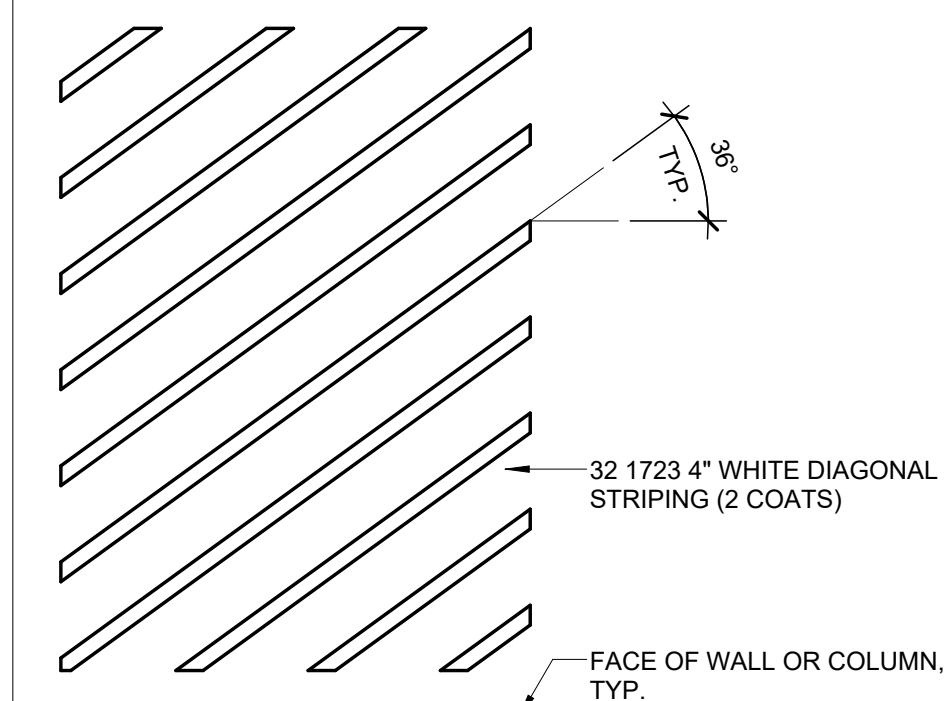
16 TYP. ACCESS AISLE SIGN OR7-9 and OR7-9a

3" ± 1'-0"



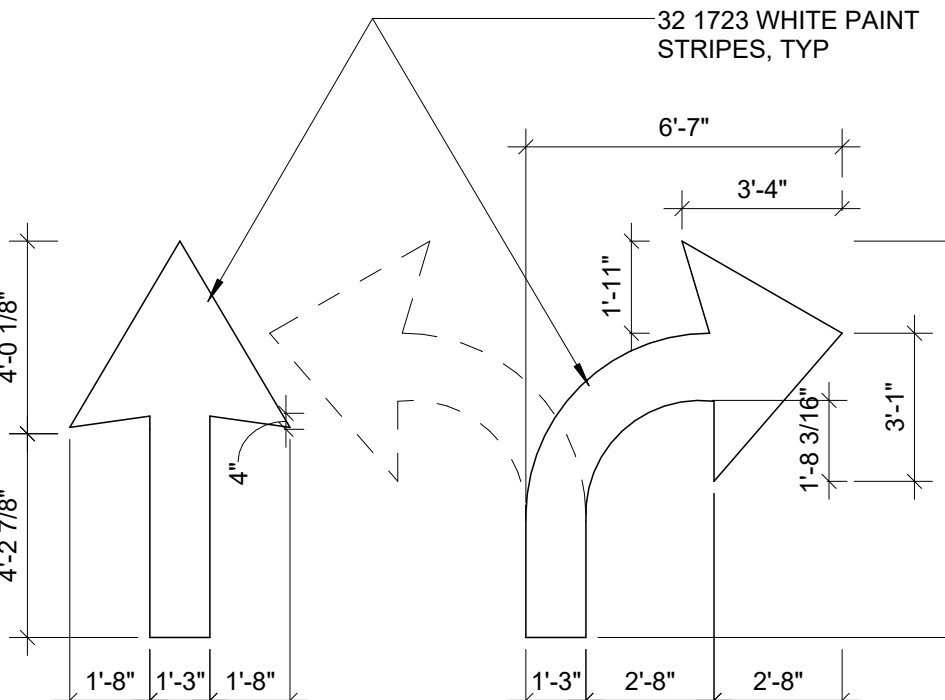
18 ACCESSIBLE CURB RAMPS

1/2" ± 1'-0"



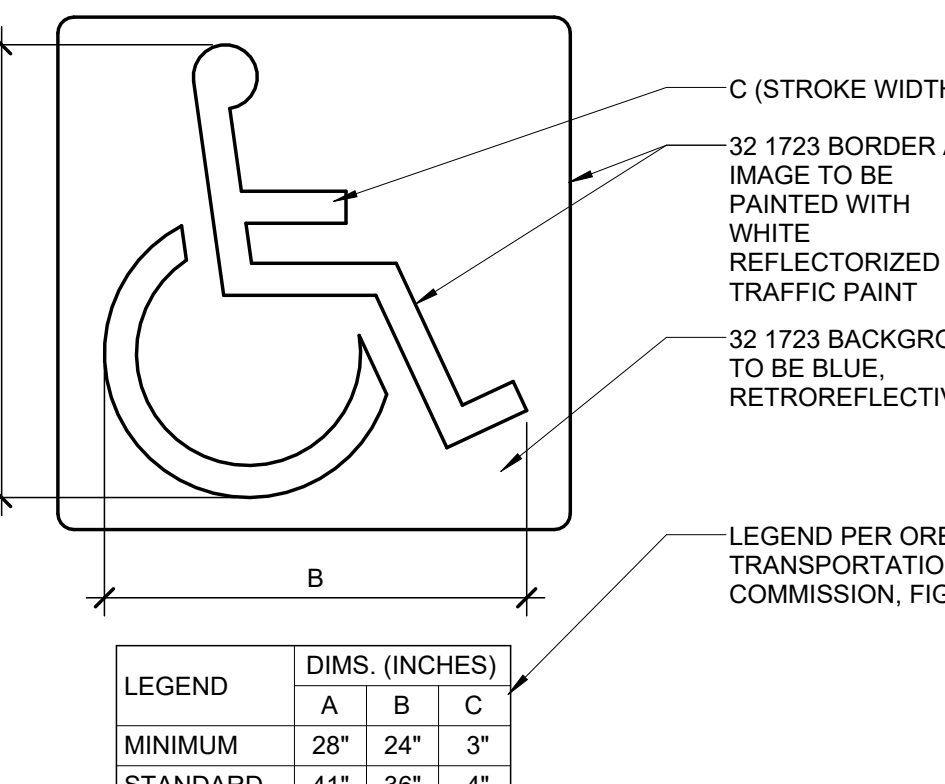
7 TYP. DIAGONAL STRIPING

1/4" ± 1'-0"



