

PROJECT DIRECTORY

OWNER
DAVID PALMER
ALBERTSONS COMPANIES
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BOISE, ID 83706
PHONE: 923-869-5712
EMAIL: DAVID.PALMER@ALBERTSONS.COM

ARCHITECT
GBD ARCHITECTS INCORPORATED
MARCUS LIMA
1120 NW COUCH ST
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PORTLAND, OR 97209
PHONE: 503-224-9656
marcusl@GBDARCHITECTS.COM

CONTRACTOR
KEVAN THOMAS
FS UNLIMITED, LLC
5755 WILLOW LN
SUITE E
LAKE OSWEGO, OR 97035
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KTHOMAS@FS-UNLIMITED.COM

REGULATORY AGENCIES

SALEM PERMIT APPLICATION CENTER
555 LIBERTY ST. SE
ROOM 320
SALEM, OR 97301
PHONE: 503-588-6256



SAFEGWAY STORE # 1935 SAFEGWAY SALEM 5660 COMMERCIAL ST. SOUTHEAST SALEM, OR 97306

VICINITY MAP



JOB SITE

DRAWING INDEX

- 00 - GENERAL
G001 COVER SHEET
G010 ACCESSIBLE ROUTE DETAILS (OR)
G020 PARKING SIGNAGE STANDARDS (2021 IBC) OR
- 05 - ARCHITECTURE
A090 SITE PLAN & DETAILS
A091 SITE PLAN & DETAILS
A099 TYPICAL PAVING DETAILS

SITE INFORMATION

TAX ACCOUNT ID: 329467 & 575515 SUBDIVISION: PP 2001-084 LOT 2 & AC ADJ & PP 2001-084 LOT 1
TAXLOT NUMBER: 083W14CA01001 & 083W14CA01000 ZONING: MU-III - MIXED USE III

PROJECT DESCRIPTION

THE PROPOSED SCOPE OF WORK CONSISTS OF MAINTENANCE AND REPAIRS TO THE PARKING LOT AND PEDESTRIAN ACCESS ROUTE AT THE EXISTING SAFEGWAY STORE ON COMMERCIAL STREET SOUTHEAST. REMOVING SITE ACCESS BARRIERS TO COMPLY WITH ADAS 2010 REQUIREMENTS, INCLUDING:

1. RESLOPING ACCESSIBLE PARKING AREAS AND ACCESS AISLES TO MEET CROSS SLOPE REQUIREMENTS. PROVIDING NEW SIGNAGE, OR RELOCATING EXISTING SIGNAGE, THAT COMPLIES WITH ACCESSIBLE SIGNAGE REQUIREMENTS.
2. NEW STRIPING AT ACCESSIBLE STALLS, ACCESS AISLES.
3. RESLOPING ACCESSIBLE CURB RAMPS TO MEET SLOPE REQUIREMENTS.
4. RESLOPING ACCESSIBLE ROUTES TO MEET SLOPE REQUIREMENTS.
5. PROVIDING A NEW ACCESSIBLE CONNECTION TO THE RIGHT OF WAY SIDEWALK.
6. THE PROPOSED ACCESSIBILITY REPAIRS ARE BASED ON THE REPORT PREPARED BY TCHERNESHOFF CONSULTING ON 05/28/2021.

GENERAL NOTES

1. ALL CONSTRUCTION WORK SHALL BE DONE IN STRICT COMPLIANCE WITH BUILDING STANDARDS AND THE LATEST ADOPTED EDITION OF THE INTERNATIONAL BUILDING CODE, ANSI, ADA, NFPA, AND ALL OTHER STATE AND LOCAL CODES AND BUILDING REQUIREMENTS THAT APPLY.
2. CONTRACTOR/SUBCONTRACTORS SHALL BE LEGALLY REGISTERED AND LICENSED TO COMPLETE THEIR WORK. ALL CONTRACTORS SHALL CARRY WORKMAN'S COMPENSATION INSURANCE AND ALL OTHER INSURANCE AS REQUIRED BY LAW AND AS OTHERWISE INDICATED IN THE CONSTRUCTION DOCUMENTS. ALL SHOP DRAWINGS SHALL BE STAMPED AND SEALED BY THE CONTRACTOR AND HIS/HER DESIGNER.
3. CONTRACTORS AND SUBCONTRACTORS SHALL CAREFULLY EXAMINE THE SITE AND THE CONSTRUCTION DOCUMENTS PRIOR TO WORK. ERRORS AND OMISSIONS IN THE PLANS SHALL BE CALLED TO THE ATTENTION OF THE ARCHITECT PRIOR TO WORK.
4. DO NOT SCALE DRAWINGS. ALL NOTED DIMENSIONS SUPERCEDE ANY SCALED DRAWING MEASUREMENTS.
5. CONTRACTORS/SUBCONTRACTORS SHALL KEEP THE AREA OF WORK FREE OF GARBAGE AND DEBRIS ON A DAILY BASIS.
6. DISPOSE OF ALL CONSTRUCTION MATERIALS OFF SITE. DO NOT POUR ANY CONSTRUCTION MATERIALS DOWN DRAINS, CATCH BASINS, OR IN LANDSCAPE.
7. OWNER SHALL NOT BE RESPONSIBLE FOR TOOLS OR MATERIAL GOODS STOLEN OR DAMAGED ON SITE.
8. ALL DIMENSIONS FOR ACCESSIBILITY ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED.
9. ALL MATERIALS AND FINISHES SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS AND DETAILS.
10. CONTRACTOR/SUBCONTRACTORS ARE RESPONSIBLE FOR MAINTAINING ALL REQUIRED FIRE-RATED ASSEMBLIES AND CONSTRUCTION ITEMS AS REQUIRED BY CODE.
11. AREA OF WORK DOES NOT MODIFY EXISTING TREES OR LANDSCAPING. CONTRACTOR TO PROTECT ALL TREES WITHIN CONTRACTOR'S AREA OF WORK.
12. CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE TYPE OF EXISTING SURFACING IN USE, INCLUDING BUT NOT LIMITED TO ASPHALT AND SITE CONCRETE, AND MATCHING BOTH THE TYPE, REINFORCING, AND INSTALLATION REQUIREMENTS, AND THE REQUIREMENTS OF STATE AND LOCAL AUTHORITIES, AT LOCATIONS WHERE SURFACING IS TO BE REPLACED.

APPLICABLE CODES

BUILDING CODE: 2021 INTERNATIONAL BUILDING CODE
ADA STANDARDS: ADAS 2010/2008 ICC A117.1, 2017 ICC A117.1

FIRE SPRINKLERS: BUILDING IS FULLY SPRINKLERED WITH AN NFPA 13 - COMPLIANT SYSTEM
FIRE ALARM: NFPA 72

ACCESSIBLE PARKING REQUIREMENTS (1106.2)

| ACCESSIBLE PARKING CHART (OR) | | | | |
|-------------------------------|--|--|--|---|
| NUMBER OF PARKING SPACES | NUMBER OF ACCESSIBLE SPACES REQUIRED | NUMBER OF VAN ACCESSIBLE SPACES REQUIRED | "WHEELCHAIR USER ONLY" SPACES REQUIRED | |
| 1-25 | 1 | 1 | - | - |
| 26-50 | 2 | 1 | - | - |
| 51-75 | 3 | 1 | - | - |
| 76-100 | 4 | 1 | - | - |
| 101-150 | 5 | - | - | 1 |
| 151-200 | 6 | - | - | 1 |
| 201-300 | 7 | - | - | 2 |
| 301-400 | 8 | - | - | 2 |
| 401-500 | 9 | - | - | 2 |
| 501-1000 | 2% OF TOTAL | - | - | 1 IN EVERY 6 ACCESSIBLE SPACES OR PORTION THEREOF |
| 1,001+ | 20 + 1 FOR EVERY 100 SPACES OVER 1,000 | - | - | 1 IN EVERY 6 ACCESSIBLE SPACES OR PORTION THEREOF |

NUMBER OF STORE PARKING SPACES: 249 *
NUMBER OF ACCESSIBLE SPACES REQ: 7
"WHEELCHAIR USER ONLY" SPACES REQ: 2

ACCESSIBLE SPACES PROVIDED: 7
"WHEELCHAIR USER ONLY" SPACES PROVIDED: 2

* NO CHANGE IN OVERALL PARKING COUNT.

ACCESSIBLE STALL REQUIREMENTS (ICC A117.1)

502.2: CAR PARKING SPACES SHALL BE 96 INCHES MINIMUM IN WIDTH. VAN PARKING SPACES MUST BE 132 INCHES IN WIDTH. VAN PARKING WIDTH MAY BE REDUCED TO 96 INCHES WHEN ADJACENT ACCESS AISLE IS 96 INCHES IN WIDTH. ALL MEASUREMENTS SHALL BE TAKEN FROM CENTERLINE OF MARKING.

502.4: CAR AND VAN PARKING SPACES MUST HAVE AN ADJACENT ACCESS AISLE NO LESS THAN 60 INCHES IN WIDTH. ACCESS AISLES MUST BE ADJACENT TO THE ACCESSIBLE ROUTE. ACCESS AISLE FOR ANGLED VAN PARKING MUST BE LOCATED ON THE PASSENGER SIDE.

502.5: PARKING SPACES AND ACCESS AISLES SHALL NOT SLOPE AT GREATER THAN 1:48 (2%) IN ANY DIRECTION.

ACCESSIBLE ROUTE REQUIREMENTS (ICC A117.1)

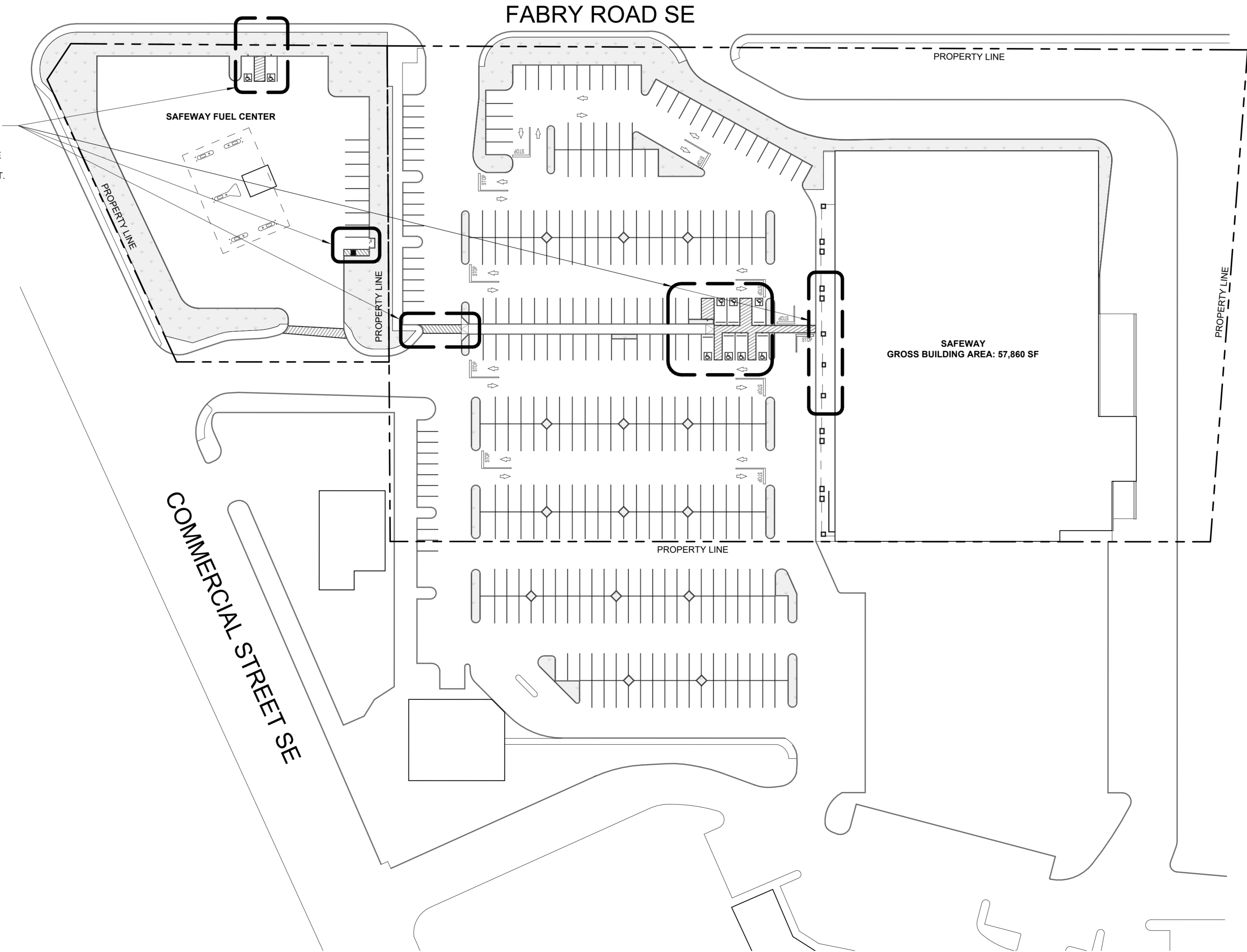
403.3: THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT EXCEED 1:20 (5%). THE CROSS SLOPE OF A WALKING SURFACE SHALL NOT EXCEED 1:48 (2%).

405 RAMPS: CHANGES IN LEVEL GREATER THAN 1/2" MAY BE ACHIEVED WITH A RAMP. RAMPS MAY HAVE A RUNNING SLOPE GREATER THAN 1:20 (5%) BUT NO STEEPER THAN 1:12 (8.33%). RAMPS THAT SLOPE AT GREATER THAN 1:20 (5%) AND UP TO 1:12 (8.33%) ARE REQUIRED TO HAVE HANDRAILS AT A CHANGE IN ELEVATION GREATER THAN 6 INCHES. RAMPS MAY NOT EXCEED 30 INCHES IN LENGTH WITHOUT A LANDING. LANDINGS AT RAMPS SHALL HAVE A CLEAR LENGTH OF 60 INCHES MINIMUM.

