



Community Planning and Development

555 Liberty St. SE / Room 305 • Salem, OR 97301-3503 • 503-588-6173 • www.cityofsalem.net

July 19, 2024

LAND USE APPLICATION COMPLETENESS REVIEW

Second Review Comments

Subject Property: 1105 Front Street NE

Reference Nos.: 24-106451-PLN (Class 3 Site Plan Review, Tentative Subdivision Plan, Class 1 & 2 Adjustment, Class 2 Driveway Approach Permit)

Applicant: Trent Michels
The Future of Neighborhood Development, LLC
Phone:
E-Mail: trent.michels@gmail.com

Agent: Grace Wolff
AKS Engineering & Forestry, LLC
3700 River Road N
Keizer, OR 97303
Phone: 503-400-6028
E-Mail: wolffg@aks-eng.com

The Planning Division has conducted its review of the revised application materials submitted for the proposed Class 3 Site Plan Review, Tentative Subdivision Plan, Class 1 and 2 Adjustment, and Class 2 Driveway Approach Permit for property located at 1105 Front Street NE. In order to deem the application complete and to continue processing the application, modifications/and or additional information is needed to address the following item(s):

Item:	Description:
Approved Subdivision Name	A copy of the required <i>Marion County Subdivision/Condominium Name Request Form</i> was submitted but the form does not include the approval of the Marion County Surveyor. A copy of the completed form with Marion County Surveyor's approval is needed.
Additional Comments on Plans	Please see the additional staff comments included on the attached plans.
<u>Development Services Comments</u>	
<i>Submittal Requirements - The following items have been identified as required material to be provided by the applicant prior to deeming the application "complete".</i>	
Willamette Greenway Permit Submittal Requirements	As identified in the Supplemental Completeness Letter dated April 22, 2024, a Class 2 Willamette Greenway Permit is required and the applicant has not submitted the required items for the Willamette Greenway Permit. Please provide the following additional information: SRC 600.015(d)(5) : A report by a certified engineering geologist or geotechnical engineer demonstrating that the standards specified in SRC 600.025(a)(2) have been met.

Item:	Description:
	<ul style="list-style-type: none"> ▪ The applicants geotechnical report submitted does not specifically address SRC 600.025(a)(2). Please modify the report or provide a memorandum addressing the development standard. <p>SRC 600.015(d)(6): A report by a registered professional engineer detailing the hydraulic and flood carrying capacity of the river.</p> <ul style="list-style-type: none"> ▪ The applicant's Engineer shall submit a memorandum describing the minimum impact to the flood capacity of the river in order to meet this submittal requirement in lieu of a hydraulic analysis.
<p><i>Items of Concern</i> - The following items are not listed in the SRC as specific requirements for a complete application; however, are advisories that address areas of concern on the application. Failure to address advisory comments could result in condition of approval or denial of the application(s).</p>	
<p>Stormwater Management – Design Exceptions</p>	<p>The applicant has met their minimum submittal requirement relating to stormwater management; however, the proposal includes an intention to apply for Design Exceptions for water quality facility depth. The applicant is advised that if the Design Exceptions(s) are not approved, modifications to the site plan may be required.</p>
<p>Street Tree Plan</p>	<p>Phase 1 of the proposed development has approximately 900-feet of frontage along Front Street NE and includes three (3) street trees on the landscaping plan, one of which conflicts with a fire hydrant. The applicant is advised that additional street trees along Front Street NE are required. The applicant should explore ways to accommodate additional trees along the frontage. The applicant should explore the use of tree wells along the property frontage. Please review the standards listed in PWDS 6.34(e)(4).</p>
<p>Alternative Street Standard</p>	<p>Front Street NE requires an Alternative Street Standard to allow a modified cross section. The final Front Street improvements will be subject to Railroad requirements after the Railroad Diagnostic Review scheduled for July 16, 2024. Final Front Street improvement requirements will be established in the written railroad diagnostic provided after the on-site meeting.</p>
<p>Public Utility Easements</p>	<p>SRC 803.035(n) requires a 10-foot public utility easement along all street frontages to accommodate Franchise Utility Companies. It appears the applicant is not proposing any PUEs along Front Street NE. The applicant is advised to submit an alternative PUE plan that can be included in the request for comments to the Utilities providers. If a PUE is requested by a franchise utility company, it may be a condition of approval, which would require modifications to the building layout.</p>
<p>Driveway Approach Standard Detail</p>	<p>The applicant's plans show the driveway approaches to Front Street NE utilizing PWDS Standard Plan No. 315 where PWDS Standard Plan No. 302 is required. Conditions of approval for the Driveway Approach Permits will require the driveway approaches be constructed to the appropriate PWDS standard plan.</p>

Your application, which is incomplete, will be deemed complete upon receipt of one of the following:

- 1) All of the missing information;
- 2) Some of the missing information and written notice from you (the applicant) that no other information will be provided; or

- 3) Written notice from you (the applicant) that none of the missing information will be provided.

You have 180 days from the date the application was first submitted to respond in one of the three ways listed above, or the application will be deemed void.