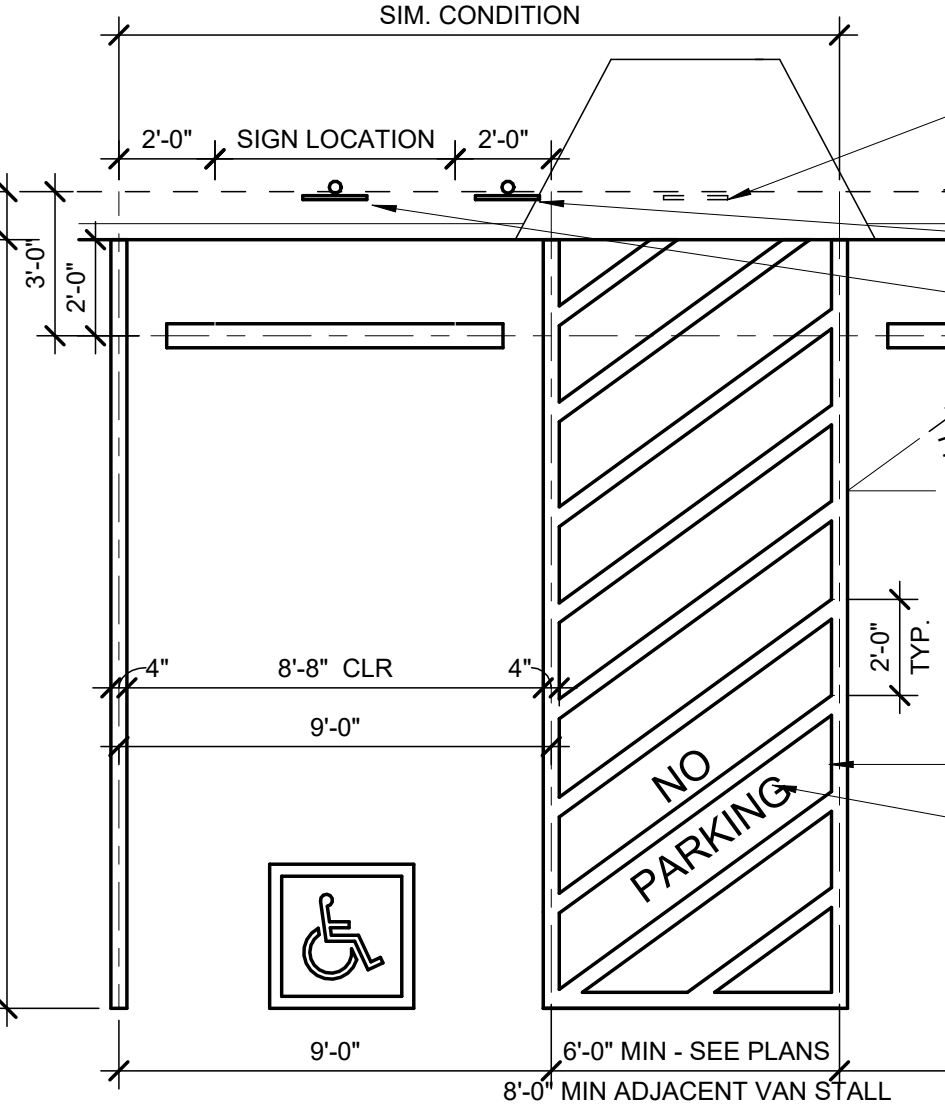
8 DIRECTIONAL ARROWS

1/4" ± 1'-0"



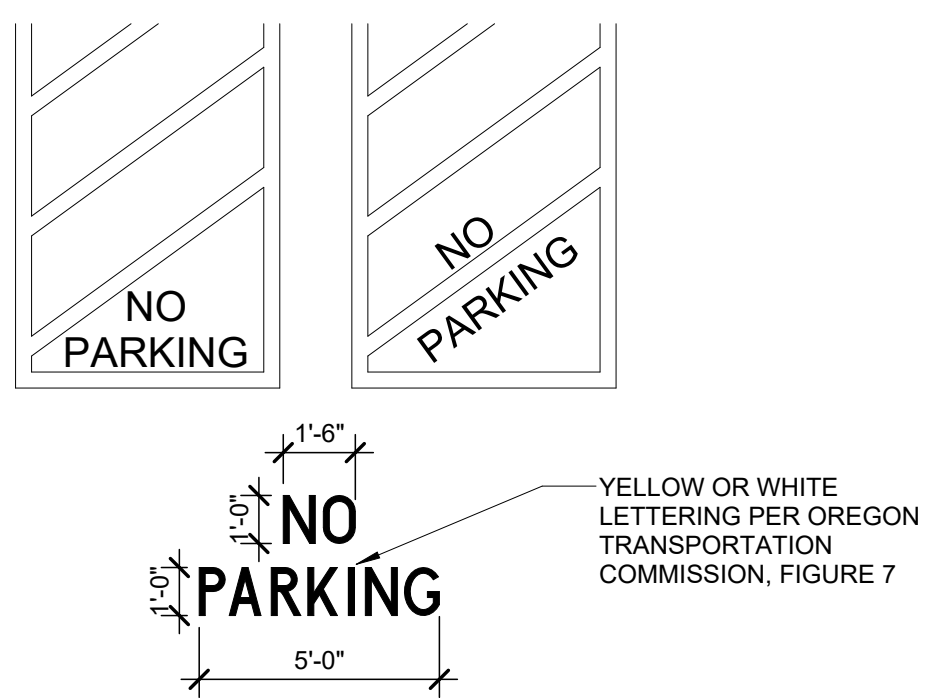
9 DISABLED FLOOR SYMBOL

1" ± 1'-0"



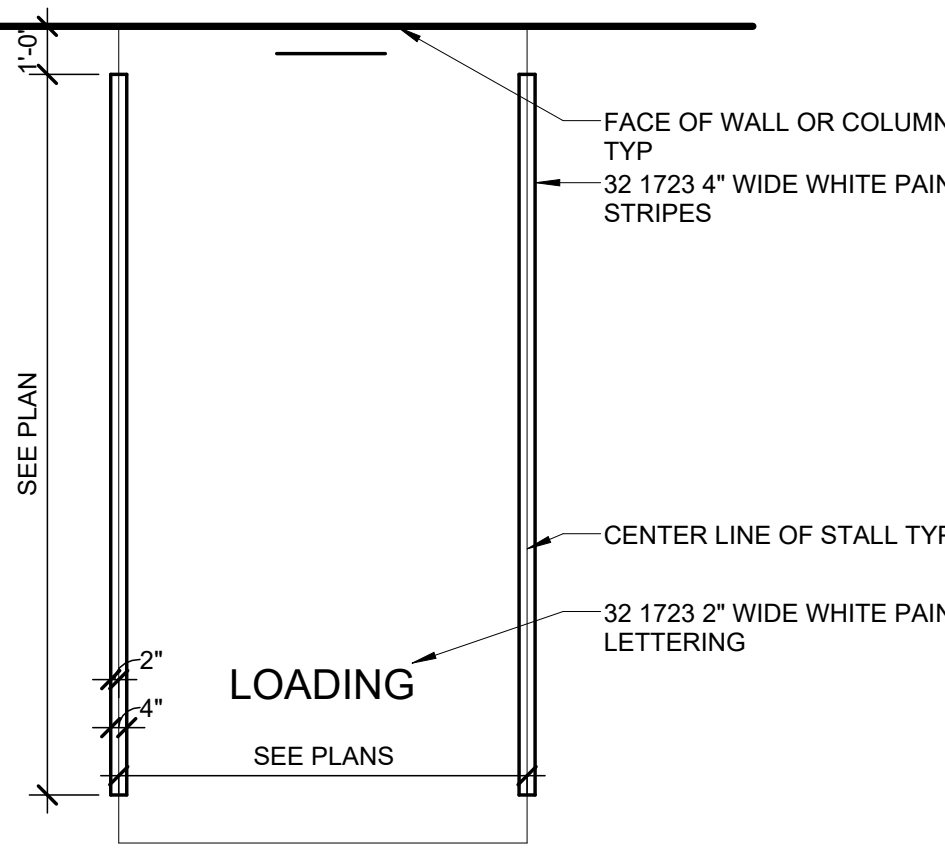
10 ACCESSIBLE PARKING STALL STRIPING

1/4" ± 1'-0"



11 NO PARKING STRIPING

1/4" ± 1'-0"



12 TYPICAL STALL STRIPING

1/4" ± 1'-0"

ACCESSIBLE DETAILS SPECIFIC TO COMMON USE AND PUBLIC AREAS

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- DIMENSIONS AND CONFIGURATIONS SHOWN ARE FOR REFERENCE ONLY. ACTUAL DIMENSIONS AND CONFIGURATIONS MAY VARY. MINIMUMS AND MAXIMUMS INDICATED IN THE DOCUMENTS MAY BE MORE STRINGENT THAN THOSE DIMENSION INDICATED ON THIS SHEET. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DIMENSIONS THAT DO NOT MEET OR EXCEED THE GUIDELINES ON THIS SHEET.
- VERIFY CLEARANCES WITH MANUFACTURER'S PRODUCT SIZES AND REQUIREMENTS TO ENSURE ACCESSIBLE CLEARANCES ARE MET.
- PROVIDE BACKING AS INDICATED FOR INSTALLED OR FUTURE GRAB BARS SHALL WITHSTAND MINIMUM 250 LBS. OF FORCE. SEE SPECIFICATIONS.
- AT ALL CASEWORK INDICATED AS REMOVABLE: EXTEND FLOOR FINISH UNDER CASEWORK AND COMPLETE FINISH OF ADJACENT WALL AND/OR CASEWORK SURFACES.

FOR REFERENCE

STATE OF OREGON COMPLIANCE
OREGON STRUCTURAL SPECIAL CODE 2022.
Section 1102.1 Design. Buildings and facilities shall be designed and constructed to be accessible in accordance with this code and ICC A117.1 (v2017 per OSSC Ch. 35).
1102.1.2 Amendments to ICC A117.1. The provisions of this section shall be considered amendments to ICC A117.1. ICC A117.1 Section 407 is not adopted. ICC A117.1 Section 408 is not adopted. ICC A117.1 Section 409 is not adopted. ICC A117.1 Section 410 is not adopted. ICC A117.1 Section 402.2.8 is deleted in its entirety and replaced. ICC A117.1 Section 406.6 is deleted in its entirety. ICC A117.1 Section 502.2.502.6, 502.10, 502.11 are adopted, the remaining provisions of section 502 are deleted. Accessible parking is subject to ORS 447.235. ICC A117.1 Chapter 10 is adopted as noted in OSSC 1102.1.2.8
OREGON TRANSPORTATION COMMISSION, Standards for Accessible Parking Spaces 2018.
FEDERAL COMPLIANCE (PRIVATELY FUNDED).
FAIR HOUSING ACT (FHA) of 1968 with 1988 amendments.
FAIR HOUSING ACT GUIDELINES.
FAIR HOUSING ACT GUIDELINE Q&A SUPPLEMENT.
FAIR HOUSING ACT DESIGN MANUAL v1998 as referenced by FHA. ICC/ANSI A117.1 v1998 (v1992, v1998, v2003, v2009 permitted as safe harbors when used with the FHA Guidelines per Federal Register Design and Construction Requirements; Compliance with ANSI A117.1 Standards).
Note: Portions of buildings covered by the FHA are expressly exempt from the requirements of Americans with Disabilities Act (ADA) of 1990 with 2010 amendments (per Title II Sec. 36.104 Definitions, 3 of ADA 2010). Common use areas that are leaseable or available to the public at large (rather than solely for the use of residence and their guests) must comply with the requirements of ADAS 2010.
Note: Buildings with Federal Assistance must comply with ADA 2010 and Section 504 of HUD which requires compliance with Uniform Federal Accessibility Standards (UFAS).