LIMITS OF WORK

NO MODIFICATIONS TO BUILDING EXTERIOR ENVELOPE, INTERIOR FINISHES, WALLS, LIFE SAFETY SYSTEMS, STRUCTURAL SYSTEMS, OR EGRESS ARE PROPOSED IN THIS PERMIT.

| LANDSCAPE AREA |
|------------------------------------|
| 16,844 |
| 8,730 |
| 670 |
| 189 |
| 189 |
| 226 |
| 226 |
| 226 |
| 226 |
| 226 |
| 226 |
| 27,932 SF |
| -93 SF HARDSCAPE |
| .0033% reduction in landscape area |



1 CONTEXT SITE PLAN - EXISTING CONDITIONS

1" = 50'-0"

GBD

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1120 NW Couch St.
Ste. 300
Portland, OR 97209
Tel. (503) 224-9656
gbdarchitects.com
GBD © 2020

STAMP



PROJECT

1935 Salem

5660 Commercial St.
Southeast
Salem, OR 97306

CLIENT

Albertsons Companies
250 East Parkcenter Blvd.
Boise, ID 83708

Notice of Extended Payment Provision: The contract will allow the owner to make payment within 30 days after the date a billing or estimate is submitted. Notice of Alternate Billing Cycle: The contract will allow the owner to require the submission of billings or estimates in billing cycles other than 30-day cycles. Billings or estimates for the contract shall be submitted as follows: Each calendar month ending on the last day of the applicable month. REVISIONS:

DATE

07/24/2024

PROJECT NUMBER

20237107

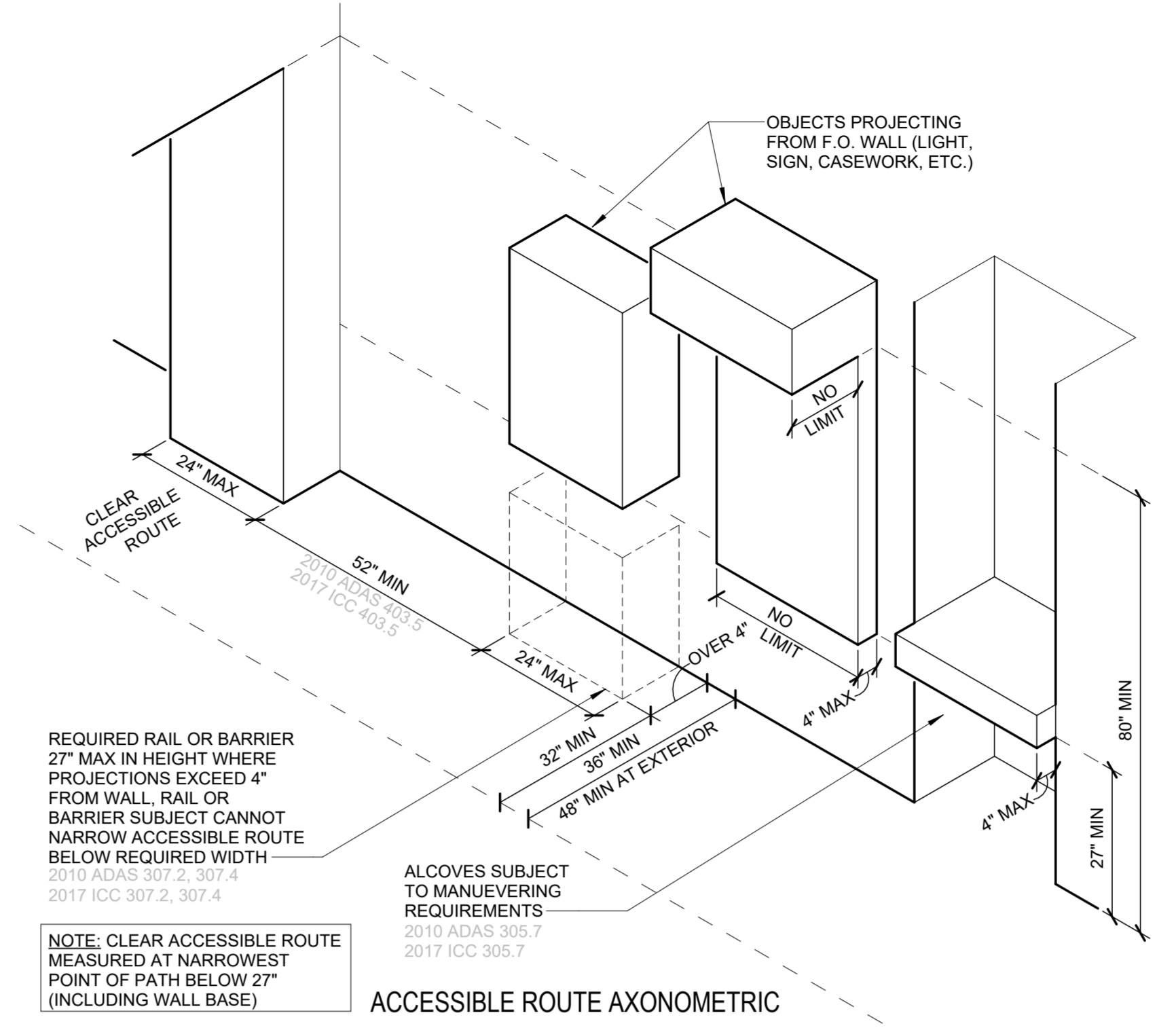
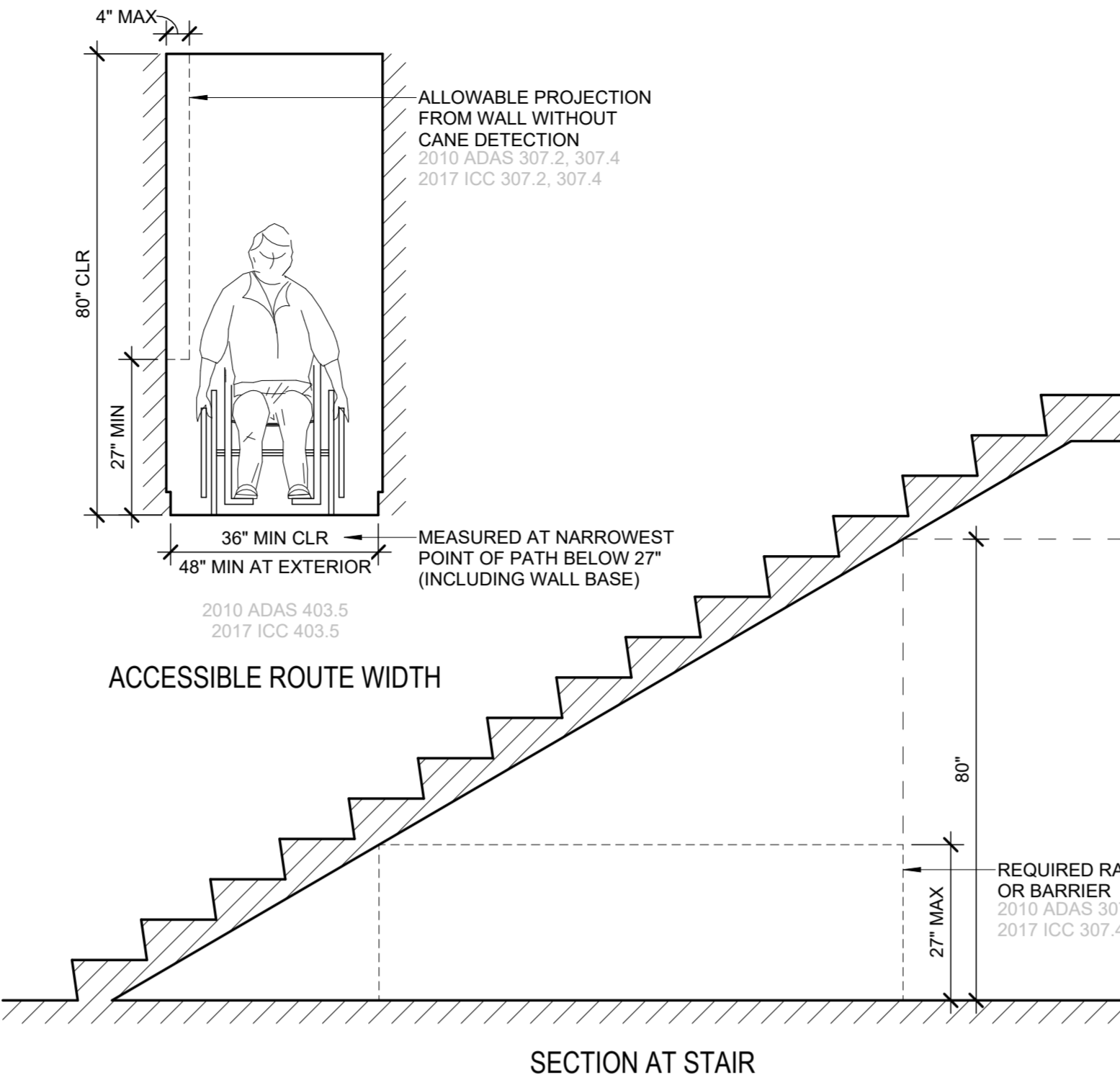
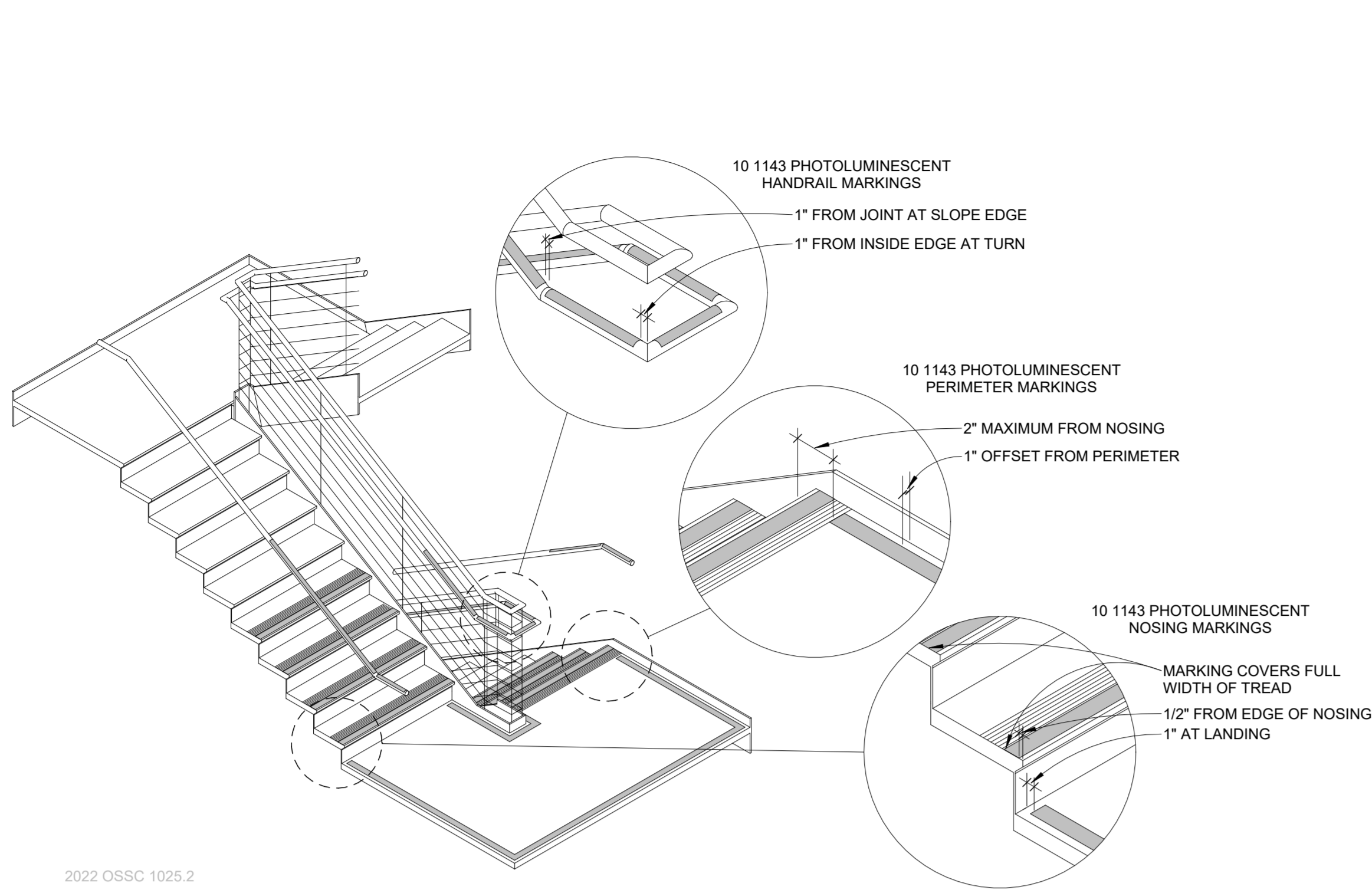
SCALE

As indicated

SHEET TITLE

COVER SHEET

G001



ACCESSIBLE DETAILS SPECIFIC TO COMMON USE AND PUBLIC AREAS

Applicable Standards:
- 2010 ADA Standards for Accessible Design (ADAS) for areas of public accommodation
- 2021 International Building Code with Oregon Amendments ("2022 OSSC") with referenced accessibility technical standard ICC A117.1 - 2017 (per IBC Chapter 11) for public, common use and units to satisfy local building code.
- The Fair Housing Act (FHA), as Amended 1988, using the "safe harbor" of the 2018 IBC with referenced ICC A117.1 2009 for FHA Guidelines Requirements 1-7 for common use areas and units to satisfy FHA.