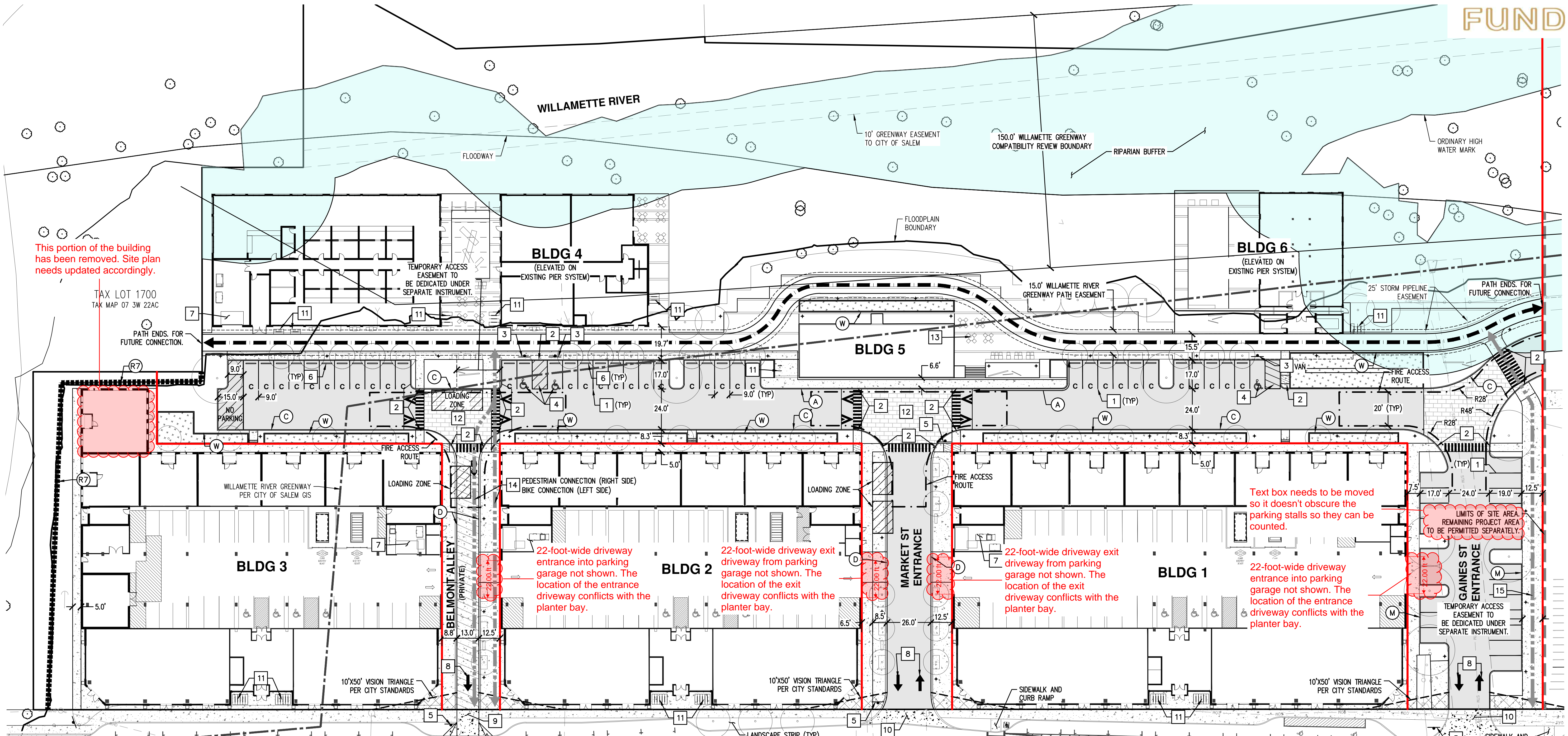
For questions regarding any of the above requirements, please feel free to contact me directly by calling (503) 540-2399 or via e-mail at bbishop@cityofsalem.net.

The Salem Revised Code may be accessed online at the following location:

<https://www.cityofsalem.net/government/laws-rules/salem-revised-code>

Sincerely,

Bryce Bishop
Planner III



This portion of the building has been removed. Site plan needs updated accordingly.

TAX LOT 1700
TAX MAP 07 3W 22AC

Text box needs to be moved so it doesn't obscure the parking stalls so they can be counted.

22-foot-wide driveway entrance into parking garage not shown. The location of the entrance driveway conflicts with the planter bay.

22-foot-wide driveway exit driveway from parking garage not shown. The location of the exit driveway conflicts with the planter bay.

22-foot-wide driveway exit driveway from parking garage not shown. The location of the exit driveway conflicts with the planter bay.

22-foot-wide driveway entrance into parking garage not shown. The location of the entrance driveway conflicts with the planter bay.

LIMITS OF SITE AREA. REMAINING PROJECT AREA TO BE PERMITTED SEPARATELY.

CURB KEYED NOTES: [TR]

- (A) TYPE 'A' CURB AND GUTTER
- (C) TYPE 'C' CURB
- (D) TYPE 'D' MOUNTABLE CURB
- (M) MONOLITHIC CURB AND SIDEWALK
- (W) PLANTER WALL
- (R7) EXISTING RETAINING WALL. STRUCTURAL IMPROVEMENTS REQUIRED TO BE DETERMINED AT TIME OF BUILDING PERMIT

SITE KEYED NOTES: [#]

- 1. PAINT 4-INCH WIDE WHITE STRIPE PER CITY STANDARDS.
- 2. ACCESSIBLE CURB RAMP AND DETECTABLE WARNING SURFACE.
- 3. ACCESSIBLE PARKING SIGN. "VAN" INDICATES VAN ACCESSIBLE SIGN.
- 4. ACCESSIBLE PARKING STALLS AND AISLE STRIPING.
- 5. INSTALL 30"x30" STOP SIGN AND STOP BAR. (36"x36" WHEN ENTERING PUBLIC ROW)
- 6. CONCRETE WHEEL STOP.
- 7. TRASH ENCLOSURE. SEE ARCHITECTURAL PLANS FOR DETAILS.
- 8. DIRECTIONAL ARROW STRIPE.
- 9. COMMERCIAL DRIVEWAY APPROACH PER CITY DETAIL NO.302.
- 10. COMMERCIAL DRIVEWAY APPROACH PER CITY DETAIL NO.315.
- 11. BIKE RACK, SEE ARCHITECTURAL PLANS FOR DETAILS.
- 12. RAISED SPEED TABLE PEDESTRIAN CROSSING.
- 13. OUTDOOR SEATING. SEE LANDSCAPE PLANS FOR DETAILS.
- 14. SHARED ACCESS FROM WILLAMETTE GREENWAY PATH TO FRONT STREET. EASEMENT TO BE QUITCLAIMED UPON CONSTRUCTION OF PATH TO THE SOUTH.
- 15. SHARED ACCESS FROM WILLAMETTE GREENWAY PATH TO FRONT STREET. EASEMENT TO BE QUITCLAIMED UPON CONSTRUCTION OF PHASE 2 IMPROVEMENTS.