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STAMP

REGISTERED ARCHITECT
JAMES E. WILSON
PORTLAND, OREGON
11848
STATE OF OREGON

Albertsons
DESIGN & CONSTRUCTION
250 EAST PARKCENTER BLVD.
BOISE, IDAHO 83708
(208)395-6200

PROJECT

1935 Salem

5660 Commercial St.
Southeast
Salem, OR 97306

CLIENT

Albertsons Companies

250 East Parkcenter Blvd.
Boise, ID 83708

Notice of Extended Payment
Provision: The contract will
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payment within 30 days after
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submitted. Notice of Alternate
Billing Cycle: The contract will
allow the owner to require the
submission of billings or
estimates in billing cycles
other than 30-day cycles.
Billings or estimates for the
contract shall be submitted as
follows: Each calendar month
ending on the last day of the
applicable month.
REVISIONS

DATE

07/24/2024

PROJECT NUMBER

20237107

SCALE

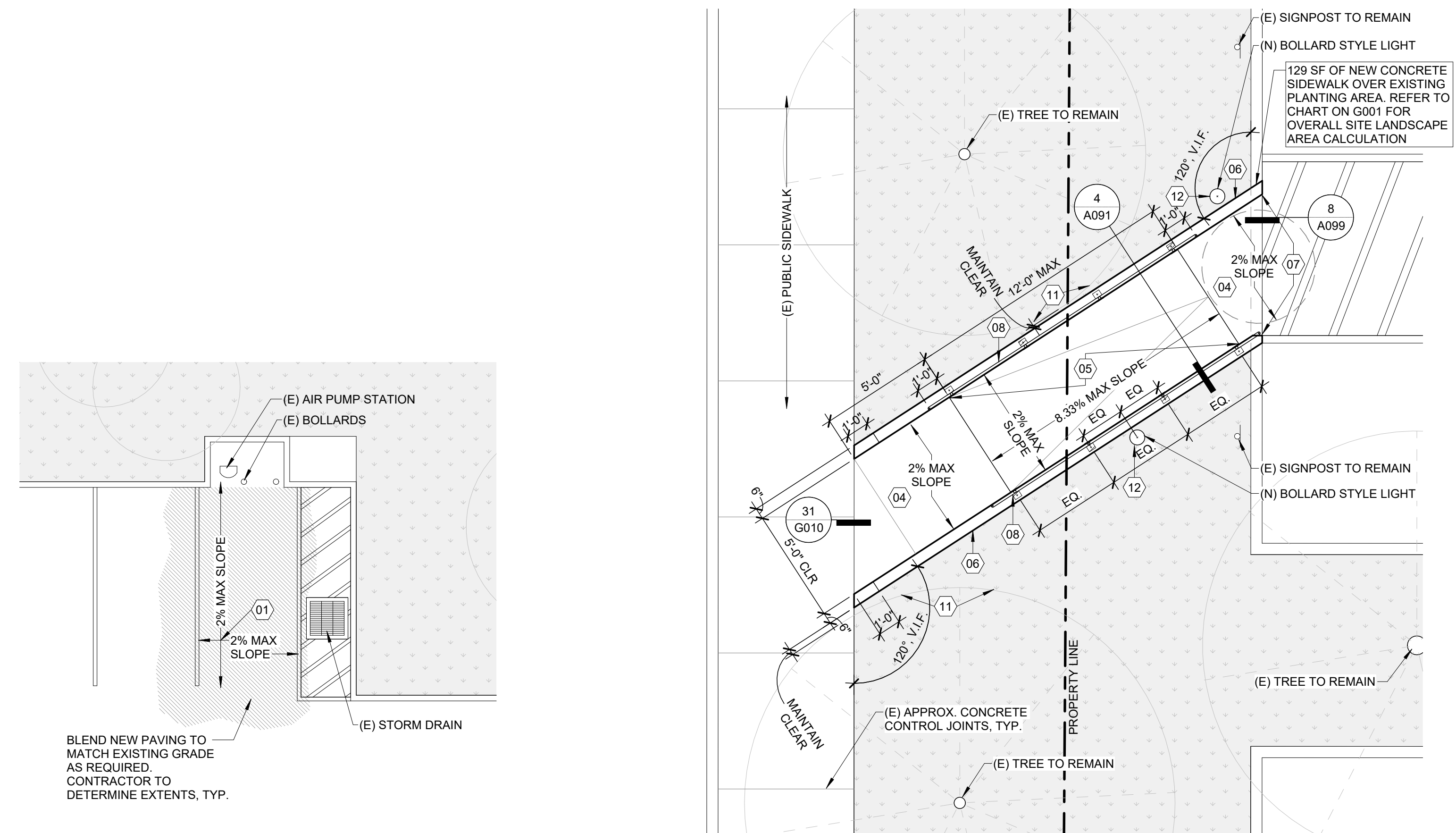
As indicated

SHEET TITLE

PARKING SIGNAGE
STANDARDS (2021
IBC) OR

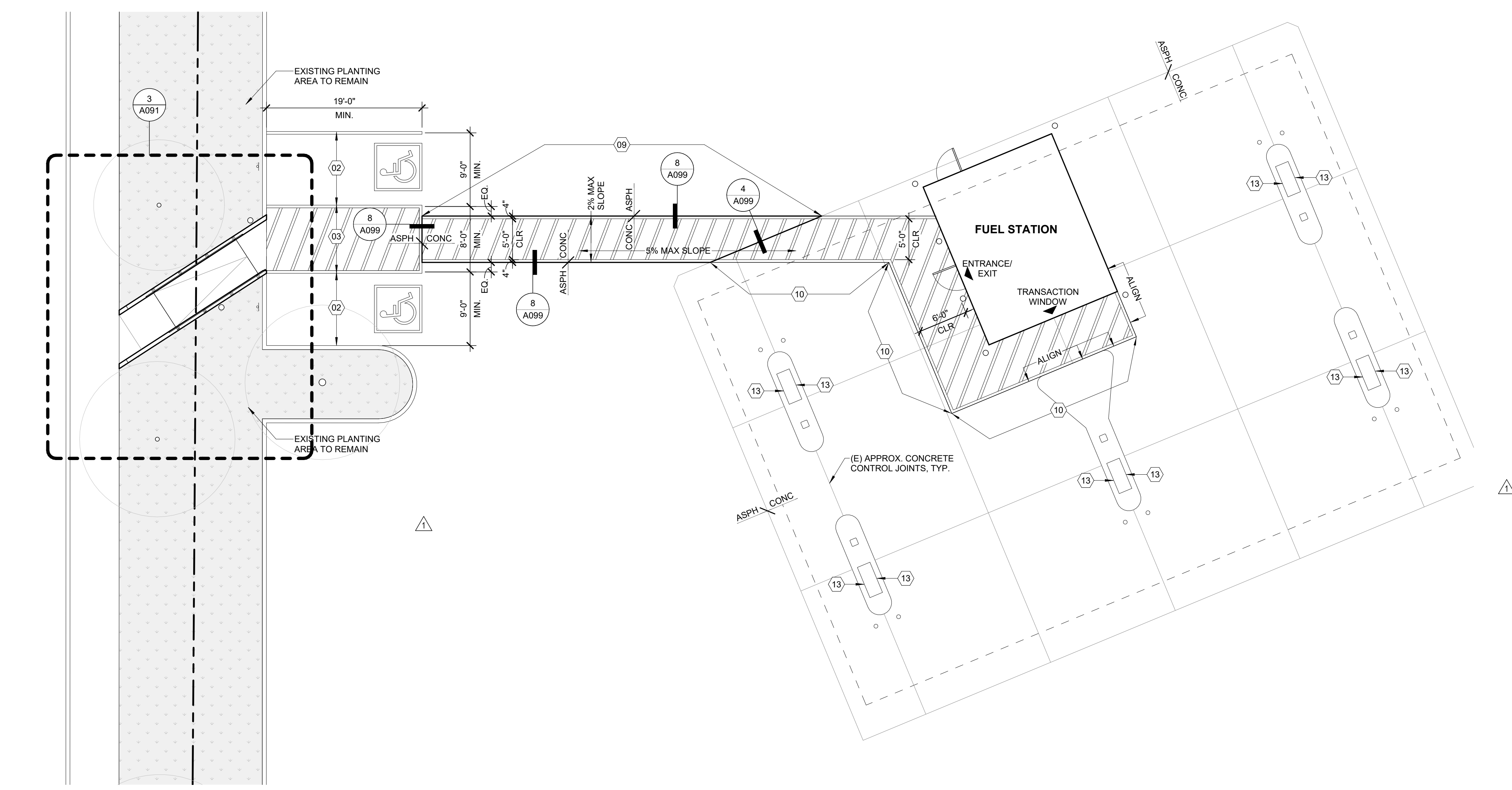
G020

ISSUED FOR PERMIT



2 ENLARGED - AIR PUMP STATION
1/8" = 1'-0"

3 ENLARGED - FUEL CENTER RAMP
1/4" = 1'-0"



1 ENLARGED - FUEL CENTER
1/8" = 1'-0"

TYPICAL PAVING GENERAL NOTES

- ALL CONCRETE SHALL BE 4,500 PSI COMPRESSIVE STRENGTH AT 28 DAYS.
- ALL ASPHALT AND BASE ROCK SHALL CONFORM TO LOCAL JURISDICTION OR STATE TRANSPORTATION DEPARTMENT STANDARD SPECIFICATIONS.
- ALL SUBGRADE SHALL BE COMPACTED TO 95% OF MAXIMUM DRY DENSITY (MODIFIED PROCTOR).
- POSITIVE DRAINAGE IS TO BE MAINTAINED, SLOPING AWAY FROM BUILDINGS AT ALL TIMES.
- EXTERIOR LANDINGS AND AREAS WHERE A TURN IS REQUIRED ALONG PEDESTRIAN ROUTE SLOPE SHALL NOT EXCEED 2%.
- ALL PROPOSED AND IMPACTED GRADES TO MATCH OR BLEND WITH EXISTING AND SURROUNDING GRADE.
- ALL ACCESSIBLE PARKING STALLS, ACCESSIBLE ACCESS AISLES, AND RAMP LANDINGS ARE TO BE GRADED AT 2% MAX. SLOPE IN ALL DIRECTIONS.
- ALL CURBS ARE TO HAVE A HEIGHT OF 6", UNLESS NOTED OTHERWISE.
- ALL SIDEWALKS AND IN-LINE ACCESSIBLE PEDESTRIAN ROUTES ARE TO BE A MAX. 5% RUNNING SLOPE AND MAX. 2% CROSS SLOPE.

GENERAL NOTES

- ALL LANDSCAPING AND PARKING AREAS ARE EXISTING AND TO REMAIN, U.N.O.
- REPAIR OR REPAINT ANY PAVEMENT MARKINGS THAT ARE ALTERED OR OBTUSCURED BY DEMOLITION, CONSTRUCTION OF PARKING AND ACCESSIBLE ROUTE.
- SITE CONTEXT AND EXISTING ADJACENT CONDITIONS ARE SHOWN AS AN APPROXIMATION FOR REFERENCE ONLY. CONTRACTOR TO VERIFY IN FIELD AND REPORT ANY CONFLICTS TO ARCHITECT PRIOR TO BEGINNING WORK.
- ALL EXISTING CONDITIONS REPRESENTED ON THESE DOCUMENTS HAVE BEEN PROVIDED TO ARCHITECT BY OWNER AND HAVE NOT BEEN FIELD VERIFIED. THE PROPOSED DESIGN IS BASED ON THESE CONDITIONS WHICH ARE ASSUMED TO BE ACCURATE. ARCHITECT HAS NOT BEEN PROVIDED WITH A CURRENT SURVEY AND ALL SLOPES, CURBS, SIDEWALKS, AND DIMENSIONS REPRESENTED BY THE DOCUMENTS SHOULD BE FIELD VERIFIED BY CONTRACTOR. NOTIFY ARCHITECT IF PROPOSED DESIGN CAN NOT BE ACHIEVED DUE TO EXISTING SITE CONDITIONS.