GENERAL ACCESSIBILITY NOTES

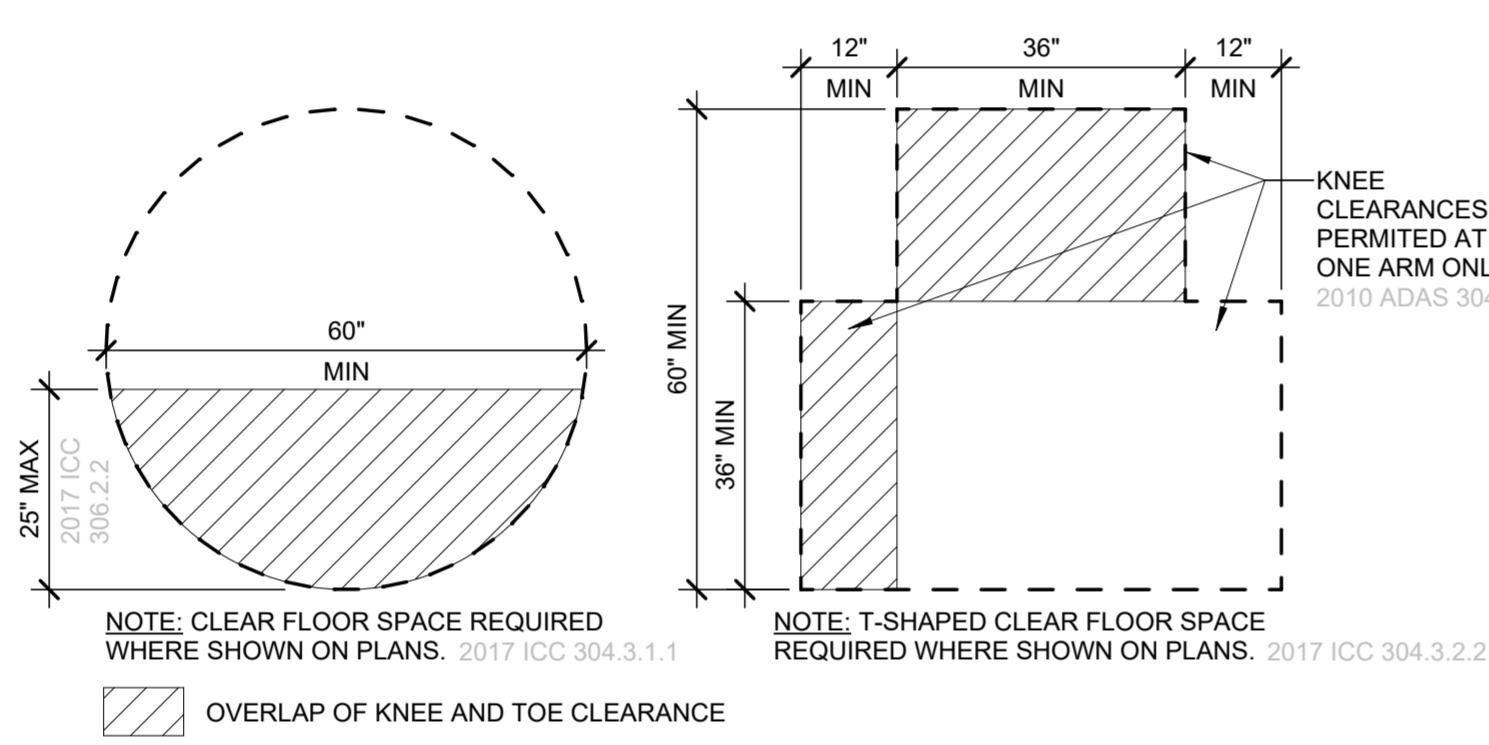
- RESIDENTIAL USE UNITS AND COMMON AREAS SHALL COMPLY WITH U.S. GOVERNMENT FAIR HOUSING ACT AND APPLICABLE STATE REGULATIONS. ALL OTHER AREAS TO COMPLY WITH AMERICANS WITH DISABILITIES ACT AND SECTIONS OF CURRENT OREGON STRUCTURAL SPECIALTY CODE.
- UNLESS NOTED OTHERWISE, ALL DIMENSIONS AND DOOR MANEUVERING CLEARANCES ON THIS SHEET ARE MEASURED FROM FACE OF FINISH, CLEAR DIMENSIONS SHOULD BE MEASURED FROM THE FACE OF BASE BOARDS, CHAIR RAILS, WAINSCOT, ETC.
- MOUNTING HEIGHTS ARE MEASURED ON THIS SHEET FROM FINISH FLOOR ELEVATION.
- VERIFY COMPONENT DIMENSIONS AND LEVELING REQUIREMENTS ARE WITHIN ALLOWABLE DIMENSIONS.
- DIMENSIONS AND CONFIGURATIONS SHOWN ARE FOR REFERENCE ONLY. ACTUAL DIMENSIONS AND CONFIGURATIONS MAY VARY. MINIMUMS AND MAXIMUMS INDICATED IN THE DOCUMENTS MAY BE MORE STRINGENT THAN THOSE DIMENSION INDICATED ON THIS SHEET. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DIMENSIONS THAT DO NOT MEET OR EXCEED THE GUIDELINES ON THIS SHEET.
- VERIFY CLEARANCES WITH MANUFACTURER'S PRODUCT SIZES AND REQUIREMENTS TO ENSURE ACCESSIBLE CLEARANCES ARE MET.
- PROVIDE BACKING AS INDICATED FOR INSTALLED OR FUTURE GRAB BARS SHALL WITHSTAND MINIMUM 250 LBS. OF FORCE. SEE SPECIFICATIONS.
- AT ALL CASEWORK INDICATED AS REMOVABLE, EXTEND FLOOR FINISH UNDER CASEWORK AND COMPLETE FINISH OF ADJACENT WALL AND/OR CASEWORK SURFACES.

FOR REFERENCE

STATE OF OREGON COMPLIANCE
OREGON STRUCTURAL SPECIAL CODE 2022.
Section 1102.1 Design. Buildings and facilities shall be designed and constructed to be accessible in accordance with this code and ICC A117.1 (v2017 per OSSC Ch. 35).
1102.1.2 Amendments to ICC A117.1. The provisions of this section shall be considered amendments to ICC A117.1, ICC A117.1 Section 407 is not adopted, ICC A117.1 Section 408 is not adopted, ICC A117.1 Section 409 is not adopted, ICC A117.1 Section 410 is not adopted, ICC A117.1 Section 406.6 is deleted in its entirety, ICC A117.1 Section 502.2, 502.5, 502.10, 502.11 are adopted, the remaining provisions of section 502 are deleted. Accessible parking is subject to ORS 447.233, ICC A117.1 Chapter 10 is adopted as noted in OSSC 1102.1.2.8.
OREGON TRANSPORTATION COMMISSION, Standards for Accessible Parking Spaces 2018.
FEDERAL COMPLIANCE (PRIVATELY FUNDED BUILDINGS)
FAIR HOUSING ACT (FHA) of 1968 with 1988 amendments included in FHA FAIR HOUSING ACT GUIDELINES, FAIR HOUSING ACT GUIDELINE Q&A SUPPLEMENT, FAIR HOUSING ACT DESIGN MANUAL v1998, as referenced by FHA, ICC/ANSI A117.1 v1988 (v1992, v1998, v2003, v2009 permitted as safe harbors when used with the FHA Guidelines per Federal Register Design and Construction Requirements; Compliance with ANSI A117.1 Standards).
Note: Portions of buildings covered by the FHA are expressly exempt from the requirements of Americans with Disabilities Act (ADA) of 1990 with 2010 amendments (per Title III Sec.36.104 Definitions, 31 of ADA 2010). Common use areas that are leaseable or available to the public at large (rather than solely for the use of residence and their guests) must comply with the requirements of ADA 2010.
Note: Buildings with Federal Assistance must comply with ADA 2010 and Section 504 of HUD which requires compliance with Uniform Federal Accessibility Standards (UFAS).

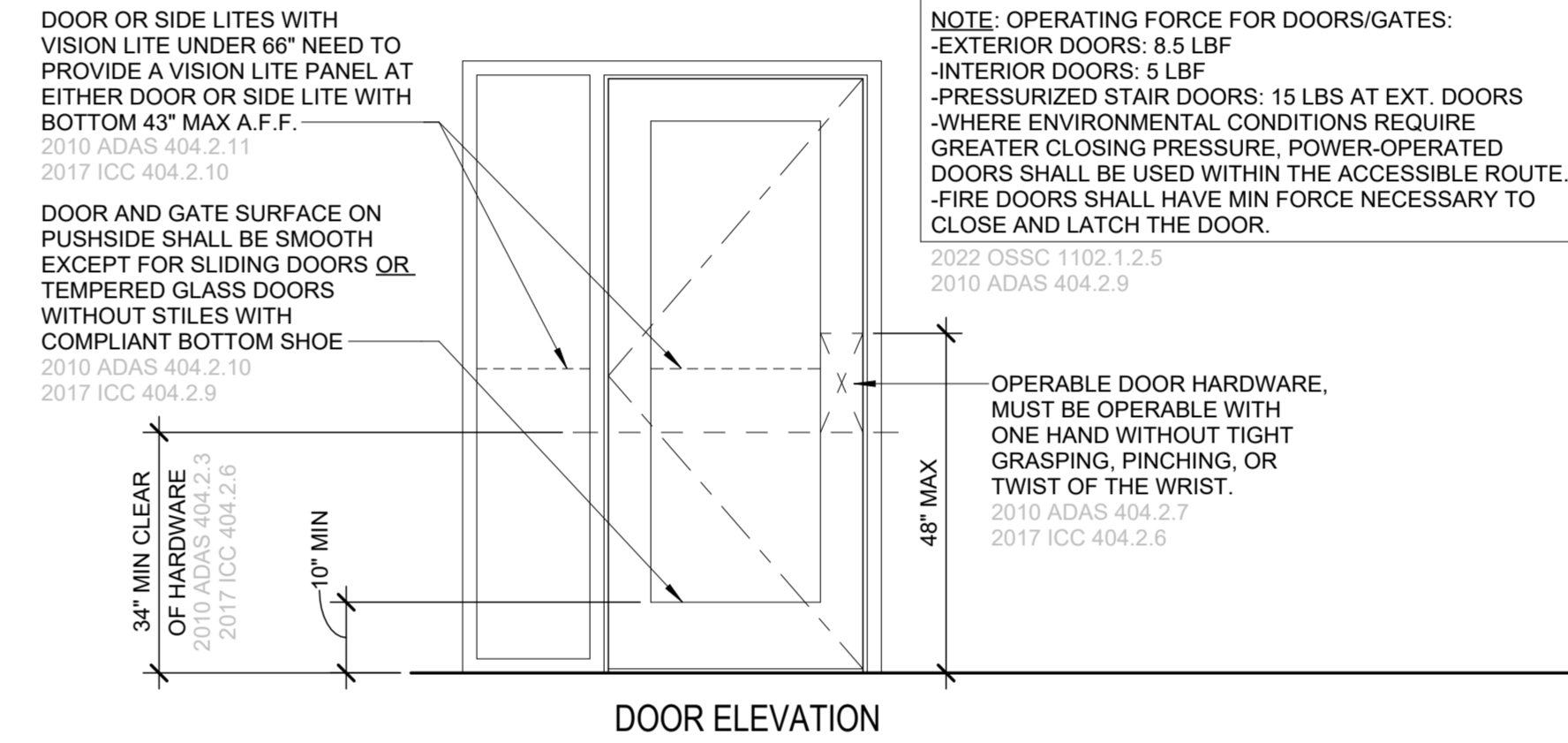
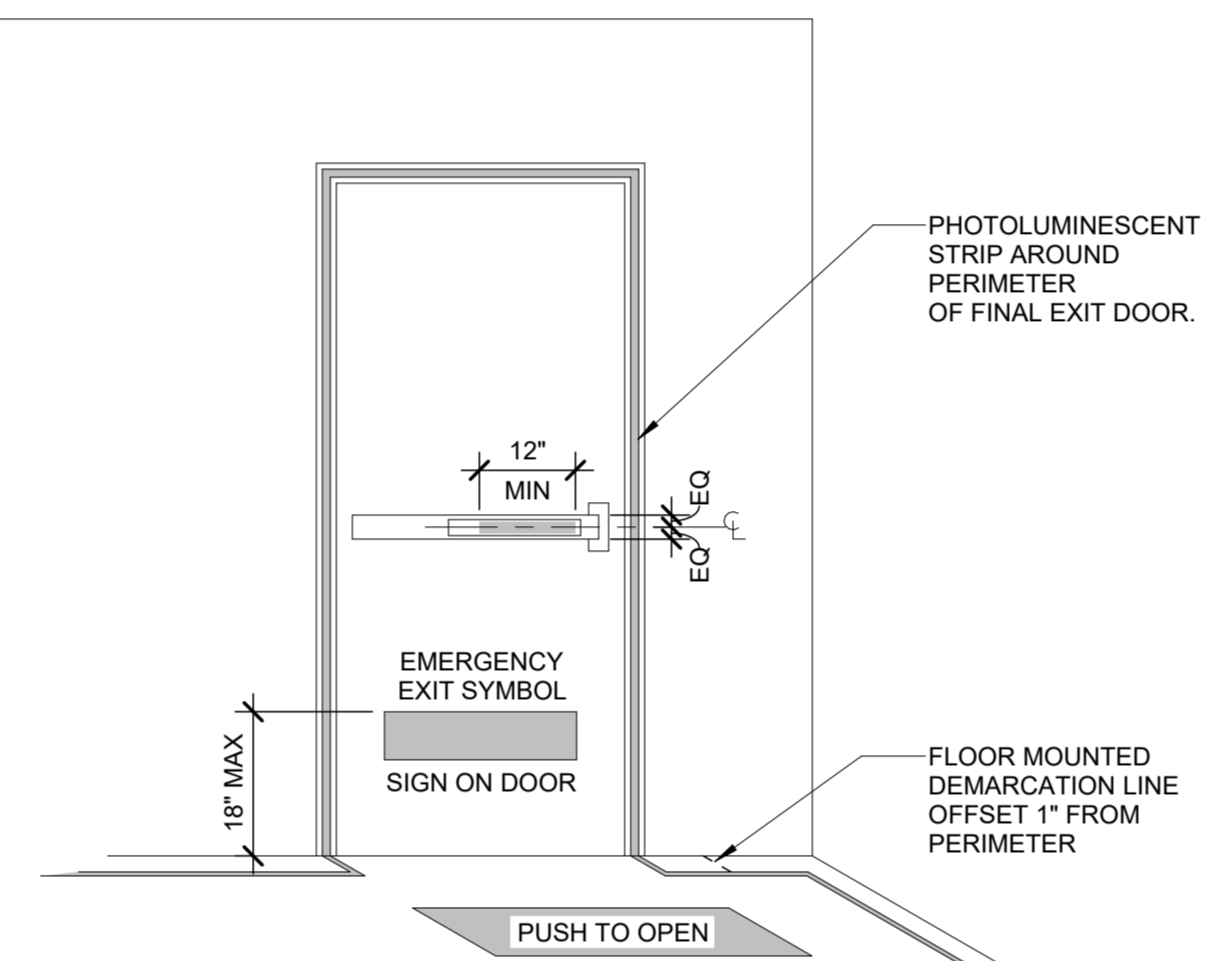
32 PHOTOLUMINESCENCE AT STAIRS - WHERE REQUIRED IN HIGH RISE BUILDINGS

3/8" = 1'-0"



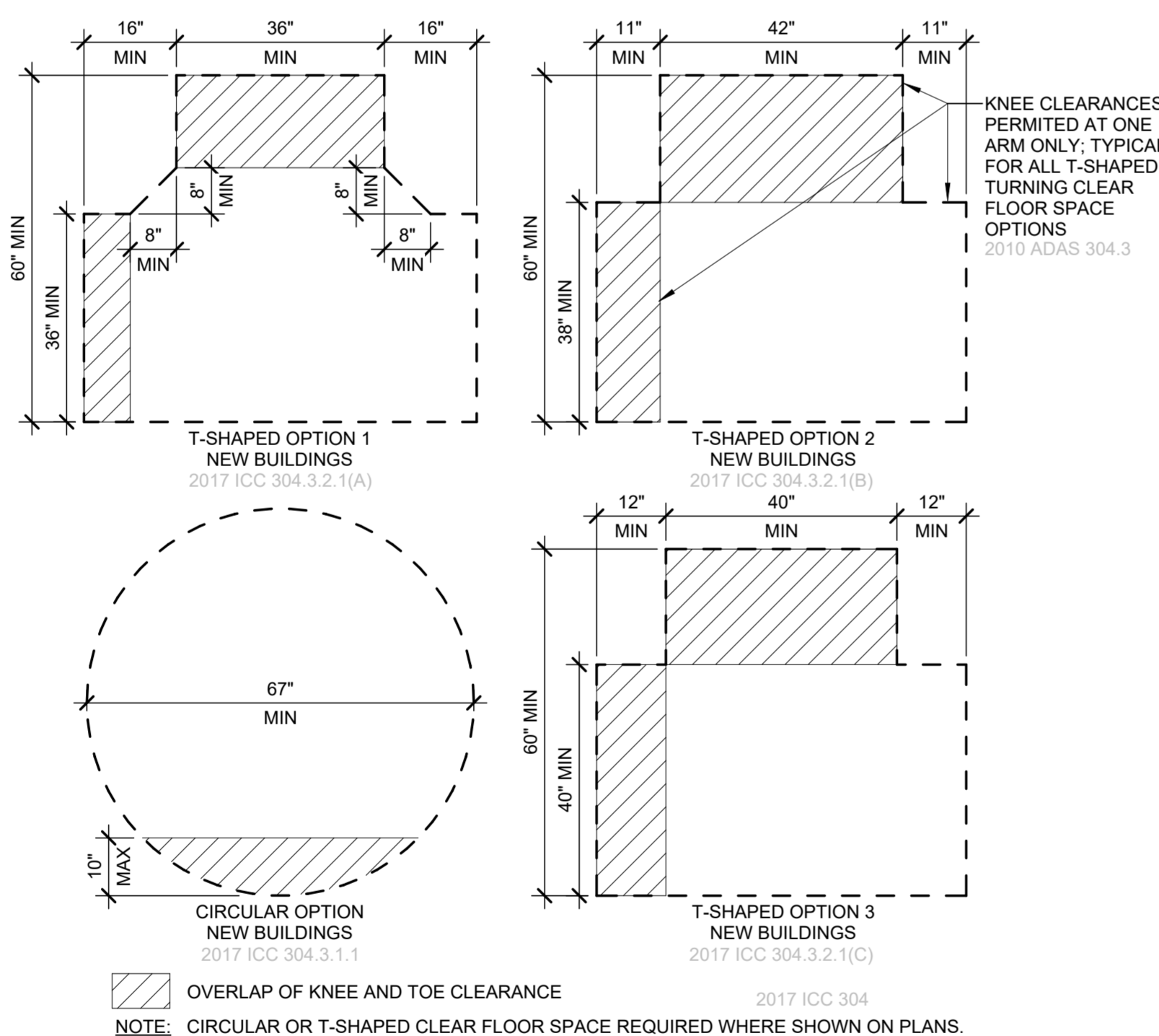
20 ACCESSIBLE ROUTE AND CANE DETECTION

1/2" = 1'-0"