SITE PLAN DATA:

Table with columns for ZONING, SUBJECT PROPERTY AREA, DENSITY, PARKING SUMMARY, and VEHICLE PARKING PROVIDED. Includes handwritten annotations for unit counts and parking spaces.

BICYCLE PARKING REQUIRED:

Table detailing bicycle parking requirements for multi-family, retail, and office spaces, including handwritten annotations for required spaces.

SETBACKS:

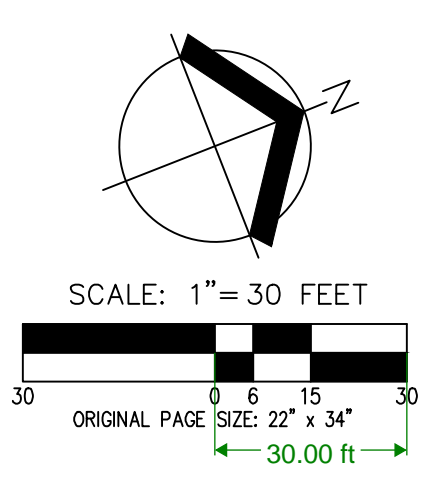
Table detailing setback requirements for buildings, vehicle use area, and side/rear yard buildings.

GENERAL NOTES:

- 1. BUILDINGS 1, 2, AND 3 ARE ON SEPARATE PROPERTIES REFER TO SHEET P4 FOR THE PROPOSED PROPERTY LINES.
- 2. THE FRONT STREET NE IMPROVEMENTS SHOWN ARE PRELIMINARY AND BASED ON CONCEPTUAL DESIGN WORK PROVIDED BY THE CITY'S RETAINED RAIL ENGINEER. REFINED FRONT STREET NE IMPROVEMENTS ARE ANTICIPATED AND WILL BE CONSTRUCTED IN ACCORDANCE WITH FEEDBACK RECEIVED FROM THE FINAL RAIL DIAGNOSTIC AND COORDINATION WITH THE CITY.

EV READY NOTE:

40% OF PARKING STALLS ARE REQUIRED TO BE EV READY PER STATE REQUIREMENTS. FINAL EV READY STALL LOCATION AND CONDUIT PLACEMENT WILL BE COORDINATED WITH PROJECT ELECTRICIAN AT THE TIME OF BUILDING PERMIT SUBMITTAL.



LEGEND section with symbols for various pavement types, concrete sidewalks, and stormwater facilities.

PRELIMINARY SITE PLAN
THE CANNERY
FUND
SALEM, OREGON

Professional seal and registration information for the engineer, including the name 'D. ROTH' and the date 'RENEWED: DECEMBER 31, 2024'.

WILLAMETTE RIVER

SITE LANDSCAPE DATA

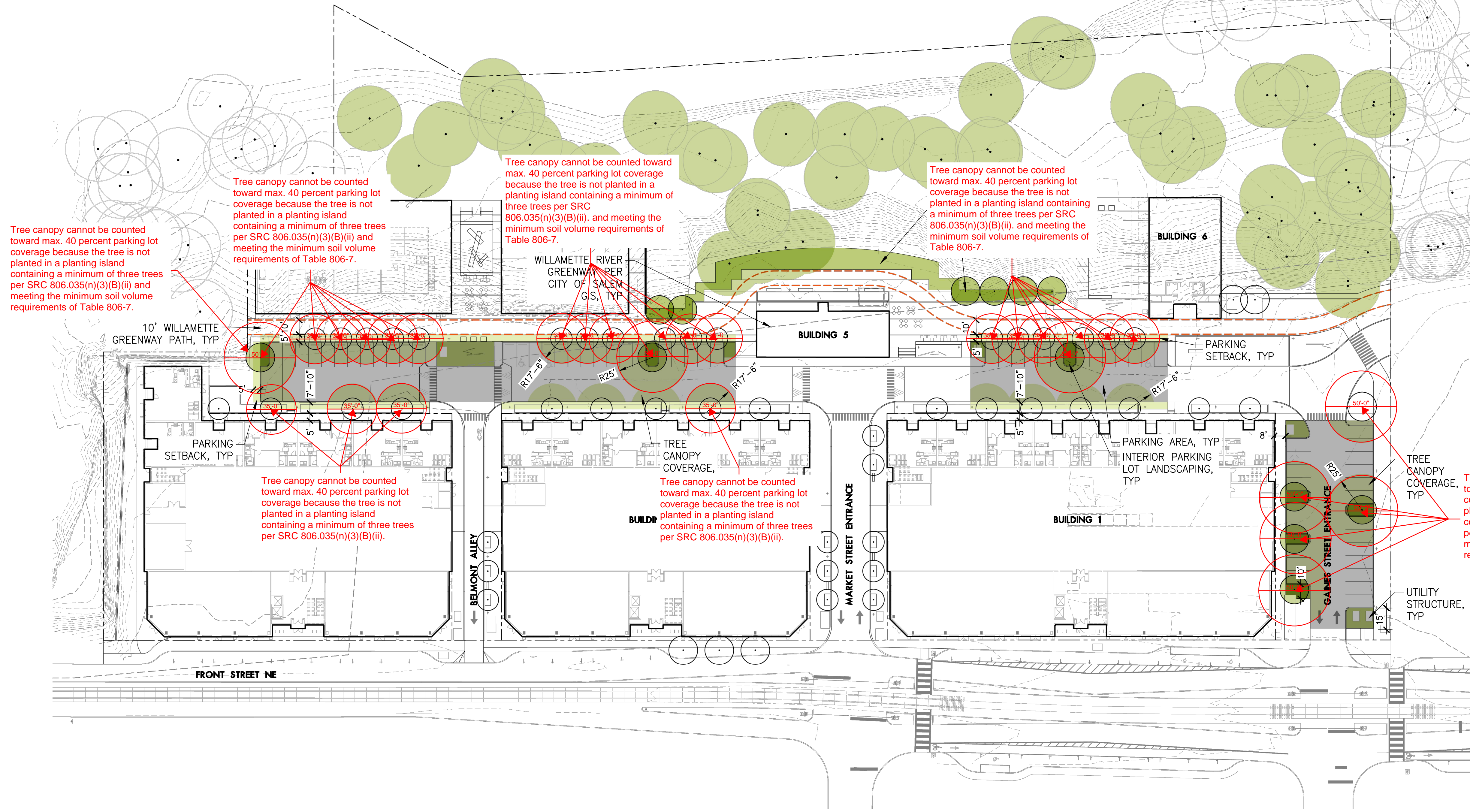
SRC 600.025.B WILLAMETTE RIVER GREENWAY
LANDSCAPING
TOTAL LINEAR FEET OF RIVER FRONTAGE:
894 LF
TREES REQUIRED (1 PER 20LF): 45 TREES
TREES EXISTING: 57 TREES
TREES PROPOSED: 6 TREES
SHRUBS REQUIRED (1 PER 2LF): 447 SHRUBS
SHRUBS PROPOSED: 699 SHRUBS