KEYED NOTES

- ACCESSIBLE PARKING STALLS AND ACCESS AISLE PAVING: CONTOUR SURFACE SO THAT SLOPE DOES NOT EXCEED 2% IN ANY DIRECTION. RESTRIPE/PAINT AS SHOWN.
- ACCESSIBLE STALL WIDTH AND DEPTH: RESTRIPE SO THAT ACCESSIBLE STALL IS 9'-0" WIDE MINIMUM AND 19'-0" DEEP MINIMUM.
- ACCESS AISLE WIDTH AND DEPTH: RESTRIPE SO THAT VAN ACCESS AISLE IS 8'-0" WIDE MINIMUM AND 19'-0" DEEP MINIMUM.
- PROVIDE NEW CONCRETE LANDING AND MATCH EXISTING GRADES AS REQUIRED. SLOPES NOT TO EXCEED 2% IN ANY DIRECTION.
- PROVIDE NEW ACCESSIBLE CONCRETE RAMP: CROSS SLOPE NOT TO EXCEED 2% AND RUNNING SLOPE NOT TO EXCEED 5.33%. THE RISE FOR ANY RAMP RUN SHALL NOT EXCEED 30".
- PROVIDE NEW CONCRETE CURB ALONG NEW CURB RAMP: TAPER THE LAST 12" OF CURBS DOWN TO GRADE WHERE THEY MEET THE EXISTING PUBLIC SIDEWALK.
- DEMOLISH EXISTING CURB: LANDING TO MATCH GRADE OF ACCESS AISLE. ENSURE NO GAP IN THE PAVEMENT IS BOTH WIDER THAN 1/2" AND DEEPER THAN 1/4".
- PROVIDE NEW STEEL PIPE HANDRAIL, REF. 4 AND S/A091.
- NEW CONCRETE PEDESTRIAN CROSSING: DEMOLISH EXISTING ASPHALT PAVING AND REPLACE WITH 5'-0" MIN WIDTH CONCRETE DRIVE AISLE CROSSING AS SHOWN TO CONNECT PARKING ACCESS AISLE TO FUEL STATION ENTRANCE. MATCH EXISTING GRADES AND ENSURE RUNNING SLOPE NOT TO EXCEED 5% AND CROSS SLOPE NOT TO EXCEED 2.083. STRIPE CROSSING PER 7/G020.
- NEW MARKED PEDESTRIAN ROUTE: PROVIDE STRIPING ALONG PEDESTRIAN ROUTE AS SHOWN. CONTRACTOR TO VERIFY THAT SLOPES ALONG MARKED PEDESTRIAN ROUTE DO NOT EXCEED 5% RUNNING SLOPE AND 2.083% CROSS SLOPE AND CONTOUR SURFACE AS REQUIRED. REFER TO 7/G020.
- EXISTING TREE TO REMAIN: CONTRACTOR TO CONFIRM THAT NEW RAMP DOES NOT IMPEDE CRITICAL ROOT ZONE OF EXISTING TREE. SEE EXISTING LANDSCAPE NOTES FOR ADDITIONAL INFORMATION.
- PROVIDE NEW LIGHT: INSTALL NEW BOLLARD STYLE SITE LIGHTING TO MATCH EXISTING SITE DESIGN STANDARD. CONTRACTOR TO COORDINATE CONDUIT ROUTING AND POWER AS REQUIRED.
- NEW FUEL PUMP SIGNAGE: PROVIDE NEW SIGN WITH INTERNATIONAL SYMBOL OF ACCESSIBILITY AT EACH FUEL PUMP PER ALBERTSONS STANDARDS. CONTRACTOR TO COORDINATE WITH OWNERSHIP AND SIGN FABRICATOR FOR SIGNAGE DETAILS, INCLUDING SIZING, MOUNTING LOCATION AND HEIGHT. REQUIRED SIGN ACCESSIBILITY STANDARDS FOR LEGIBILITY. SIGN MESSAGE TO READ:

WE VALUE OUR CUSTOMERS WITH DISABILITIES.

HONK YOUR CAR HORN **ONCE** TO HAVE THE PUMP REMOTELY ACTIVATED. YOU WILL HAVE TO ENTER THE FACILITY TO PAY AFTER PUMPING YOUR GAS.
OR
HONK YOUR CAR HORN **TWICE** AND AN ATTENDANT WILL ASSIST YOU WITH PUMPING YOUR GAS.

FOR COMMENTS, COMPLAINTS OR THE HOURS IN WHICH THIS FACILITY HAS AN ATTENDANT ON DUTY, PLEASE CALL 1-800-000-0000.