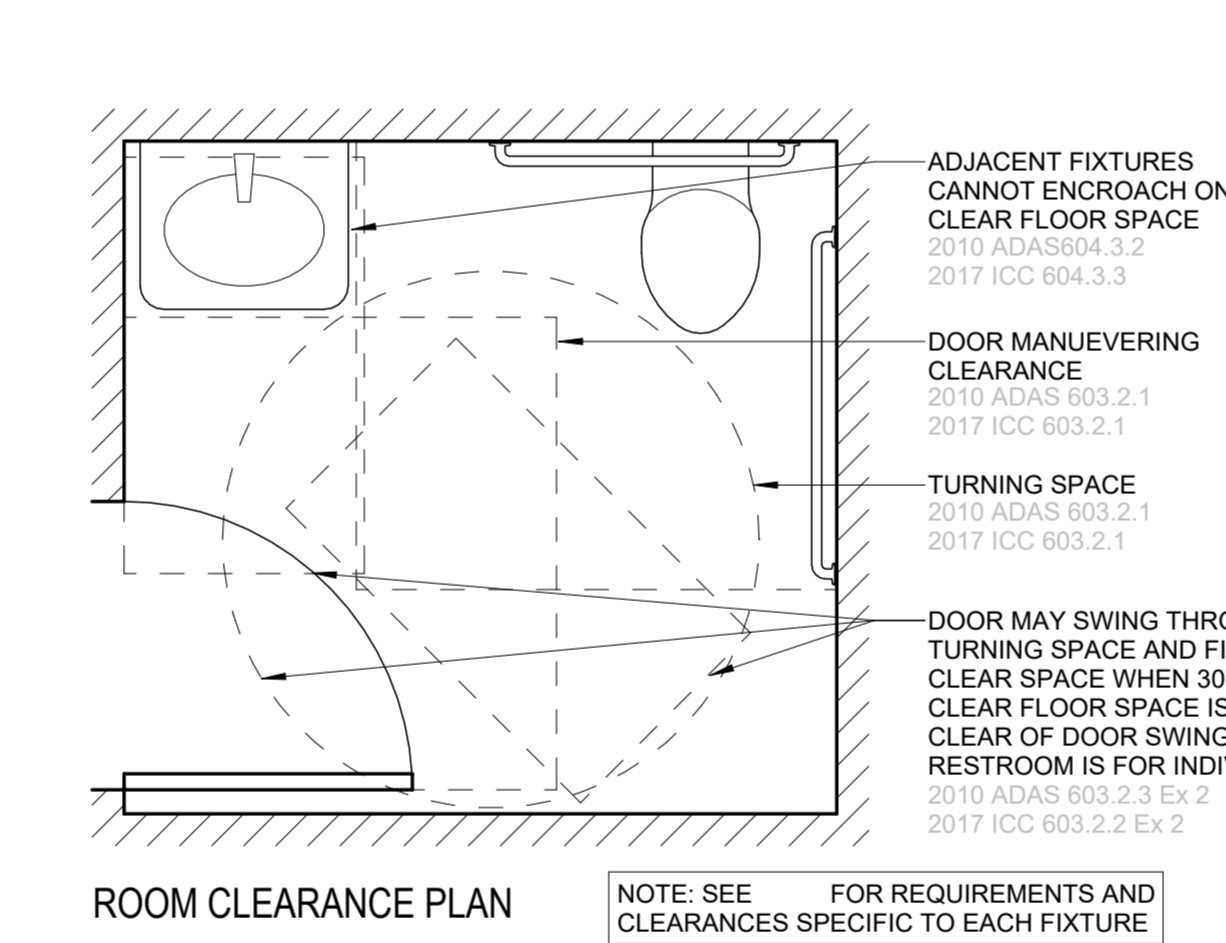
27 TURNING SPACE FLOOR CLEARANCE - EXISTING BUILDINGS

1/2" = 1'-0"



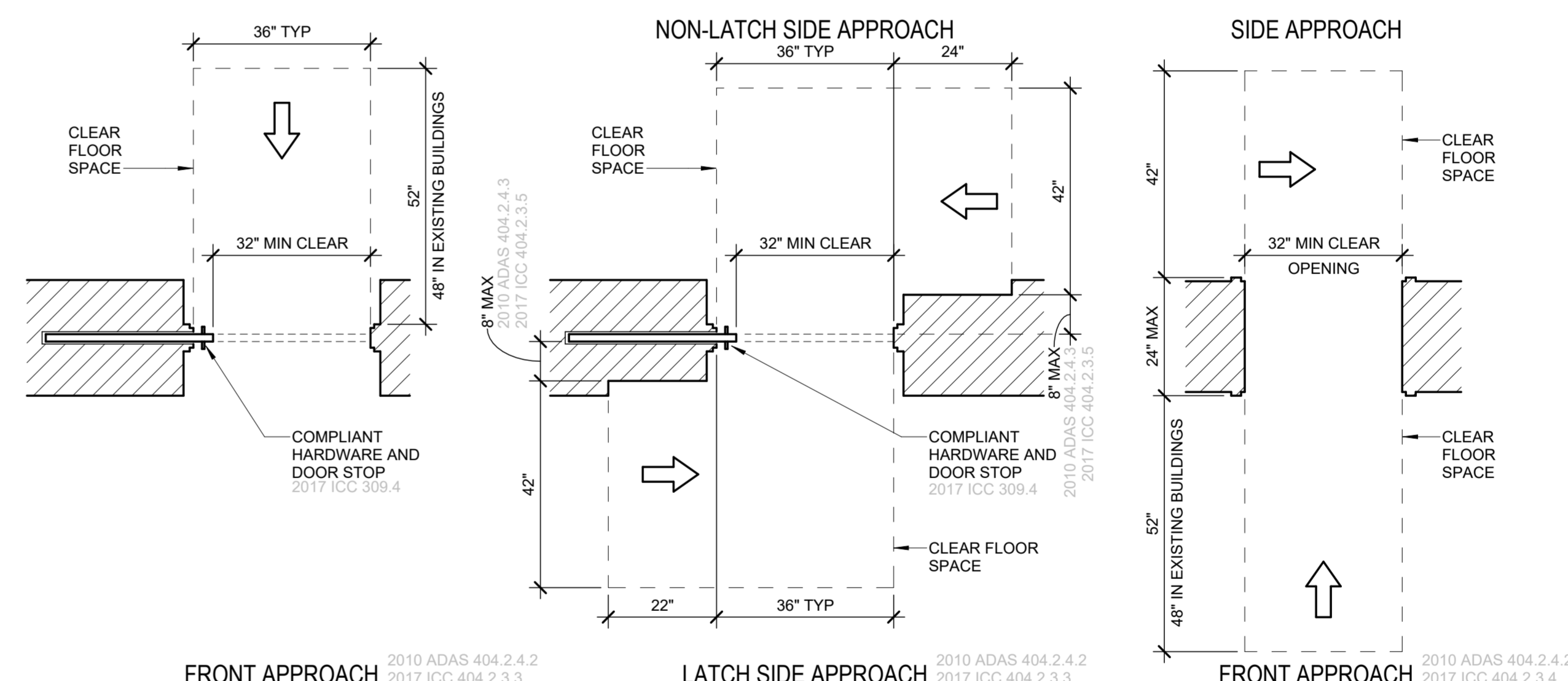
21 PHOTOLUMINESCENCE AT EXIT DOORS

1/2" = 1'-0"



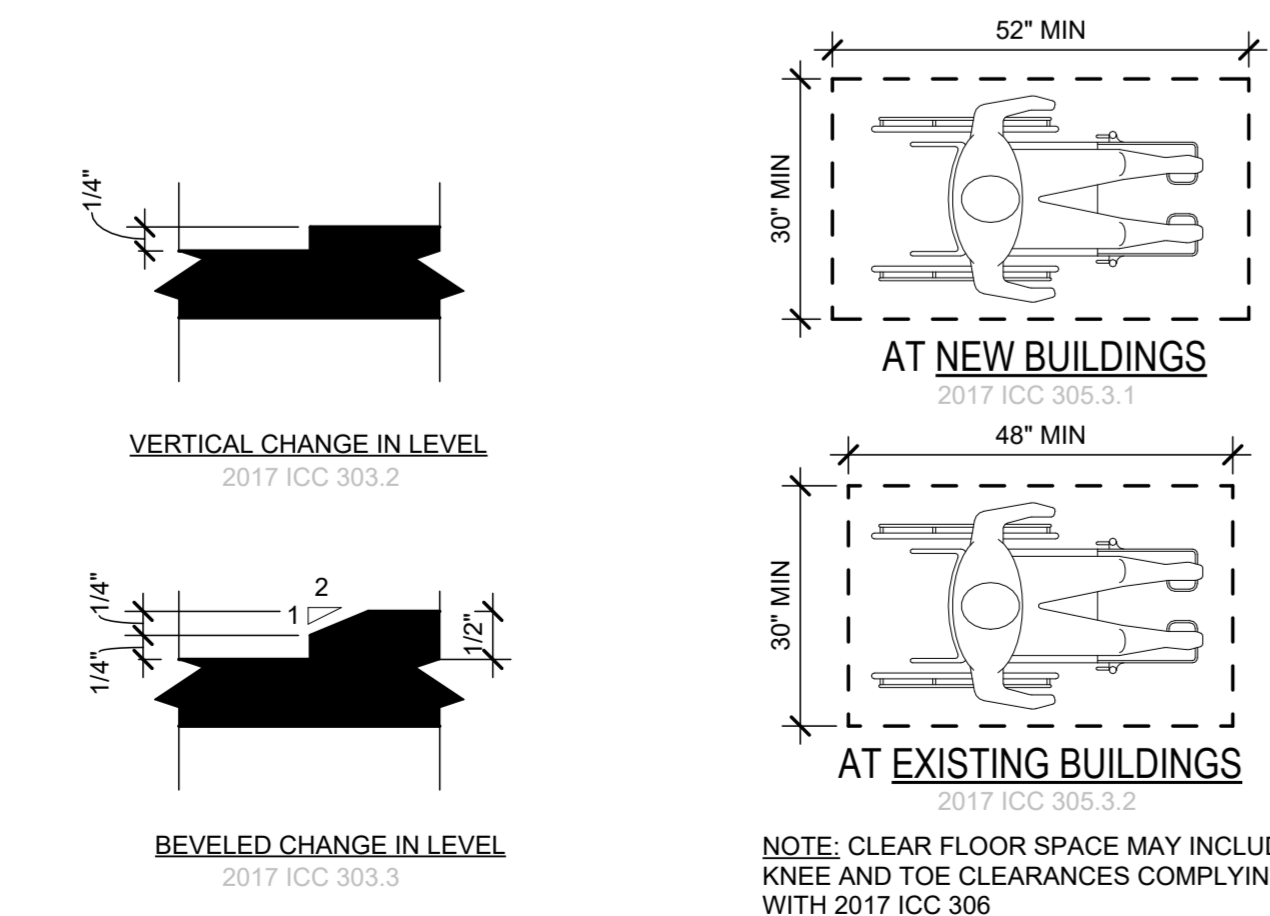
15 DOOR ELEVATION

1/2" = 1'-0"



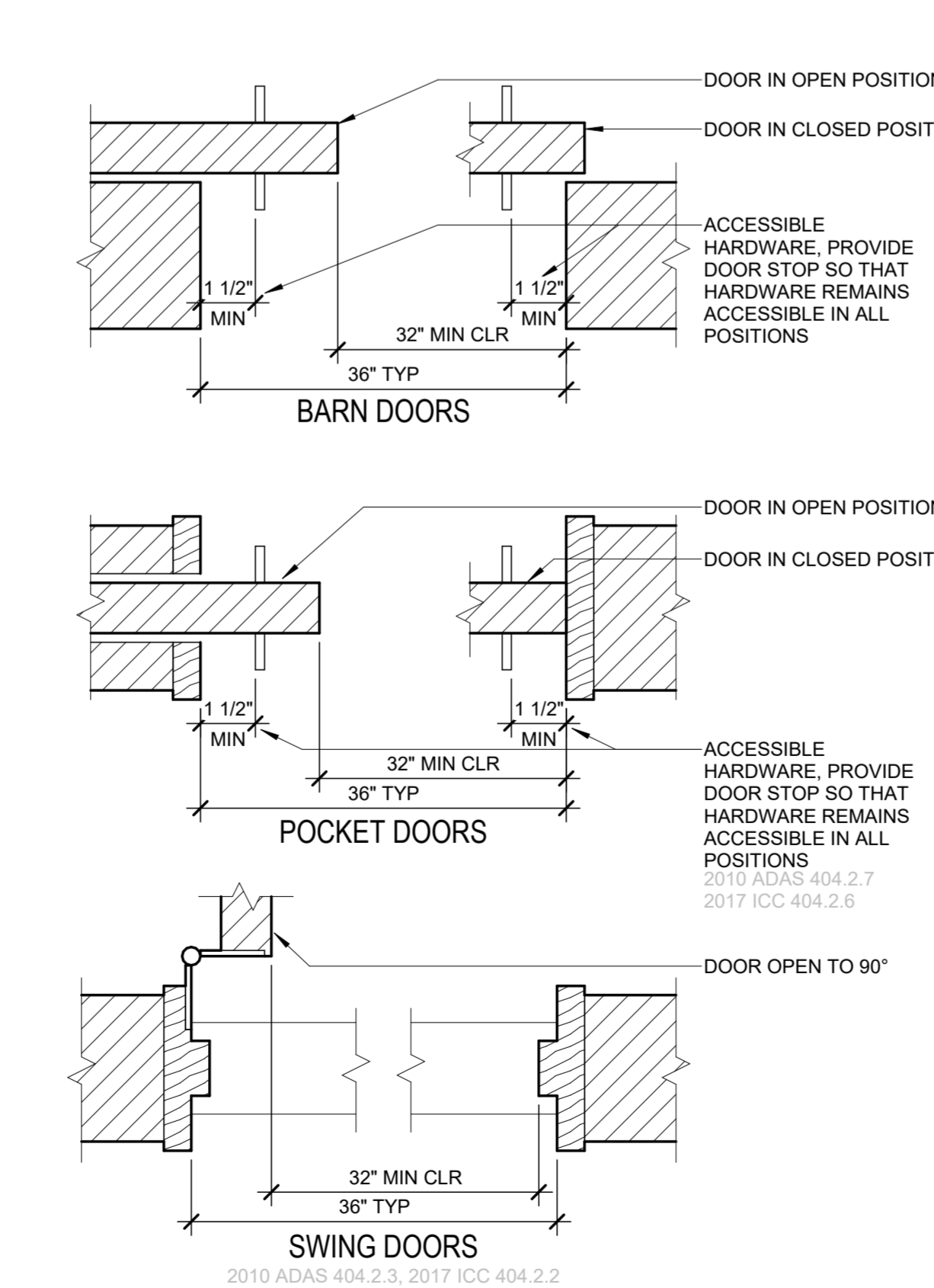
29 TURNING SPACE FLOOR CLEARANCE - NEW BUILDINGS

1/2" = 1'-0"