SRC 806.035.D.2 INTERIOR PARKING LOT
LANDSCAPING
TOTAL PARKING AREA: 28,050 SF
INTERIOR LANDSCAPING REQUIRED:
5.0% (1,403 SF)
INTERIOR LANDSCAPING PROPOSED:
7.3% (2,049 SF)

SRC 806.035.D.3 INTERIOR PARKING LOT TREES
TOTAL PARKING STALLS: 58 STALLS
INTERIOR TREES REQUIRED: 5 TREES
(1 TREE PER 12 STALLS)
INTERIOR TREES PROPOSED: 7 TREES

SRC 806.035.N PARKING LOT TREE CANOPY
TOTAL PARKING AREA: 28,050 SF
REQUIRED TREE CANOPY PERCENTAGE: 40%
REQUIRED TREE CANOPY AREA: 11,220 SF
PROPOSED TREE CANOPY AREA: 15,339 SF
PROPOSED TREE CANOPY PERCENTAGE: 55%

LANDSCAPE ARCHITECTS PC
lango. hansen
1100 nw glisan #3A portland OR 97209 T 503.295.2437



Tree canopy cannot be counted toward max. 40 percent parking lot coverage because the tree is not planted in a planting island containing a minimum of three trees per SRC 806.035(n)(3)(B)(ii) and meeting the minimum soil volume requirements of Table 806-7.

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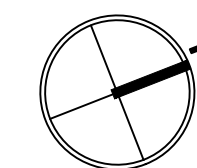
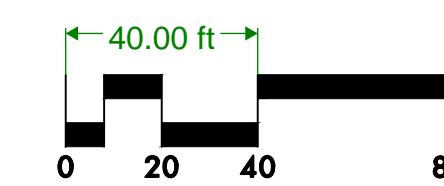
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1 LANDSCAPE LAND USE DIAGRAM

Plan
SCALE: 1" = 40'



THE CANNERY

1105 FRONT ST NE,
SALEM, OR 97301

LAND USE SUBMITTAL
LANDSCAPE LAND USE
DIAGRAM

REVISIONS

SCALE
DRAWN BY
DATE 2024.03.15
PROJECT NO. 2346-SAC

SHEET

L104

Red Alder is not a species of tree identified in the table of approved trees for planting in parking lots to achieve required tree canopy coverage per SRC 806.035(n)(3)(A)(ii). An alternative species can be approved by providing evidence that the proposed species is native, drought resistant, and will provide a tree canopy area equal to that of either a large tree or small tree as specified in TABLE 806-7.

Quaking Aspen is not a species of tree identified in the table of approved trees for planting in parking lots to achieve required tree canopy coverage per SRC 806.035(n)(3)(A)(ii). An alternative species can be approved by providing evidence that the proposed species is native, drought resistant, and will provide a tree canopy area equal to that of either a large tree or small tree as specified in TABLE 806-7.

California Black Oak is not a species of tree identified in the table of approved trees for planting in parking lots to achieve required tree canopy coverage per SRC 806.035(n)(3)(A)(ii). An alternative species can be approved by providing evidence that the proposed species is native, drought resistant, and will provide a tree canopy area equal to that of either a large tree or small tree as specified in TABLE 806-7.