EXISTING LANDSCAPE NOTES

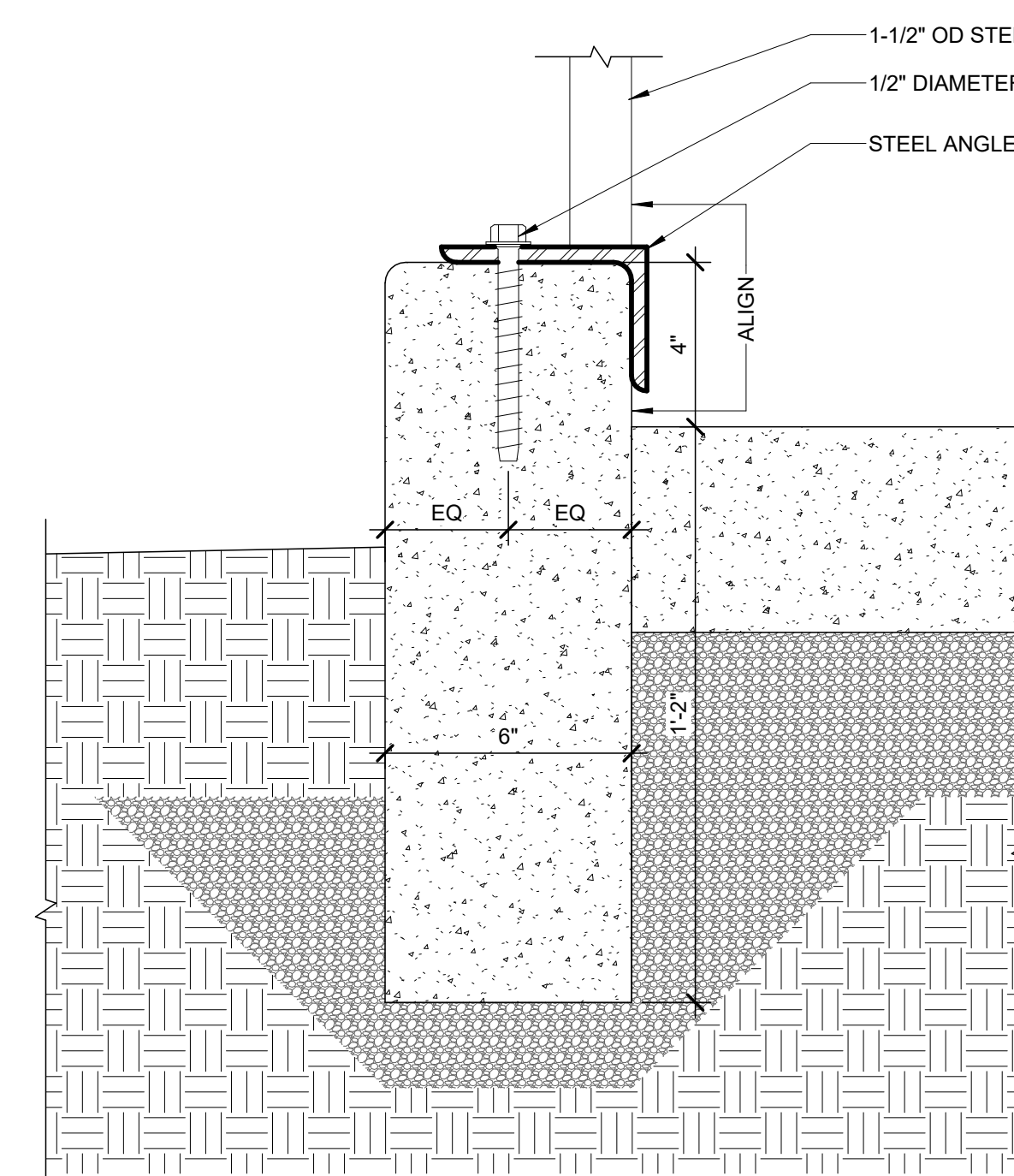
- PROTECT ALL TREES INDICATED TO REMAIN. INSTALL TREE PROTECTION FENCE AT THE EDGE OF THE ROOT PROTECTION ZONE. FENCE TO BE ORANGE. CONSTRUCTION FENCE MINIMUM 3.5 FEET TALL AND WOODEN POSTS. FENCE TO REMAIN IN PLACE UNTIL FINAL INSPECTION.
- CONFIRM LOW HANGING LIMBS OF EXISTING TREES DO NOT PROJECT INTO THE NEW OR EXISTING PEDESTRIAN ROUTE AT AN ELEVATION BELOW 6'0" A.F.G.
- REMOVE EXISTING GROUND COVER, SHRUBS, AND PLANTINGS ONLY IN THE LOCATION OF NEW WORK TO BE COMPLETED.

DRAWING LEGEND

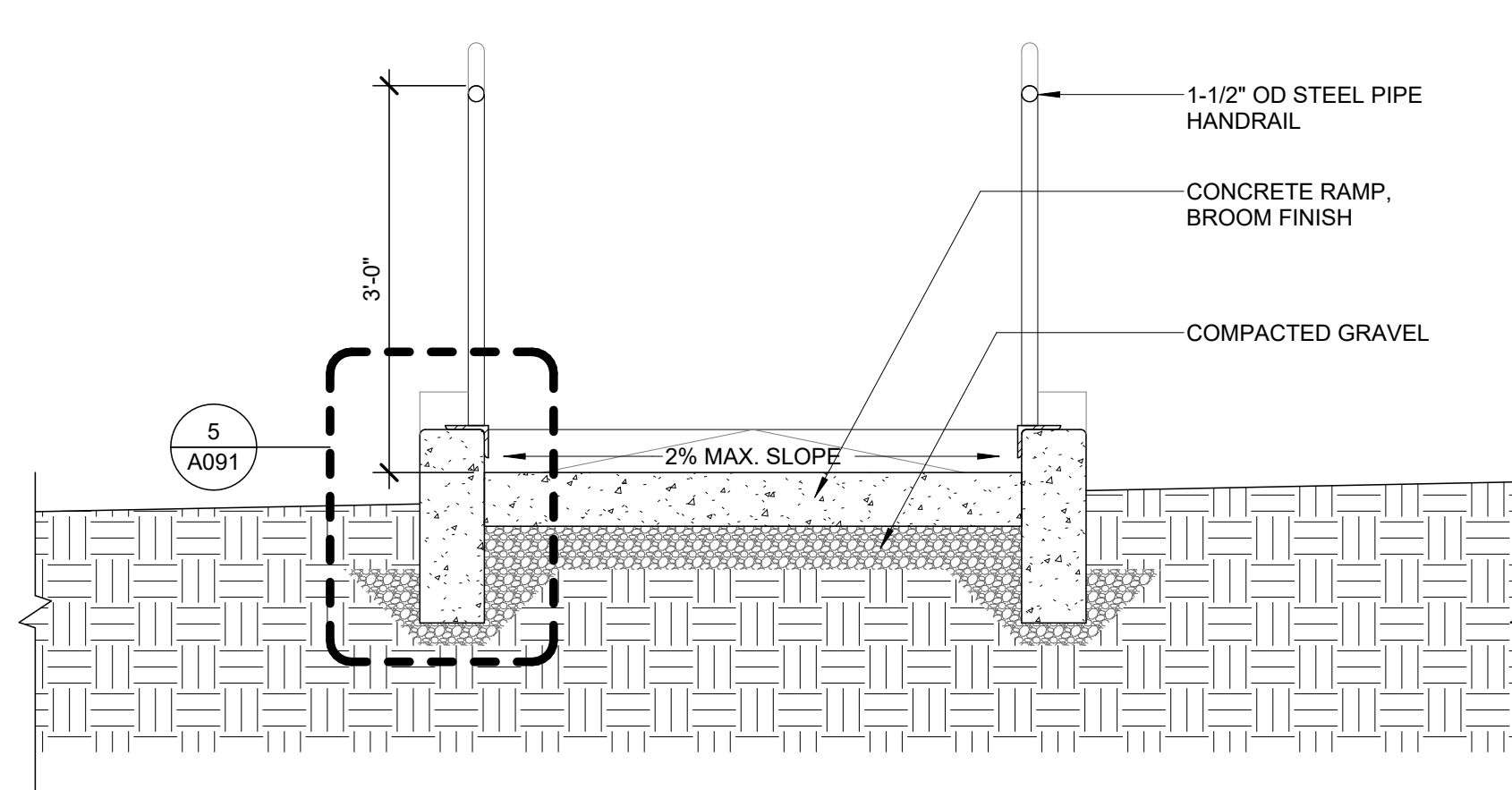
- UP/DN SLOPE UP/DN
STEP UP/DN

HATCH LEGEND

- ASPHALT OR CONCRETE AREAS TO BE RE-SLOPED. CONTRACTOR TO DETERMINE EXTENTS.
ACCESSIBLE ROUTE. SHOWN FOR REFERENCE ONLY.
PAINT STRIPING.