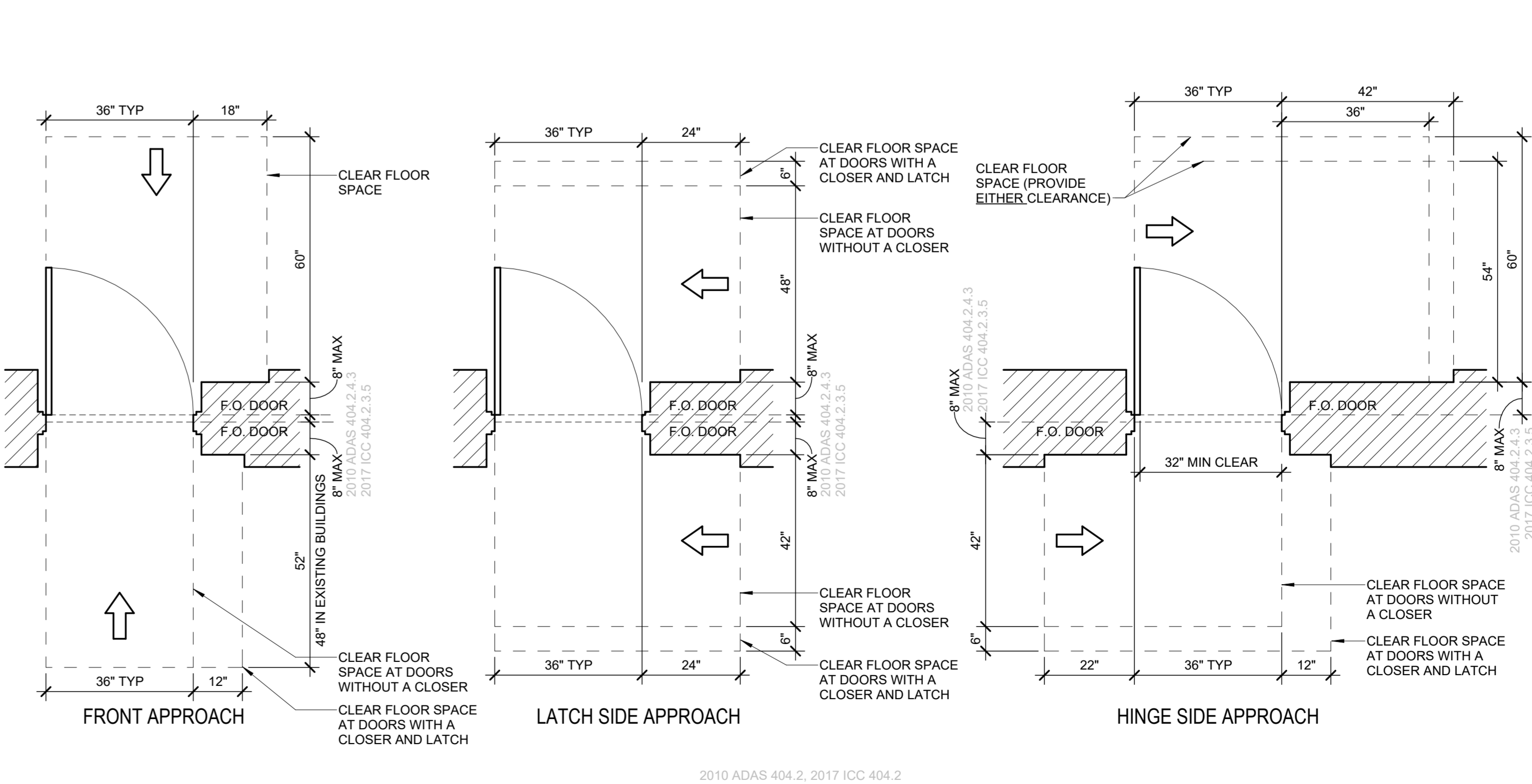
22 SINGLE OCCUPANT RESTROOM

1/2" = 1'-0"



16 MANEUVERING CLEARANCES AT POCKET/SLIDING DOORS & OPEN DOORWAYS

1/2" = 1'-0"



31 CHANGES IN LEVEL

6\"/>

30 CLEAR FLOOR SPACE

1/2\"/>

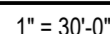
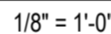
24 PASSAGE DOOR WIDTH

3\"/>

18 MANEUVERING CLEARANCES AT MANUAL SWING DOORS

1/2\"/>

1 SITE PLAN - OVERALL PROPOSED

 $1/8^{\circ} = 1'-0"$ 
$$108^{\circ} = 1^{\circ} - 0^{\circ}$$


A090

- A. ALL CONCRETE SHALL BE 4,500 PSI COMPRESSIVE STRENGTH AT 28 DAYS.
- B. ALL ASPHALT AND BASE ROCK SHALL CONFORM TO LOCAL JURISDICTION OR STATE TRANSPORTATION DEPARTMENT STANDARD SPECIFICATIONS.
- C. ALL SUBGRADE SHALL BE COMPACTED TO 95% OF MAXIMUM DRY DENSITY (MODIFIED PROCTOR).
- D. POSITIVE DRAINAGE IS TO BE MAINTAINED, SLOPING AWAY FROM BUILDINGS AT ALL TIMES.
- E. EXTERIOR LANDINGS AND AREAS WHERE A TURN IS REQUIRED ALLOW PEDESTRON ROUTE SLOPE SHALL NOT EXCEED 2%.
- F. ALL PROPOSED AND IMPACTED GRADES TO MATCH OR BLEND WITH EXISTING AND SURROUNDING GRADE.
- G. ALL ACCESSIBLE PARKING STALLS, ACCESSIBLE ACCESS AISLES, AND RAMP LANDINGS ARE TO BE GRADED AT 2% MAX. SLOPE IN ALL DIRECTIONS.
- H. ALL CURBS ARE TO HAVE A HEIGHT OF 6", UNLESS NOTED OTHERWISE.
- I. ALL SIDEWALKS AND IN-LINE ACCESSIBLE PEDESTRON ROUTES ARE TO BE A MAX. 5% RUNNING UP OR DOWN MAX. 2% CROSS SLOPE.

A. ALL LANDSCAPING AND PARKING AREAS ARE EXISTING AND TO REMAIN. U.O.

B. REPAIR OR REPAIN ANY PAVEMENT MARKINGS THAT ARE ALTERED OR OBTURED BY DEMOLITION/ CONSTRUCTION OF PARKING AND ACCESSIBLE ROUTE.

C. AN ARCHITECT HAS BEEN PROVIDED TO VERIFY THE SITE CONDITION AND EXISTING ADJACENT CONDITIONS. THE ARCHITECT HAS ASSUMED RESPONSIBILITY FOR REFERENCE ONLY. CONTRACTOR TO VERIFY IN FIELD AND REPORT ANY CONFLICTS TO ARCHITECT PRIOR TO BEGINNING WORK.

D. ALL EXISTING CONDITIONS REPRESENTED ON THESE DOCUMENTS HAVE BEEN PROVIDED TO ARCHITECT BY OWNER AND HAVE NOT BEEN FIELD VERIFIED. THE PROPOSED DESIGN IS BASED ON THESE CONDITIONS. CONTRACTOR HAS ASSUMED RESPONSIBILITY THAT HAS NOT BEEN PROVIDED WITH A CURRENT SURVEY OR RECORDS, CLARIFICATION OF ANY REFERENCES REPRESENTED BY THE DOCUMENTS SHOULD BE FIELD VERIFIED BY CONTRACTOR. NOTIFY ARCHITECT IF ANY PROPOSED DESIGN OR CONFLICT IS ACHIEVED DUE TO EXISTING SITE CONDITIONS.

01 PROVIDE ACCESS PARKING STALLS AND ACCESS AISLE
02 PASSING CONTOUR SURFACE SO THAT SLOPE DOES NOT
03 EXCEED 2% IN ANY DIRECTION. RESTRAINTS AS
04 SHOWN.

05 ACCESSIBLE STALL WIDTH AND DEPTH: RESTRIPE SO
06 THAT MINIMUM STALL WIDTH AND DEPTH ARE 8'-0"
07 AND 19'-0" DEEP MINIMUM.

08 ACCESS AISLE WIDTH AND DEPTH: RESTRIPE SO THAT
09 MINIMUM AISLE WIDTH IS 8'-0" WIDE MINIMUM AND 19'-0"
10 DEEP MINIMUM.

11 PROVIDE NEW CONCRETE LANDINGS, SLOPES NOT TO
12 EXCEED 2% IN ANY DIRECTION.

13 PROVIDE NEW ACCESSIBLE CONCRETE RAMP CROSS
14 SLOPE NOT TO EXCEED 2% AND RUNNING SLOPE NOT TO
15 EXCEED 1.5%. THE RISE FOR ANY RAMP RUN SHALL
16 NOT EXCEED 30".

17 PROVIDE NEW CONCRETE CURBS AROUND NEW CURB
18 RAMP.

19 DEMOLISH EXISTING CURB, LANDING TO MATCH GRADE
20 OF ACCESS AISLE. ENSURE NO GAP IN THE PAVEMENT
21 BOTH WIDE THAN 2" AND 1/4" DEEPER FOR 10'-0".

22 PROVIDE NEW STEEL PIPE HANDRAIL, REF. 4 AND 5/AG191

23 NEW FUEL PUMP SIGNAGE: PROVIDE NEW SIGN WITH
24 18" X 24" SIGN SYSTEM. REFER TO AN ATTENDANT
25 FUEL PUMP FOR ALBERTSON'S STANDARDS.

26 PROVIDE SIGN TO CONFORM TO THE SIGNAGE AND
27 SIGN FABRICATOR FOR SIGNAGE DETAILS, INCLUDING
28 SIGNING, MOUNTING LOCATION AND HEIGHT, REQUIRED
29 SIGN VISIBILITY STANDARDS FOR LEGIBILITY. SIGN
30 MESSAGE TO READ:

31
32
33
34
35
36
37
38
39
40

WE VALUE OUR CUSTOMERS WITH DISABILITIES.

HONK YOUR CAR HORN **ONCE** TO HAVE THE PUMP
REMOVELY ACTIVATED. YOU WILL HAVE TO ENTER
THE FACILITY TO PAY AFTER PUMPING YOUR GAS.

OR
HONK YOUR CAR HORN **TWICE** AND AN ATTENDANT
WILL ASSIST YOU WITH PUMPING YOUR GAS.

FOR COMMENTS, COMPLAINTS OR THE HOURS IN WHICH
THIS FACILITY HAS AN ATTENDANT ON DUTY, PLEASE
CALL 800-444-0009.