PLANT SCHEDULE – ONSITE TREES							
SYMBOL	ABBR	BOTANICAL NAME	COMMON NAME	NATIVE	SIZE/CONDITION	SPACING	QUANTITY
TREES							
	AM	Acer macrophyllum	Big Leaf Maple	YES	3" CAL B&B	AS SHOWN	11
	AR	Alnus rubra	Red Alder	YES	3" CAL B&B (SMALL)	AS SHOWN	16
	PP	Parrotia persica 'Vanessa'	Vanessa Ironwood	NO (STREET TREE)	3" CAL B&B	AS SHOWN	3
	PT	Populus tremuloides	Quaking Aspen	YES	3" CAL B&B (SMALL)	AS SHOWN	25
	QK	Quercus kelloggii	California Black Oak	YES	3" CAL B&B (LARGE)	AS SHOWN	8

PLANT SCHEDULE – ONSITE PLANTINGS							
SYMBOL	ABBR	BOTANICAL NAME	COMMON NAME	NATIVE	SIZE/CONDITION	SPACING	QUANTITY
SHRUBS							
OK	COSE	Cornus sericea 'Arctic Fire'	Arctic Fire Redosier Dogwood	YES	#5/CONT. 6'+HT (MATURE)	AS SHOWN	86
OK	MARE	Mahonia repens	Creeping Oregon Grape	YES	#1/CONT.	AS SHOWN	462
OK	GASH	Gaultheria shallon	Salal	YES	#1/CONT.	AS SHOWN	100
OK	VAOV	Vaccinium ovatum	Evergreen Huckleberry	YES	#5/CONT. 6'+HT (MATURE)	AS SHOWN	505
GROUNDCOVER AND GRASSES							
	ARUV	Arctostaphylos uva-ursi	Kinnikinnick	YES	#1/CONT.	18" O.C.	662
	DECE	Deschampsia cespitosa	Tufted Hairgrass	YES	#3/CONT.	AS SHOWN	130
	FRCH	Fragaria chiloensis	Coast Strawberry	YES	#1/CONT.	18" O.C.	2369
	HEMI	Heuchera micrantha	Smallflowered Alumroot	YES	#1/CONT.	AS SHOWN	159
STORMWATER PLANTINGS – 5,233 SF							
	CADE	Carex densa	Dense Sedge	YES	#1/CONT.	12" O.C.	
	DECE	Deschampsia cespitosa	Tufted Hair Grass	YES	#1/CONT.	12" O.C.	
	JUPA	Juncus patens	Spreading Rush	YES	#1/CONT.	12" O.C.	

268' - 8"

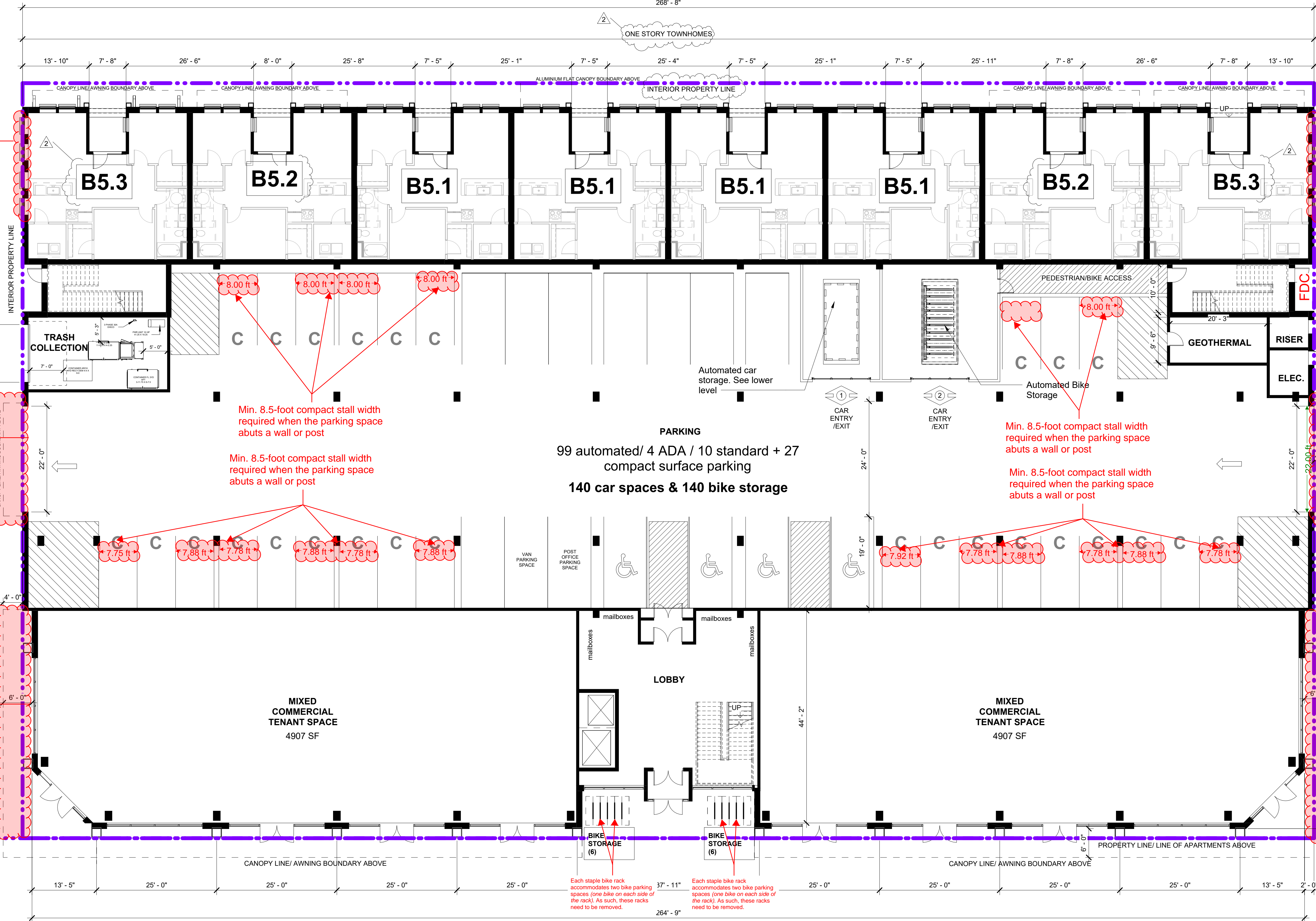
ONE STORY TOWNHOMES

It appears that portions of the building project over the property line. Confirmation required if this will be allowed under the building code.