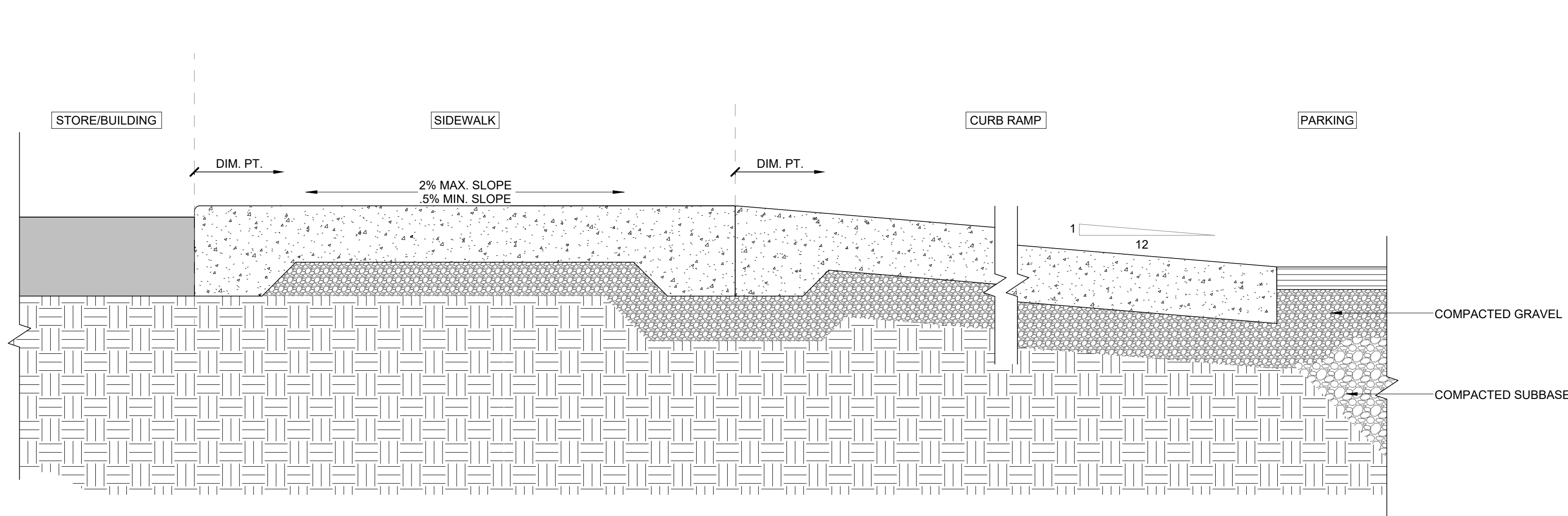


5 HANDRAIL BALUSTER AT CURB
3/4" = 1'-0"



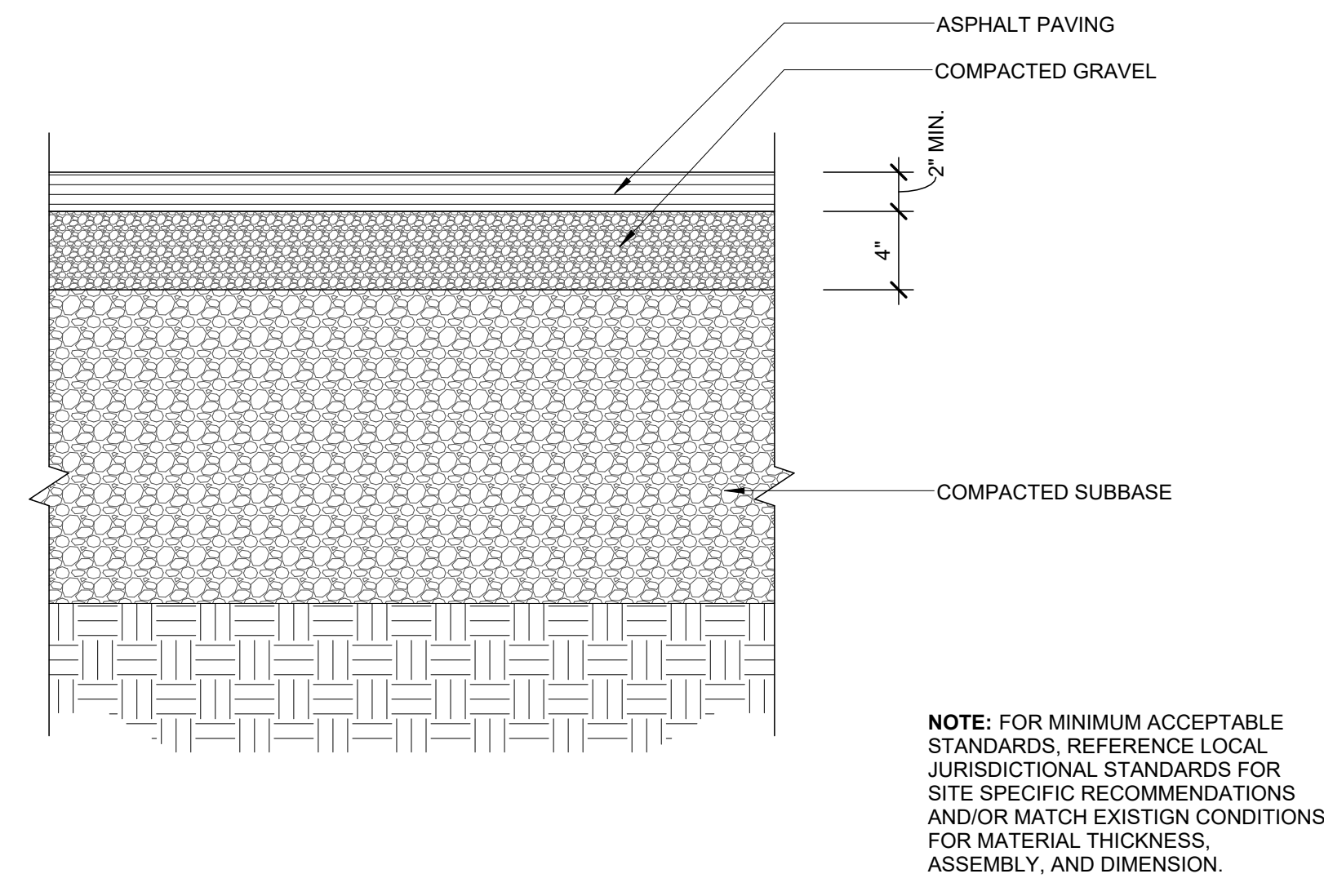
4 RAMP CROSS SECTION
3/4" = 1'-0"

A099 TYPICAL PAVING DETAILS
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1 TYPICAL SIDEWALK CROSS SECTION

1 1/2" = 1'-0"



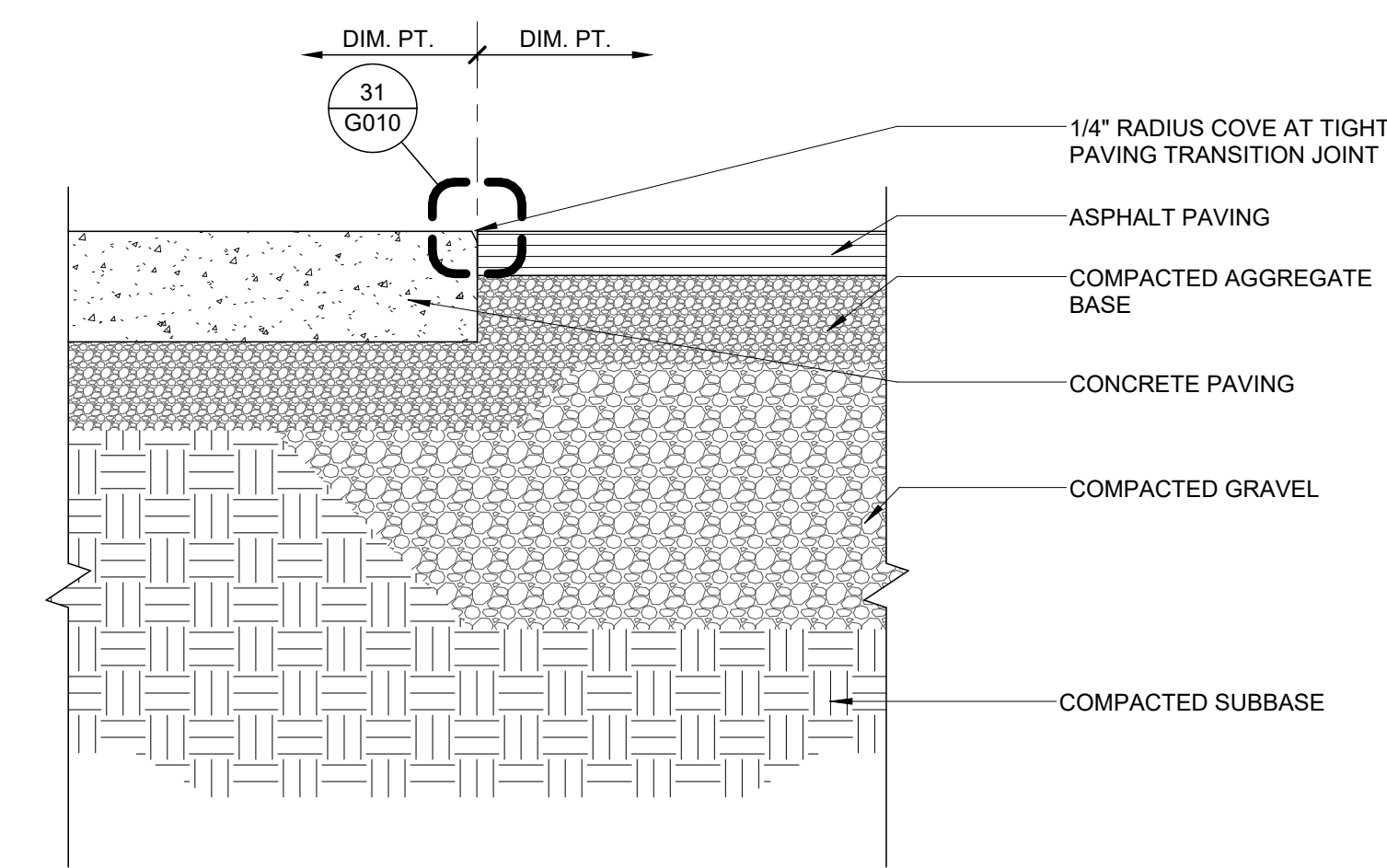
2 TYPICAL ASPHALT PAVING AT DRIVE AISLES & PARKING

1 1/2" = 1'-0"