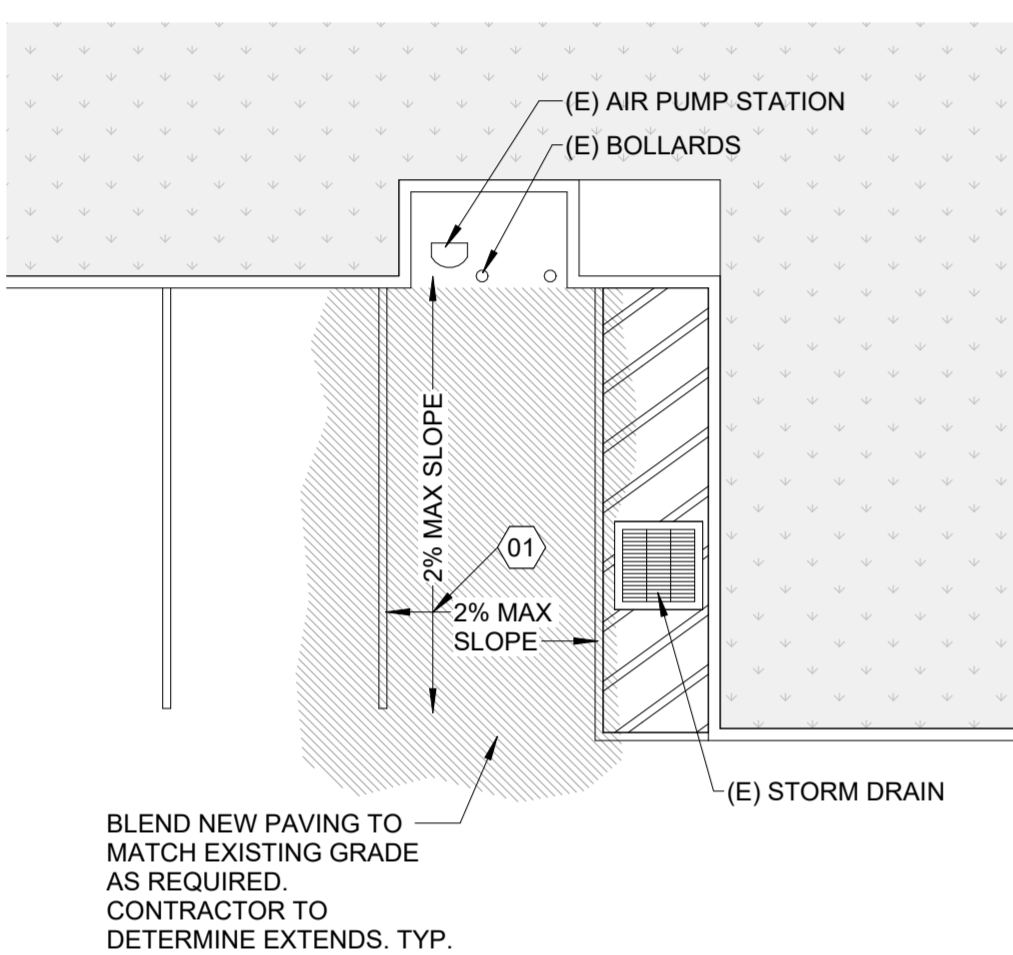
 SLOPE UP/DN

 STEP UP/DN

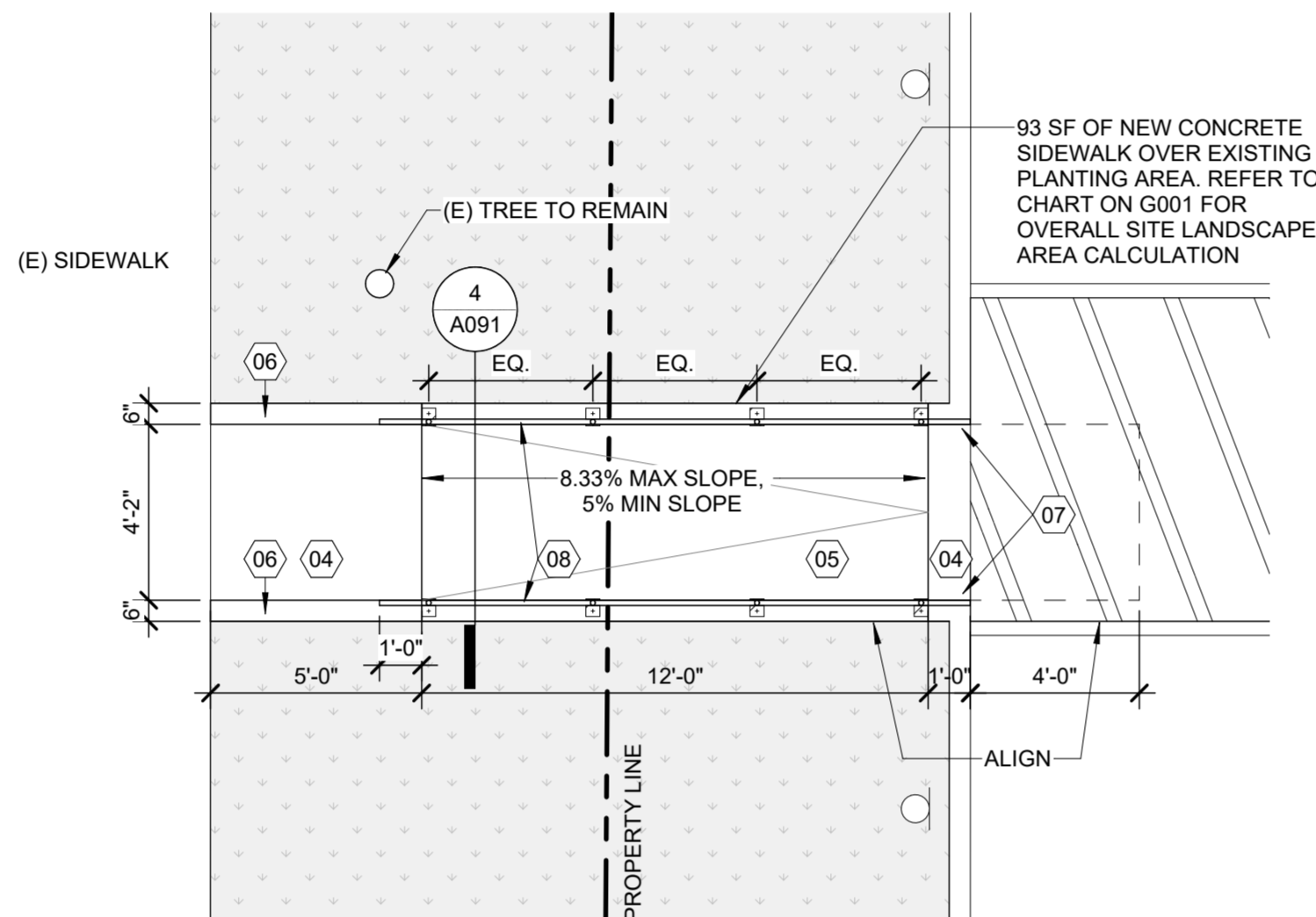
 ASPHALT OR CONCRETE AREAS TO BE RE-SLOPED BY CONTRACTOR TO DETERMINE EXTENTS.

 ACCESSIBLE ROUTE. SHOWN FOR REFERENCE ONLY.

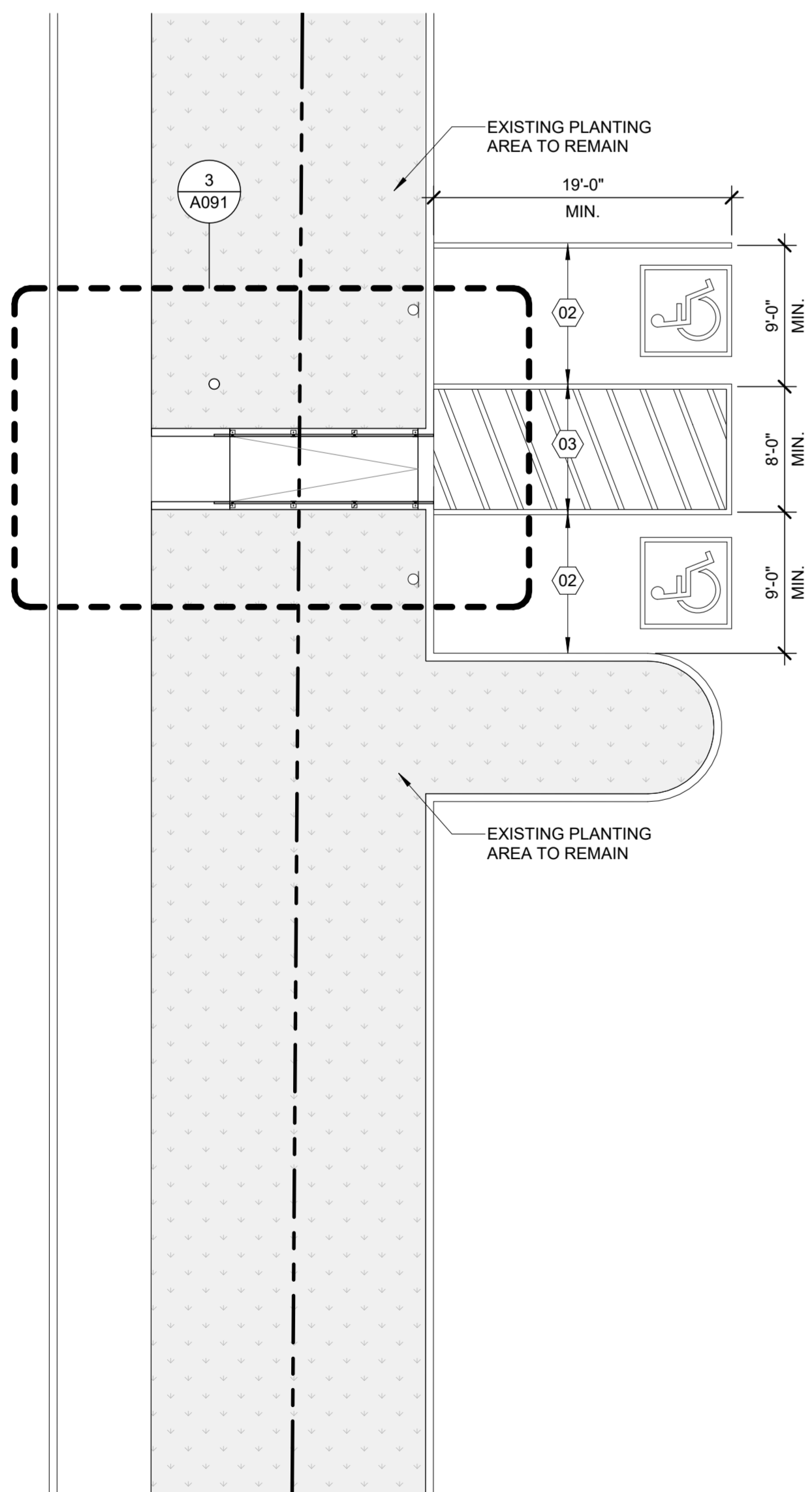
 PAINT STRIPING.



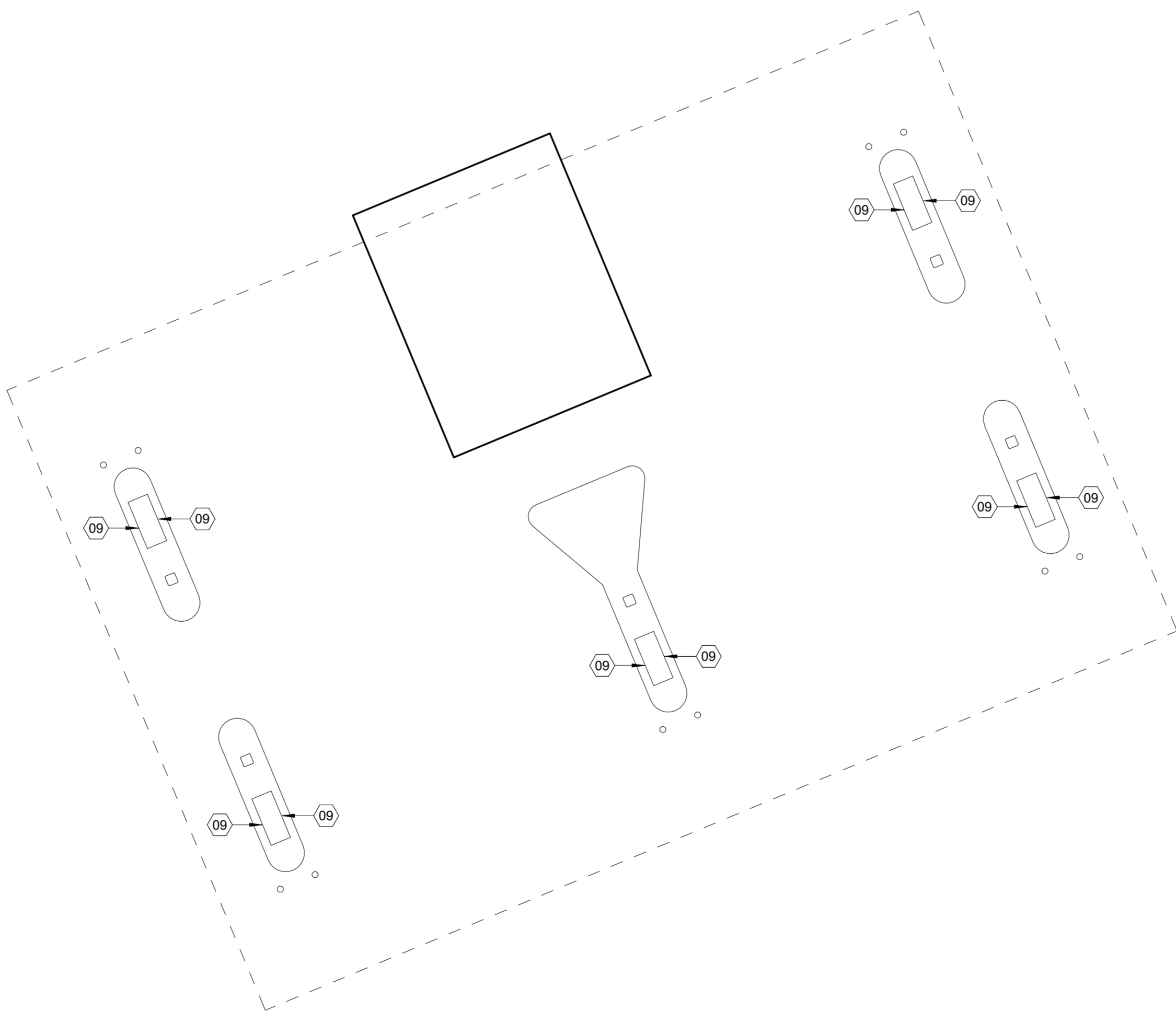
2 ENLARGED - AIR PUMP STATION
1/8" = 1'-0"