If so, an easement will be required.

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Canopy projects across property line. Confirmation required if this will be allowed under the building code.

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Min. 8.5-foot compact stall width required when the parking space abuts a wall or post

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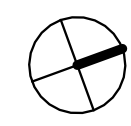
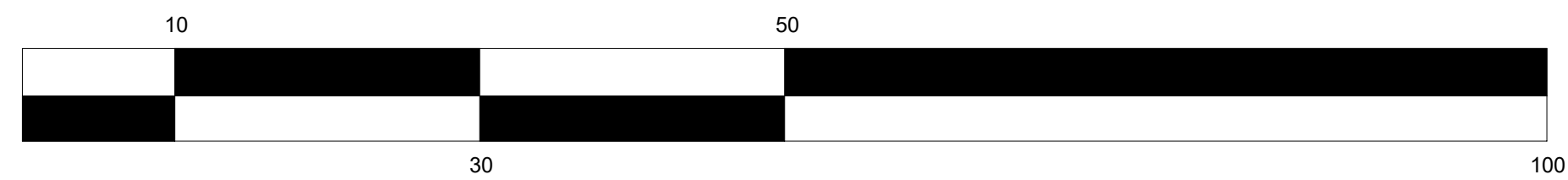
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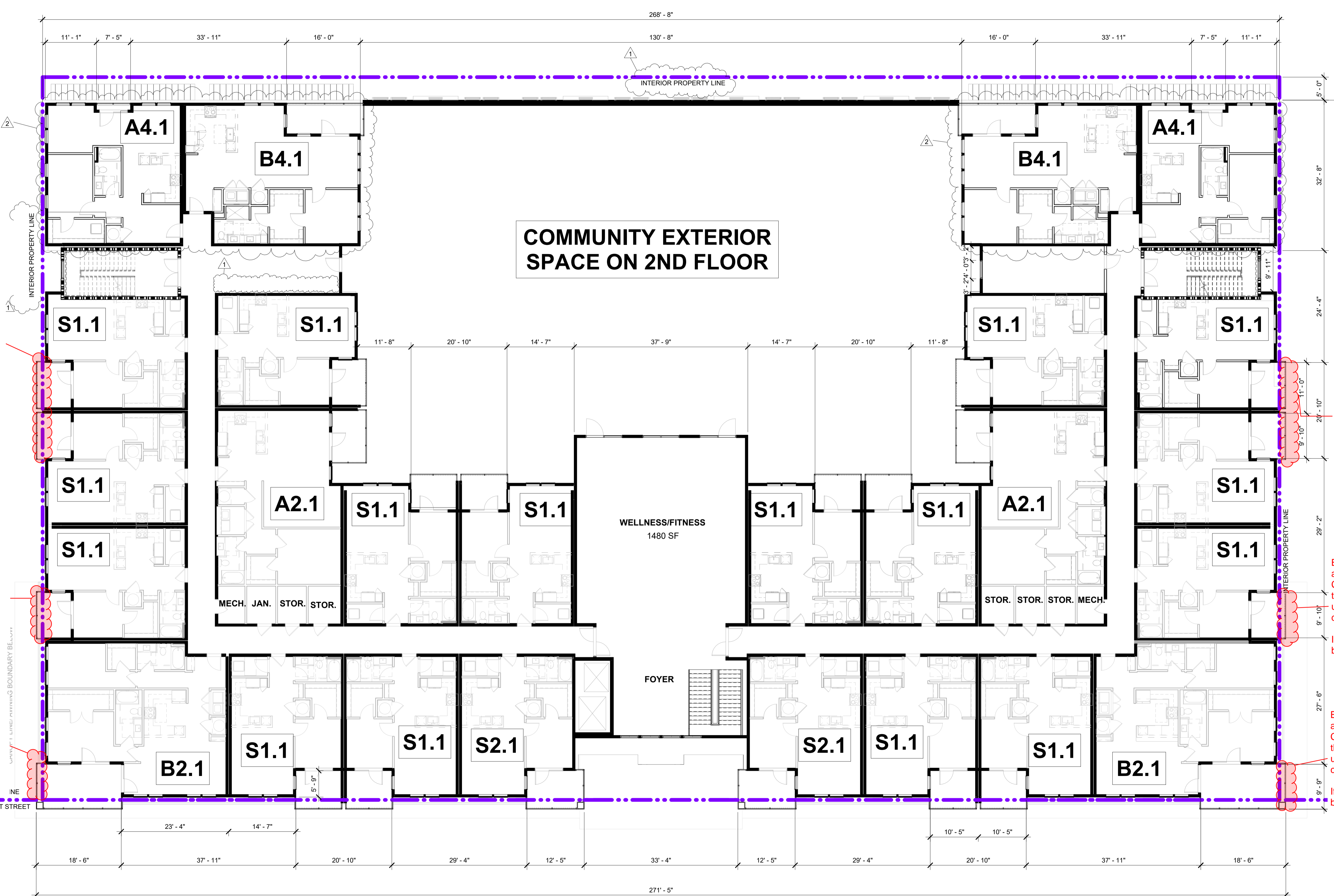
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Each staple bike rack accommodates two bike parking spaces (one bike on each side of the rack). As such, these racks need to be removed.