BAR SIZE	GRADE 60 REINFORCING				HOOKED BARS
	MISCELLANEOUS BARS	TOP BARS		SPICE	
	Ld	Splice	Ld	Splice	Ld
f _c = 4000psi					
#3	15"	19"	19"	25"	8"
#4	19"	25"	25"	33"	10"
#5	24"	31"	31"	41"	12"
#6	29"	37"	37"	49"	15"

NOTE: VALUES FOR UNCOATED REINFORCING AND NORMAL WEIGHT CONCRETE WITH CLEAR SPACING > 4d. CLEAD COVER > 4d AND MINIMUM STIRRUPS OR TIES THROUGHOUT Ld OR CLEAR SPACING > 24d AND CLEAR COVER > 4d.

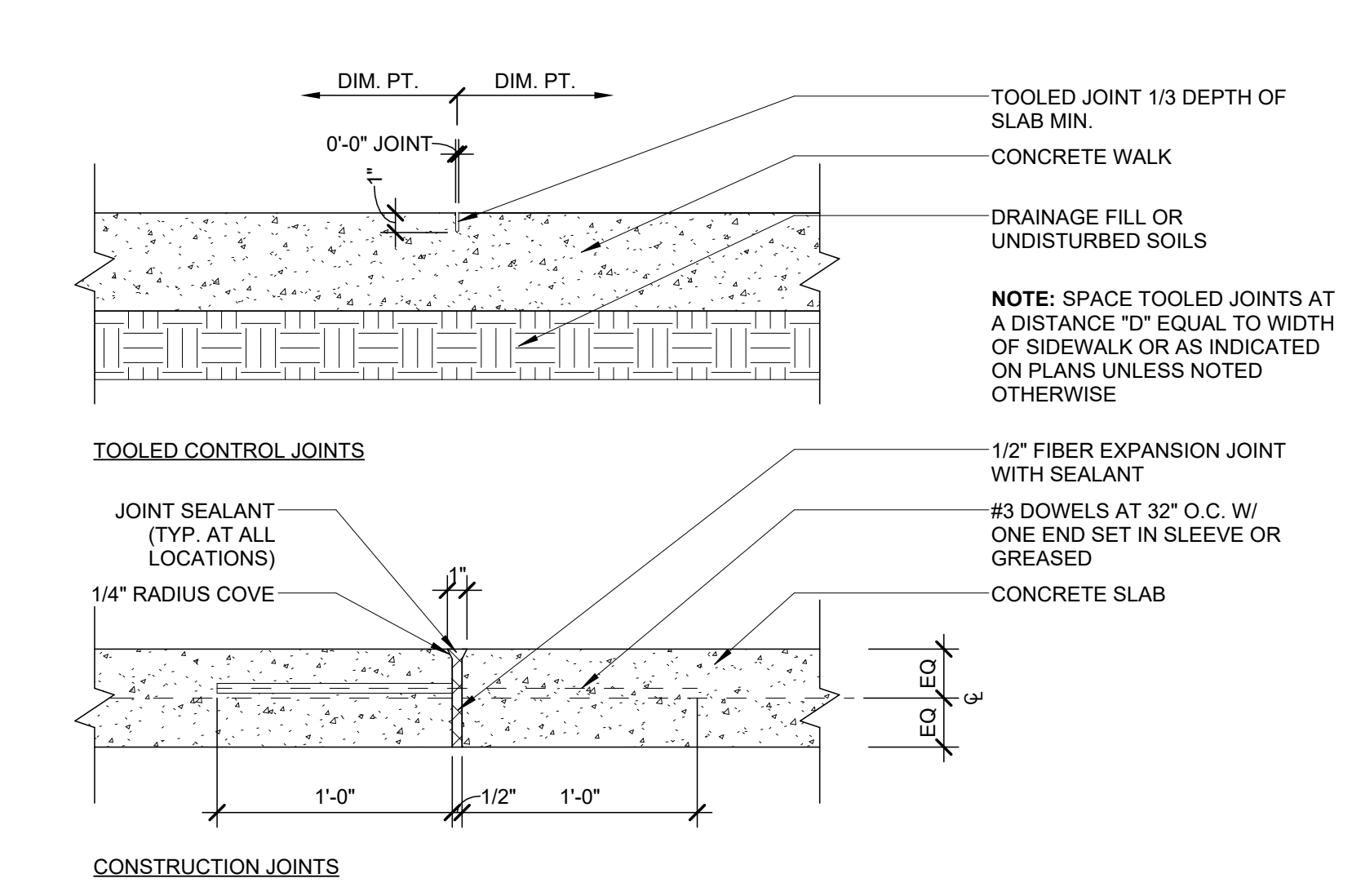
7 REINFORCING LAP SPLICE AND LENGTH SCHEDULE



8 TYPICAL CONCRETE TO ASPHALT TRANSITION

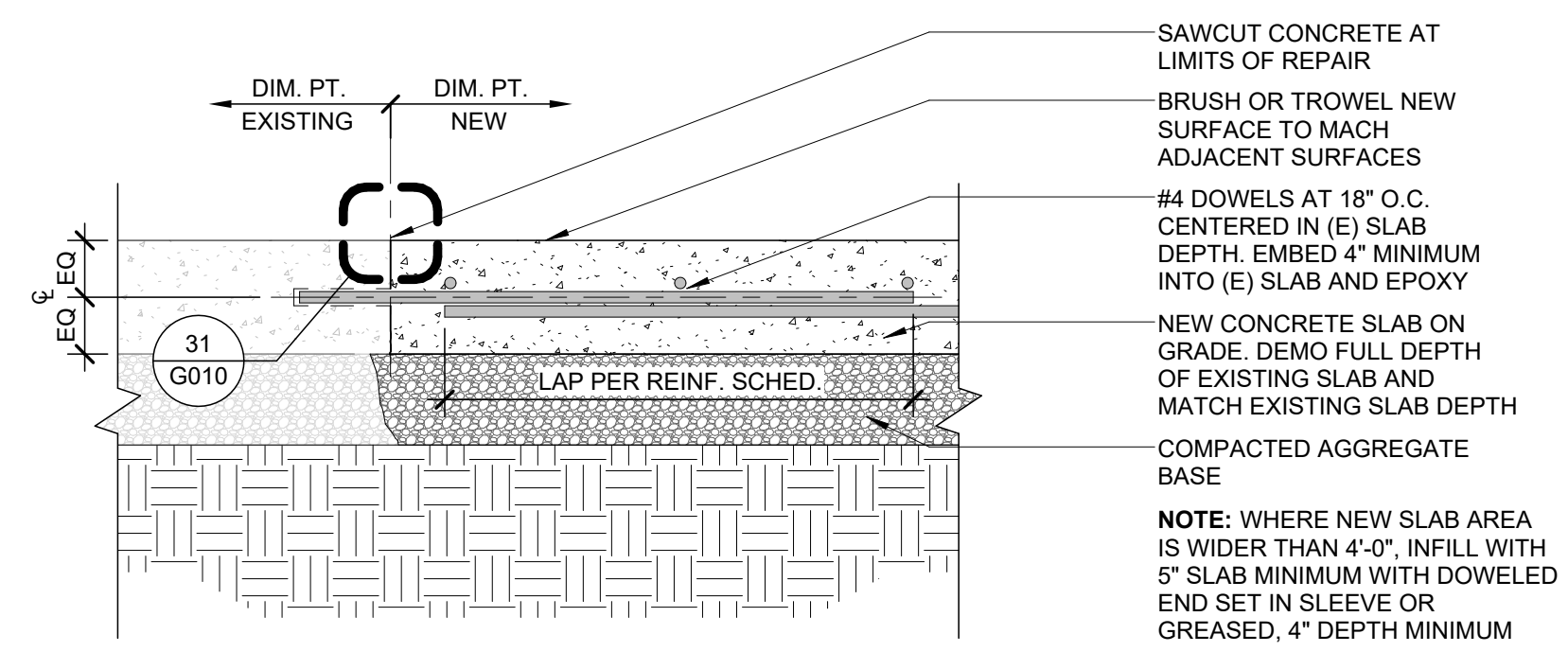
1 1/2" = 1'-0"