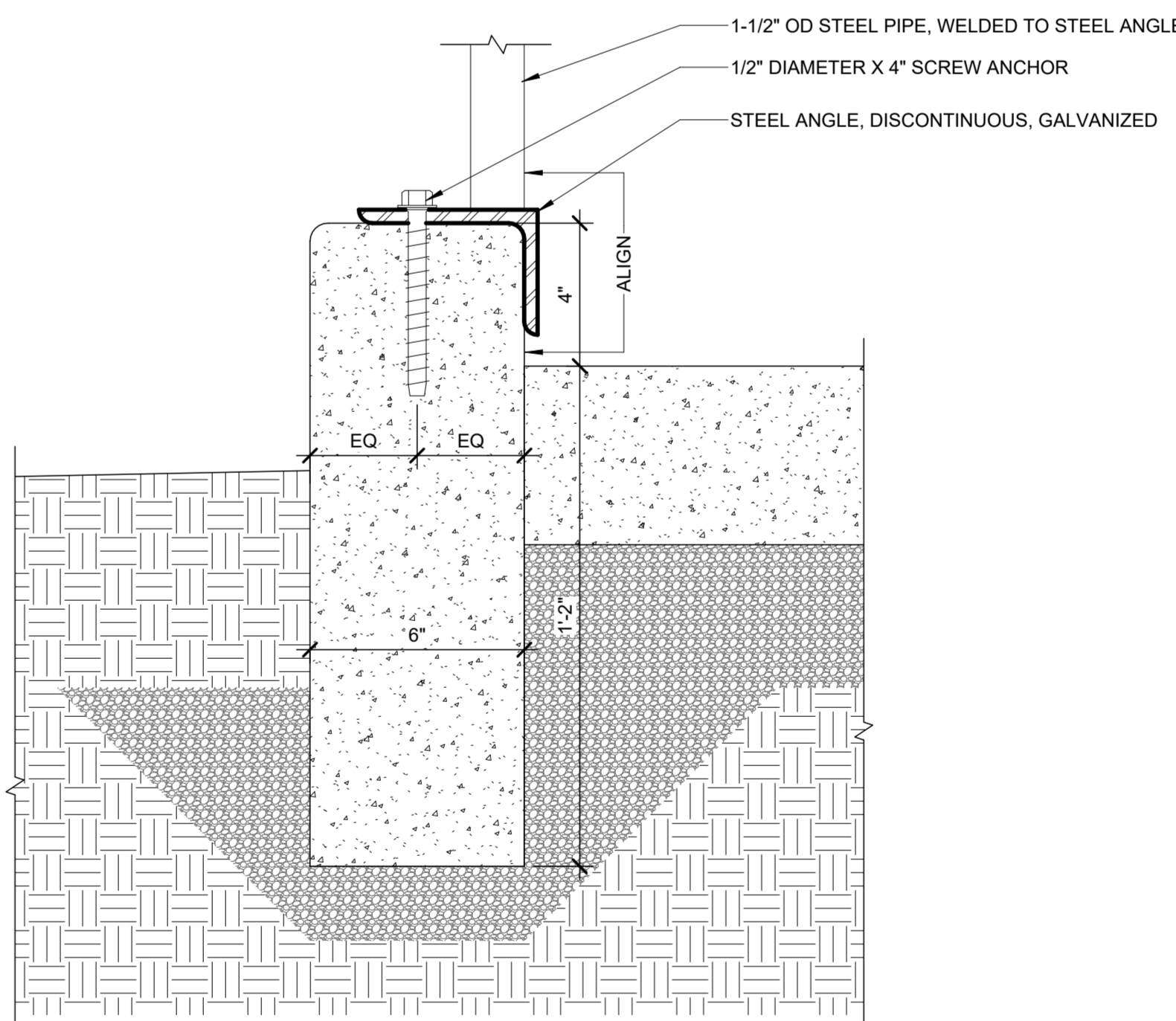
3 ENLARGED - FUEL CENTER RAMP



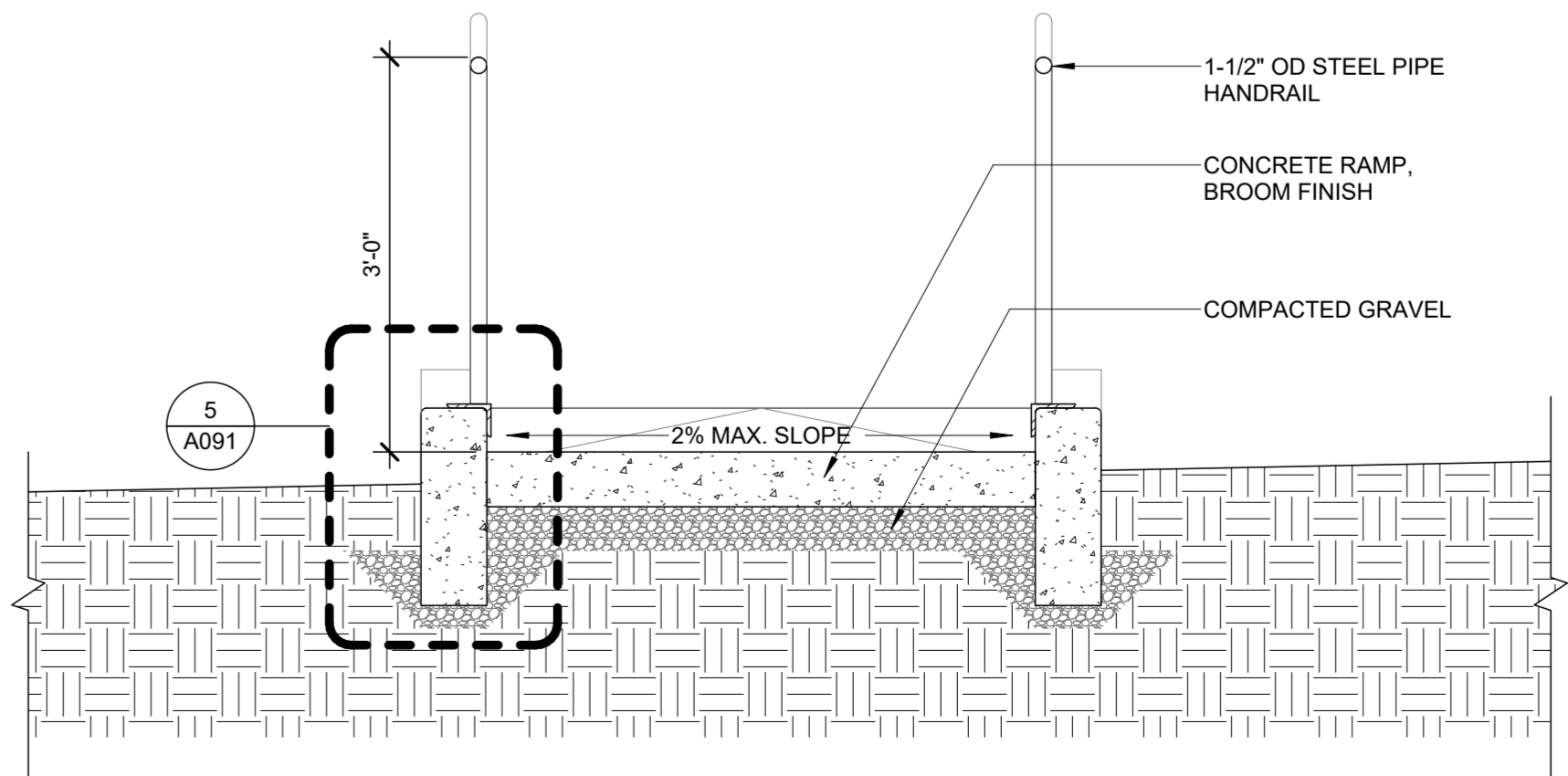
1 ENLARGED - FUEL CENTER



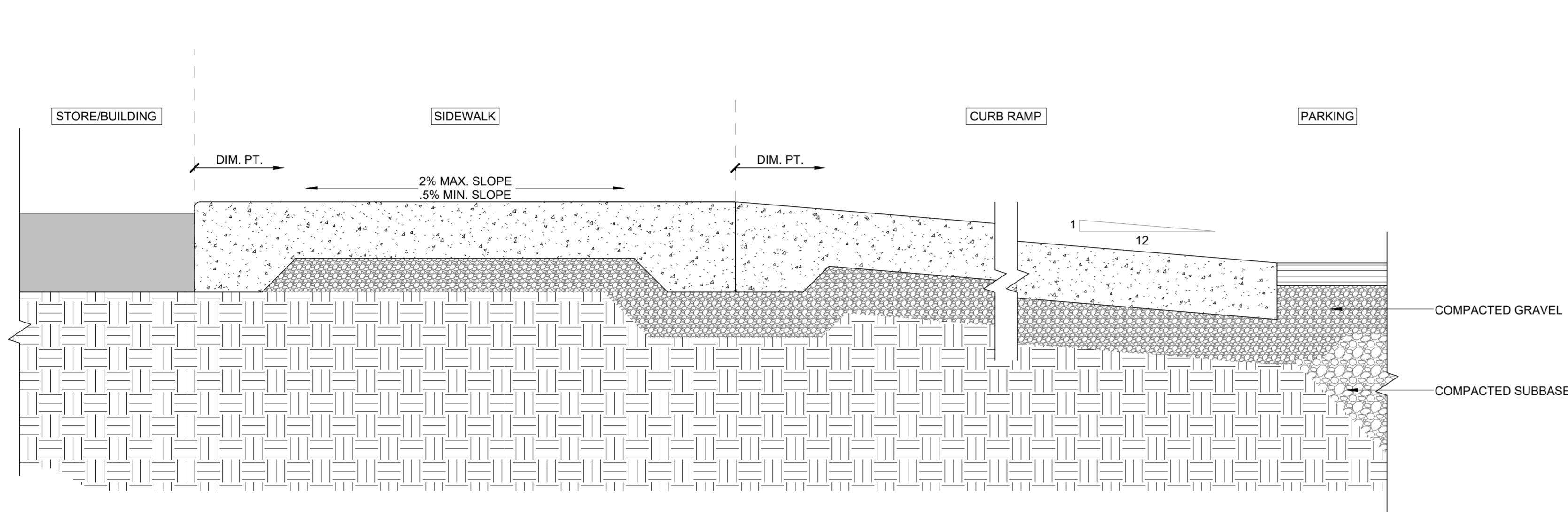
5 HANDRAIL BALUSTER AT CURB



4 RAMP CROSS SECTION

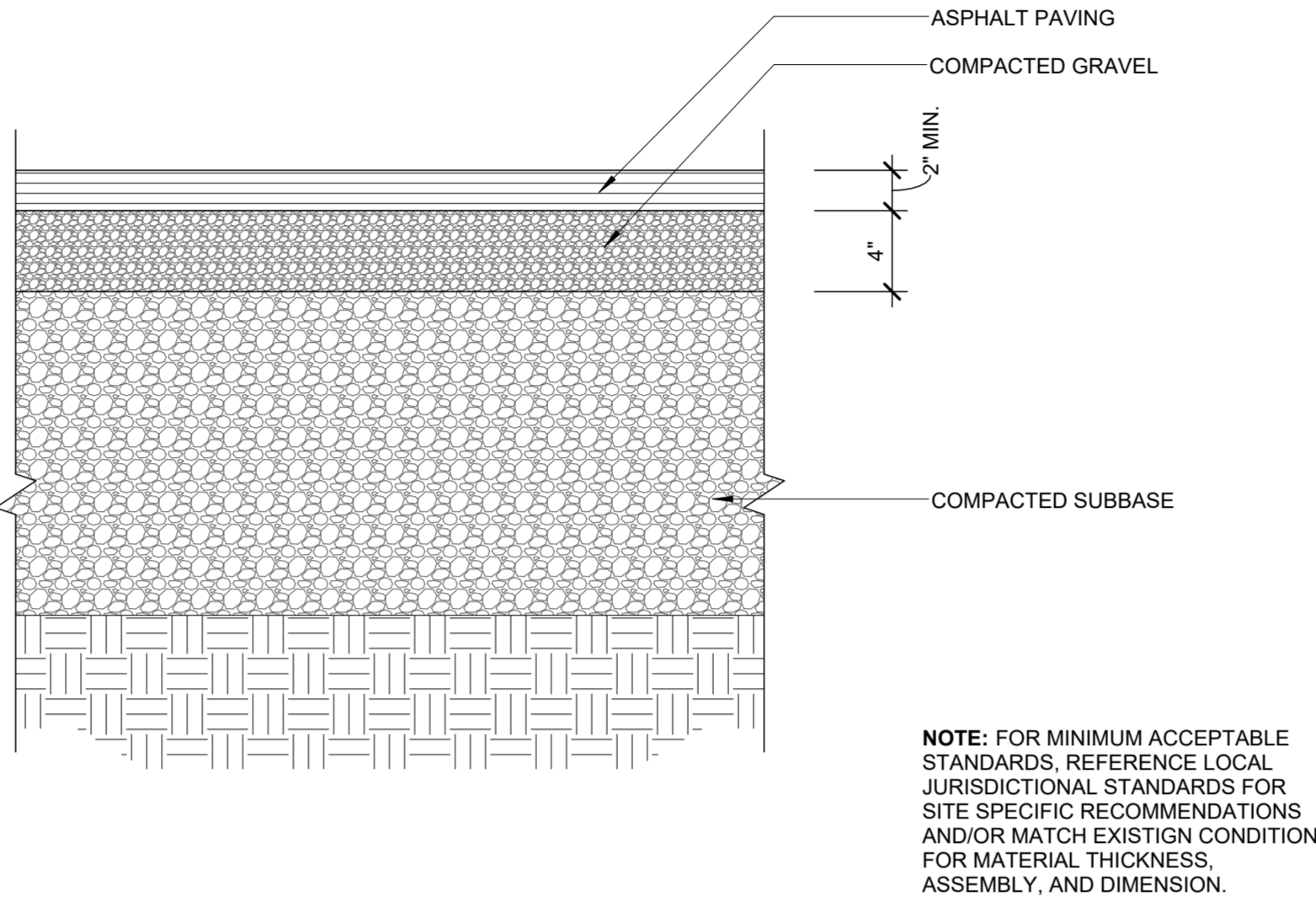


A099 TYPICAL PAVING DETAILS
Autodesk Docs://20237000_Albertsons Safeway/20237107_1935 Salem_v23.rvt
7/24/2024 4:52:59 PM



1 TYPICAL SIDEWALK CROSS SECTION

1 1/2" = 1'-0"



2 TYPICAL ASPHALT PAVING AT DRIVE AISLES & PARKING

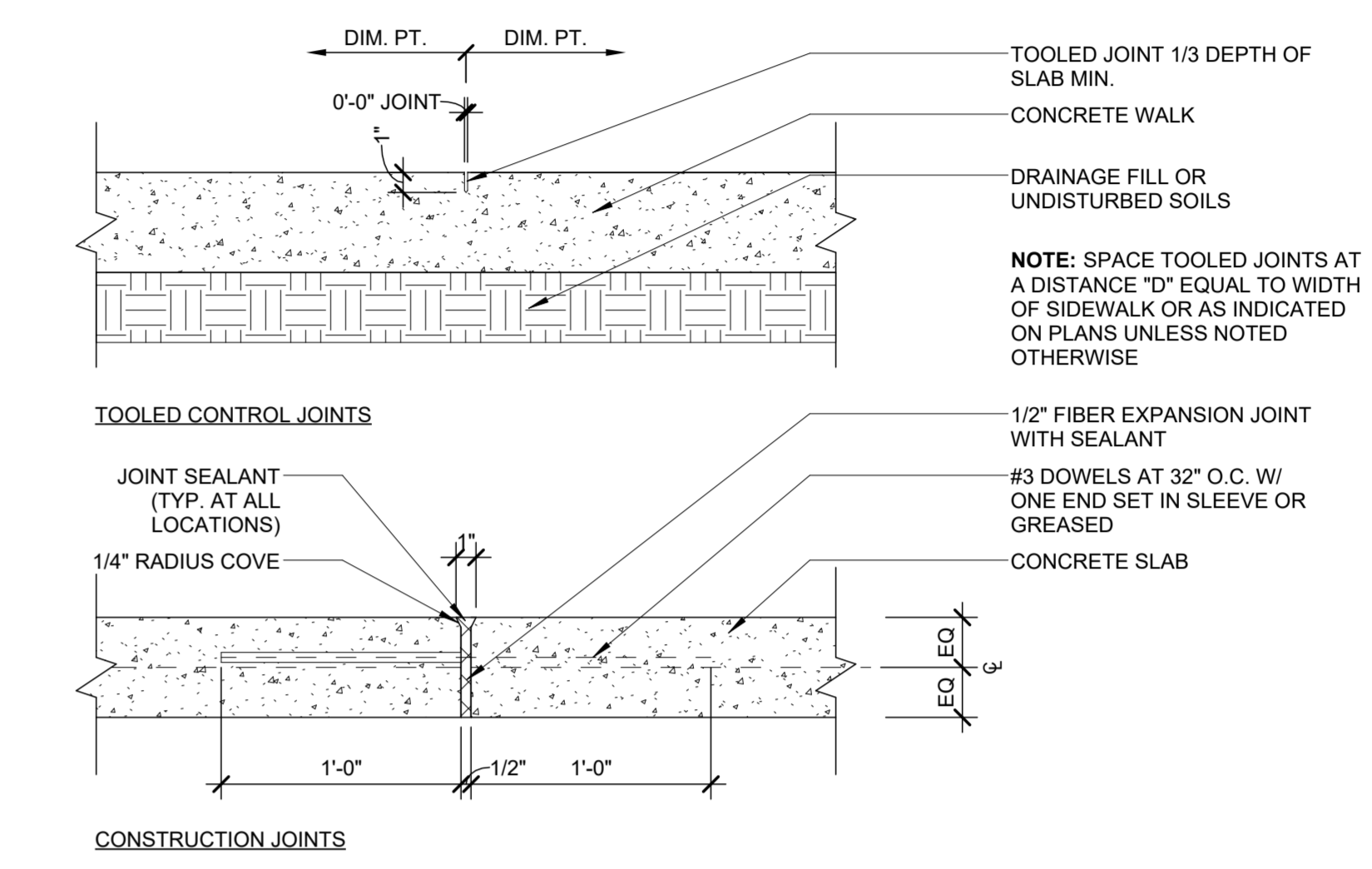
1 1/2" = 1'-0"

| GRADE 60 REINFORCING | | | | | |
|----------------------|--------------------|--------|----------|--------|-------------|
| BAR SIZE | MISCELLANEOUS BARS | | TOP BARS | | HOOKED BARS |
| | Ld | Splice | Ld | Splice | Ldh |
| Fc = 4000psi | | | | | |
| #3 | 15" | 19" | 19" | 25" | 8" |
| #4 | 19" | 25" | 25" | 33" | 10" |
| #5 | 24" | 31" | 31" | 41" | 12" |
| #6 | 29" | 37" | 37" | 49" | 15" |

NOTE: VALUES FOR UNCOATED REINFORCING AND NORMAL WEIGHT CONCRETE WITH CLEAR SPACING > 4d. CLEAD COVER > 4d AND MINIMUM STIRRUPS OR TIES THROUGHOUT Ld OR CLEAR SPACING > 24d AND CLEAR COVER > 4d.