#	REVISION	DATE
1	Revision 1	05/07/2024
2	Unit Changes	06/19/2024



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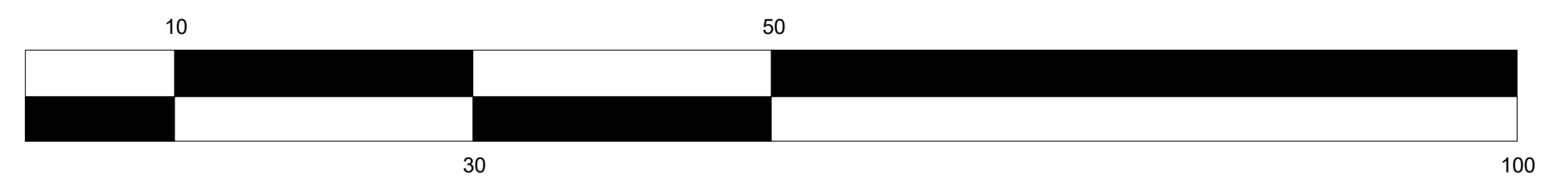
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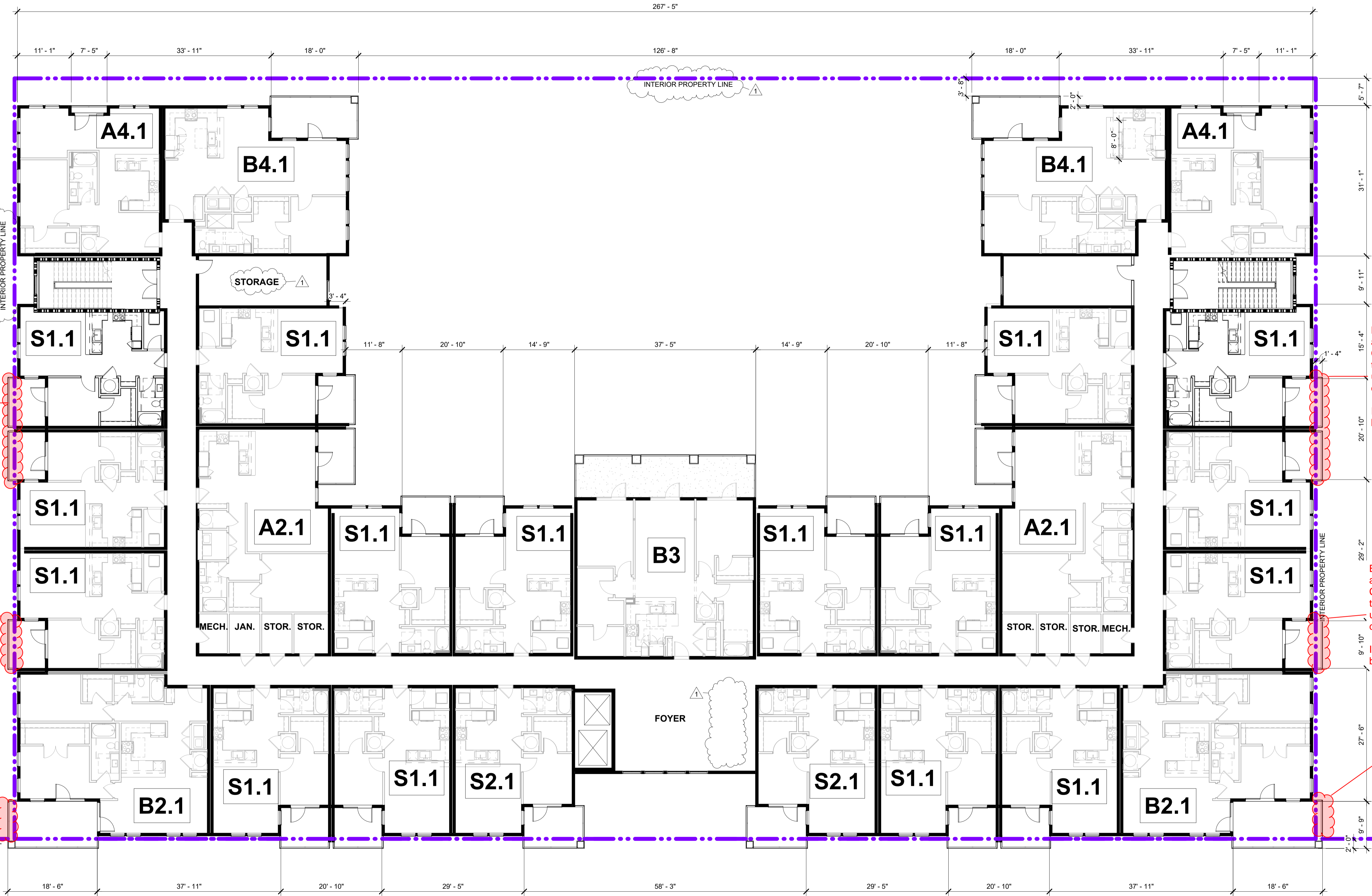
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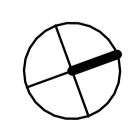
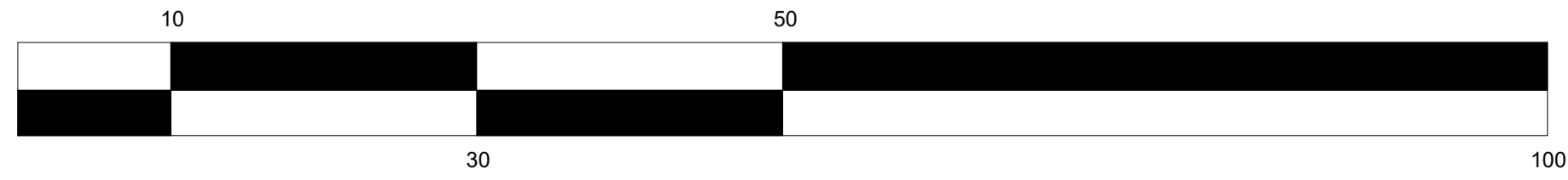
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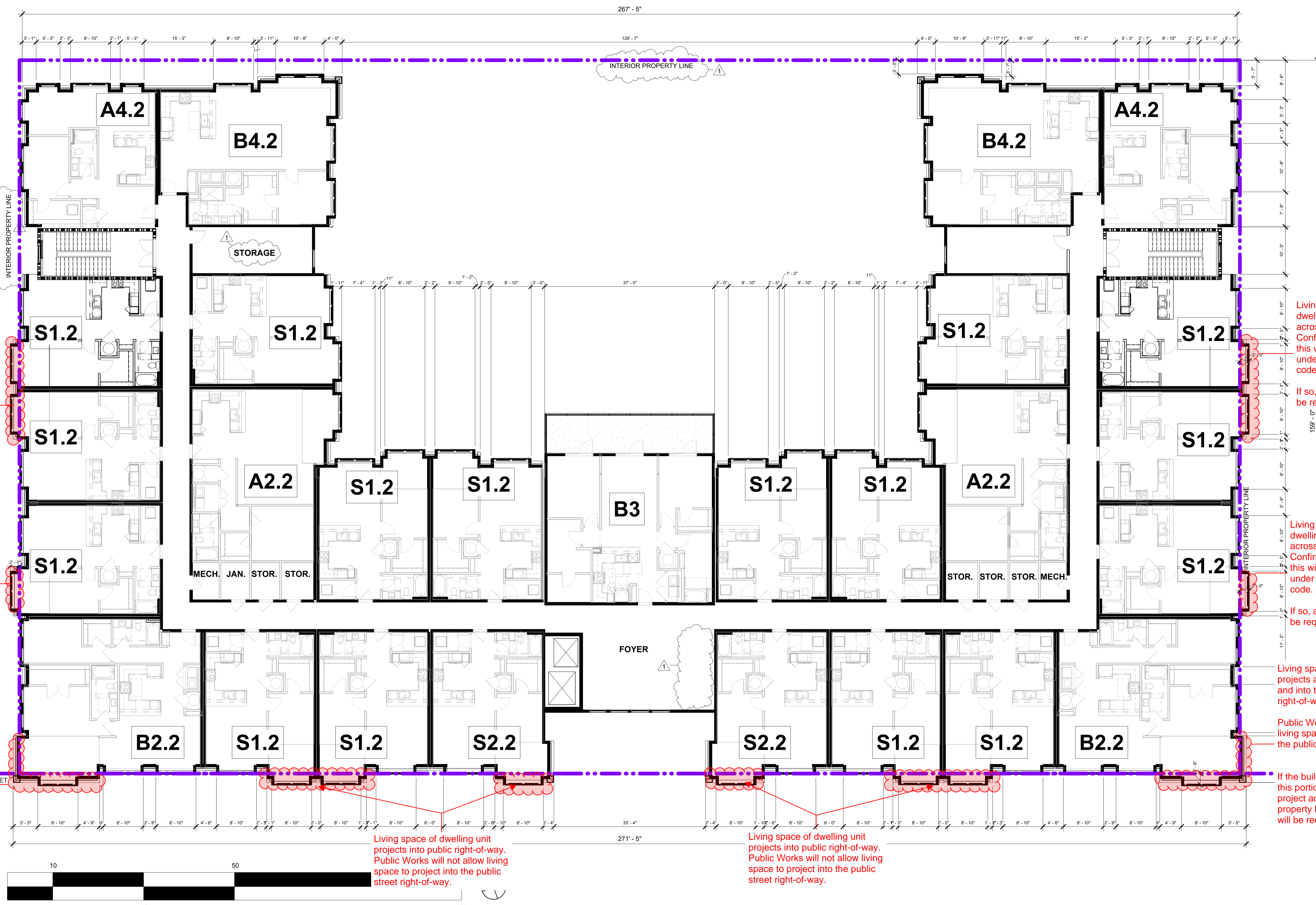
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1	Revision 1	05/07/2024