- TYPICAL PAVING GENERAL NOTES**
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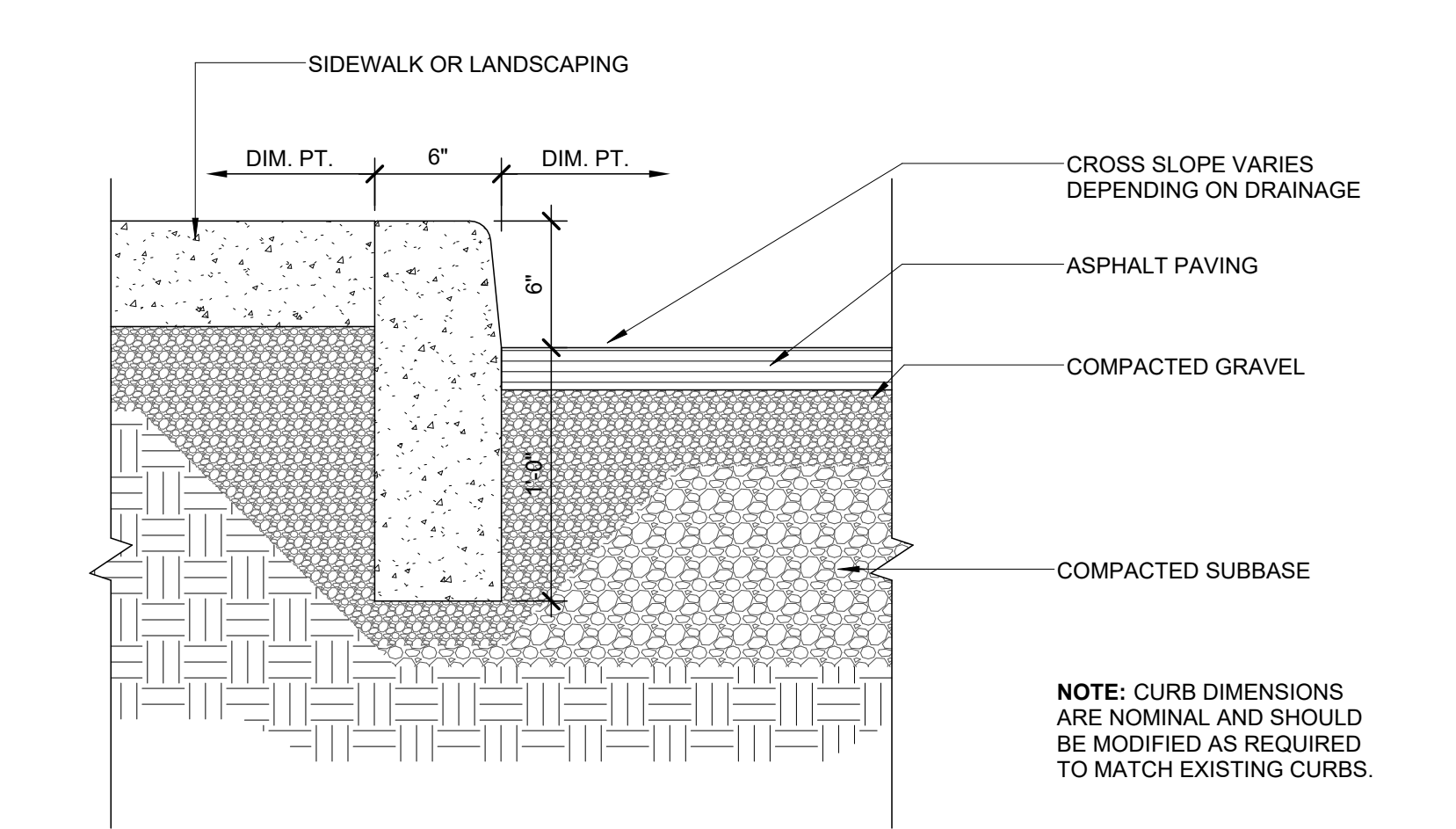
3 TYPICAL CONCRETE JOINTS

1 1/2" = 1'-0"



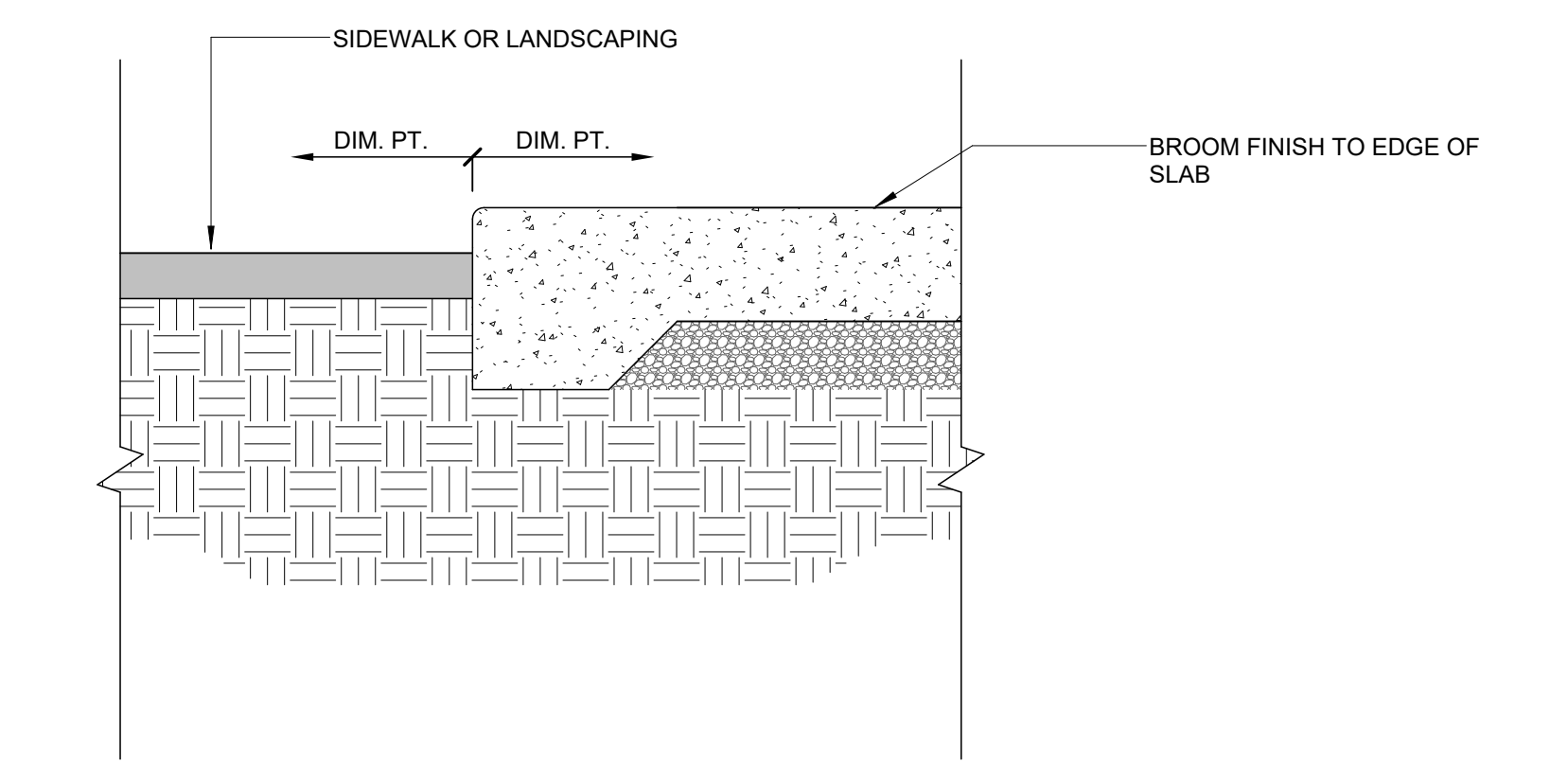
4 REPAIRED OR RE-SLOPED CONCRETE SURFACES

1 1/2" = 1'-0"



5 TYPICAL CONCRETE CURB

1 1/2" = 1'-0"



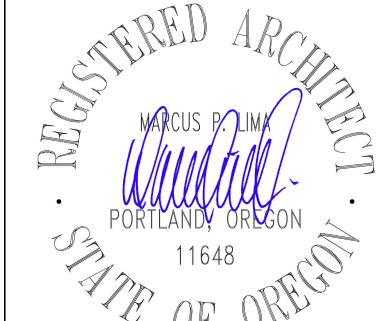
6 TYPICAL TURNED DOWN SLAB AT PLANTING

1 1/2" = 1'-0"

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1 09/09/24 LUR RESPONSE 01

DATE
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PROJECT NUMBER
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SCALE
As indicated

SHEET TITLE
TYPICAL PAVING
DETAILS

A099

ISSUED FOR PERMIT