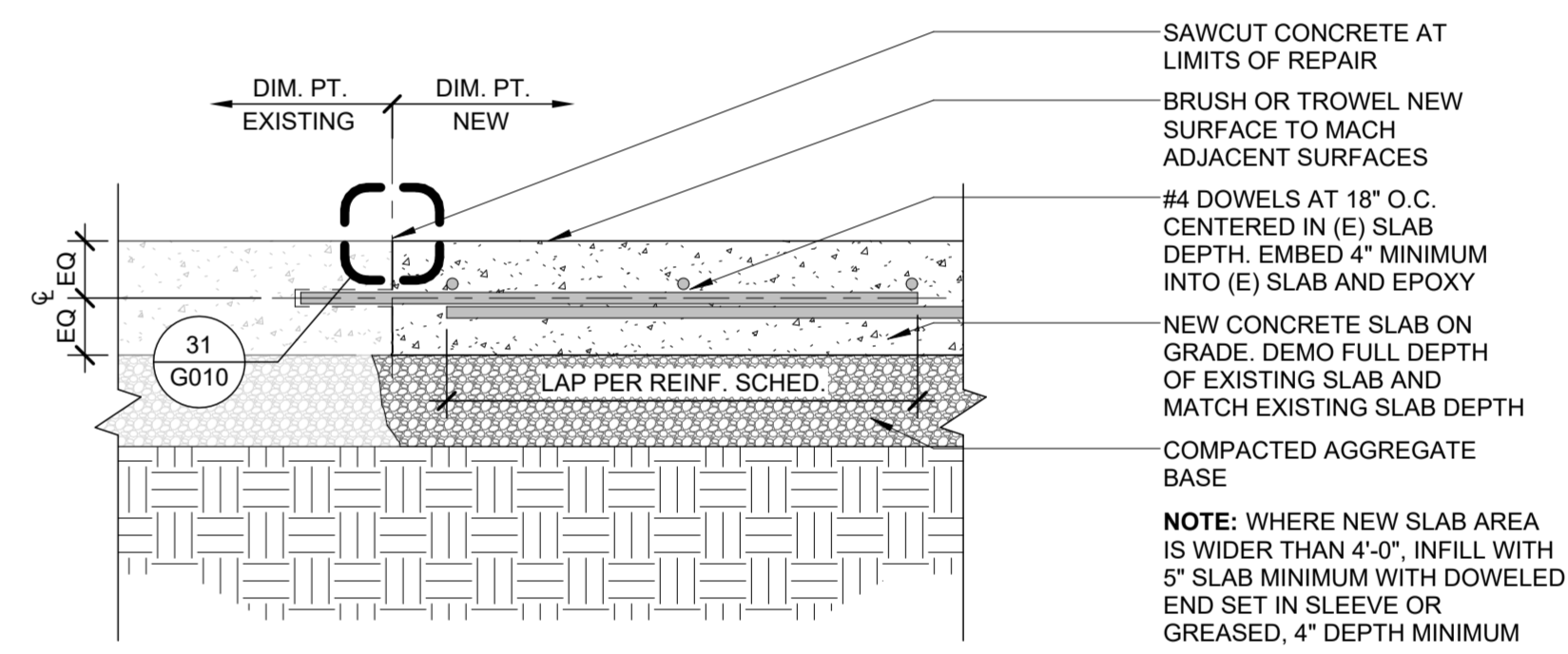
7 REINFORCING LAP SPLICE AND LENGTH SCHEDULE

- TYPICAL PAVING GENERAL NOTES**
- A. ALL CONCRETE SHALL BE 4,500 PSI COMPRESSIVE STRENGTH AT 28 DAYS.
 - B. ALL ASPHALT AND BASE ROCK SHALL CONFORM TO LOCAL JURISDICTION OR STATE TRANSPORTATION DEPARTMENT STANDARD SPECIFICATIONS.
 - C. ALL SUBGRADE SHALL BE COMPACTED TO 98% OF MAXIMUM DRY DENSITY (MODIFIED PROCTOR).
 - D. POSITIVE DRAINAGE IS TO BE MAINTAINED, SLOPING AWAY FROM BUILDINGS AT ALL TIMES.
 - E. EXTERIOR LANDINGS AND AREAS WHERE A TURN IS REQUIRED ALONG PEDESTRIAN ROUTE SLOPE SHALL NOT EXCEED 2%.
 - F. ALL PROPOSED AND IMPACTED GRADES TO MATCH OR BLEND WITH EXISTING AND SURROUNDING GRADE.
 - G. ALL ACCESSIBLE PARKING STALLS, ACCESSIBLE ACCESS AISLES, AND RAMP LANDINGS ARE TO BE GRADED AT 2% MAX. SLOPE IN ALL DIRECTIONS.
 - H. ALL CURBS ARE TO HAVE A HEIGH OF 6", UNLESS NOTED OTHERWISE.
 - I. ALL SIDEWALKS AND IN-LINE ACCESSIBLE PEDESTRIAN ROUTES ARE TO BE A MAX. 5% RUNNING SLOPE AND MAX. 2% CROSS SLOPE.



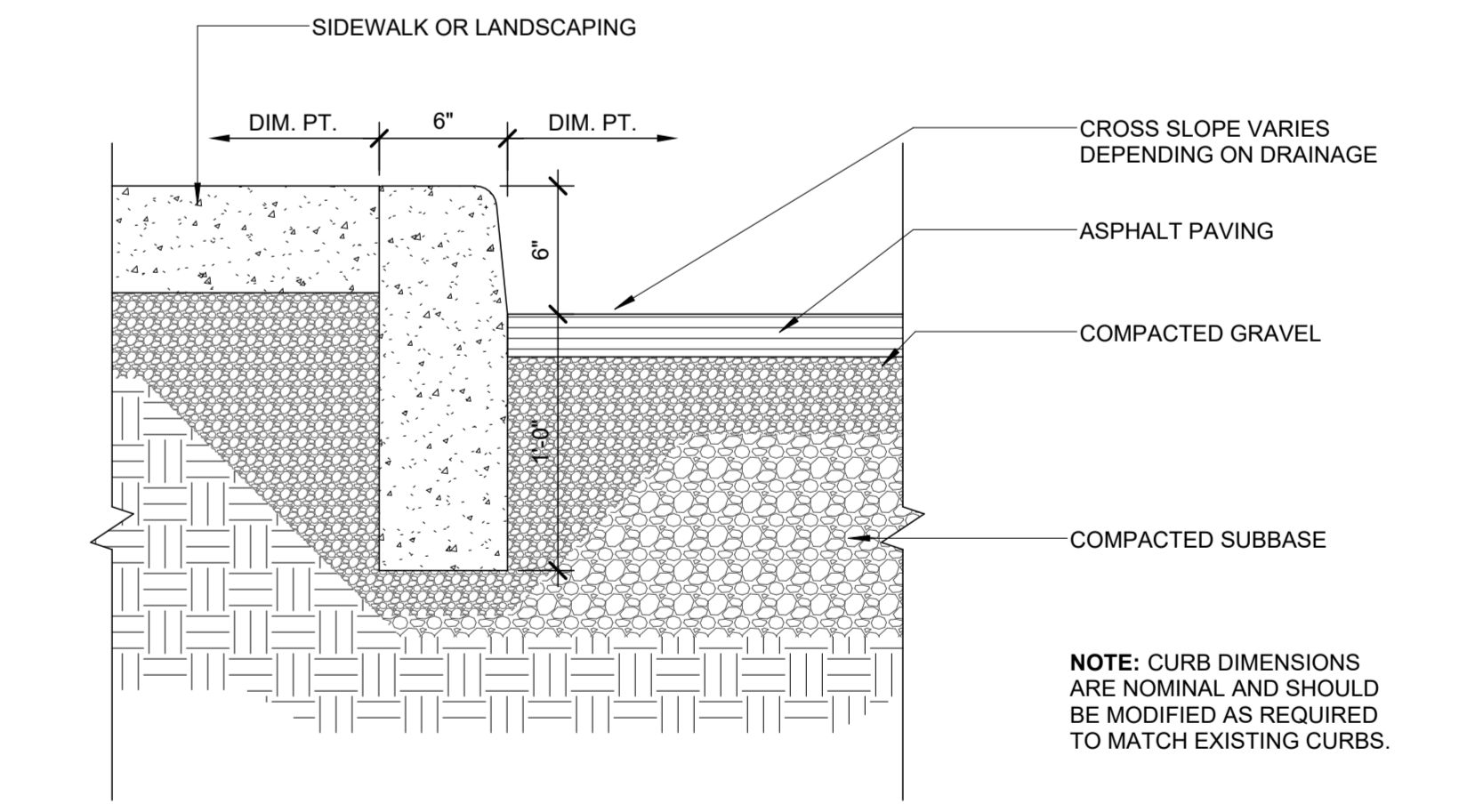
3 TYPICAL CONCRETE JOINTS

1 1/2" = 1'-0"



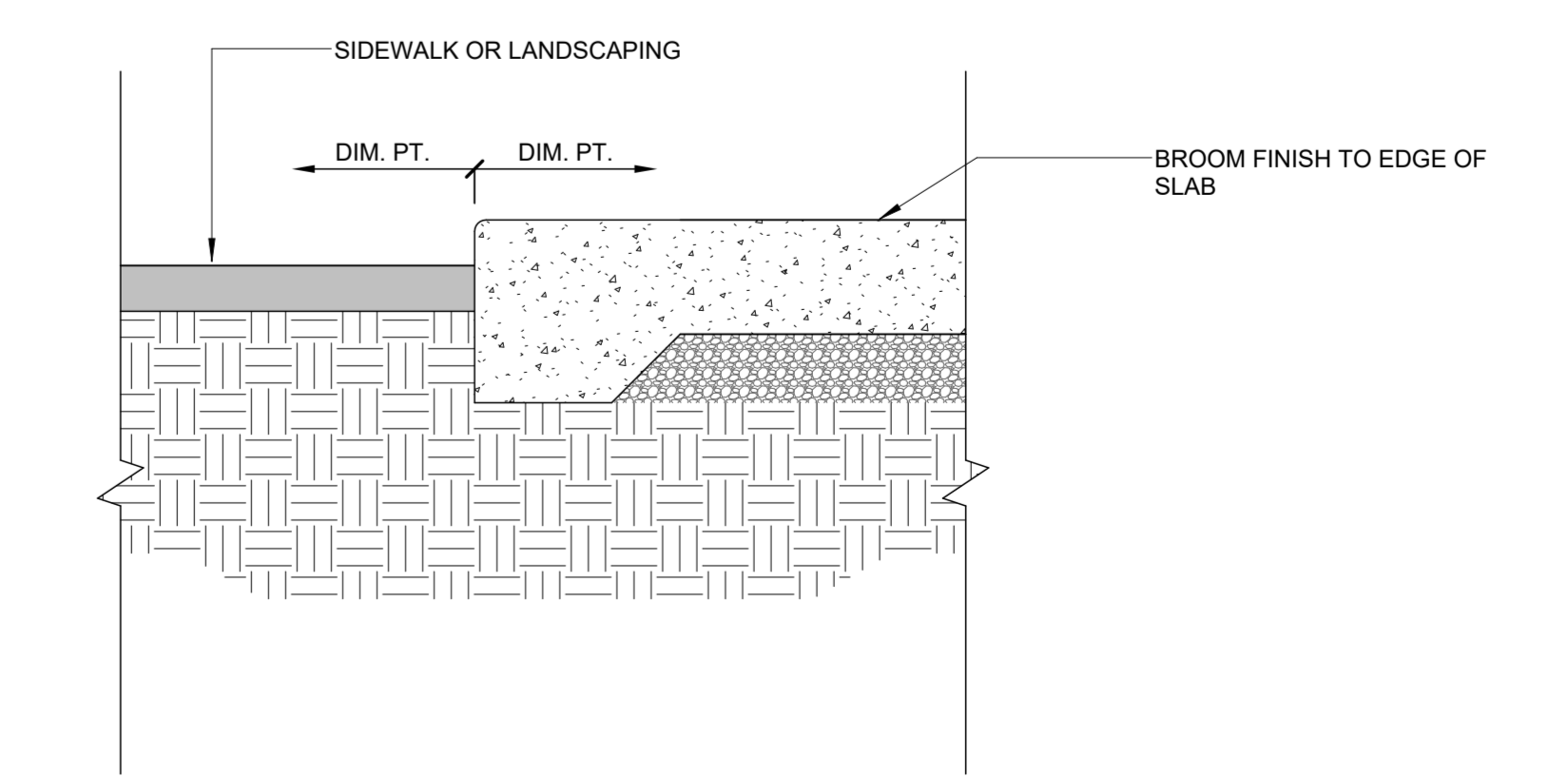
4 REPAIRED OR RE-SLOPED CONCRETE SURFACES

1 1/2" = 1'-0"



5 TYPICAL CONCRETE CURB

1 1/2" = 1'-0"



6 TYPICAL TURNED DOWN SLAB AT PLANTING

1 1/2" = 1'-0"

Notice of Extended Payment Provision: The contract will allow the owner to make payment within 30 days after the date a billing or estimate is submitted. Notice of Alternate Billing Cycle: The contract will allow the owner to require the submission of billings or estimates in billing cycles other than 30-day cycles. Billings or estimates for the contract shall be submitted as follows: Each calendar month ending on the last day of the applicable month. REVISIONS.

DATE
07/24/2024

PROJECT NUMBER
20237107

SCALE
As indicated

SHEET TITLE
TYPICAL PAVING
DETAILS