Living space of dwelling units project across property line. Confirmation required if this will be allowed under the building code.

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Living space of dwelling unit projects across property line. Confirmation required if this will be allowed under the building code.

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Living space of dwelling unit projects across property line and into the public street right-of-way.

Public Works will not allow living space to project into the public street right-of-way.

If the building code will allow this portion of the building to project across the south property line, an easement will be required.

Living space of dwelling unit projects into public right-of-way. Public Works will not allow living space to project into the public street right-of-way.

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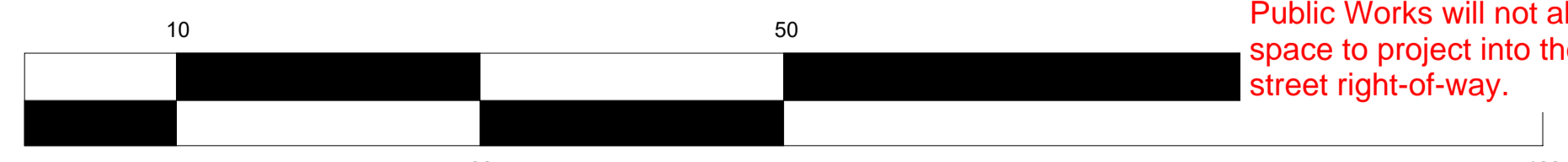
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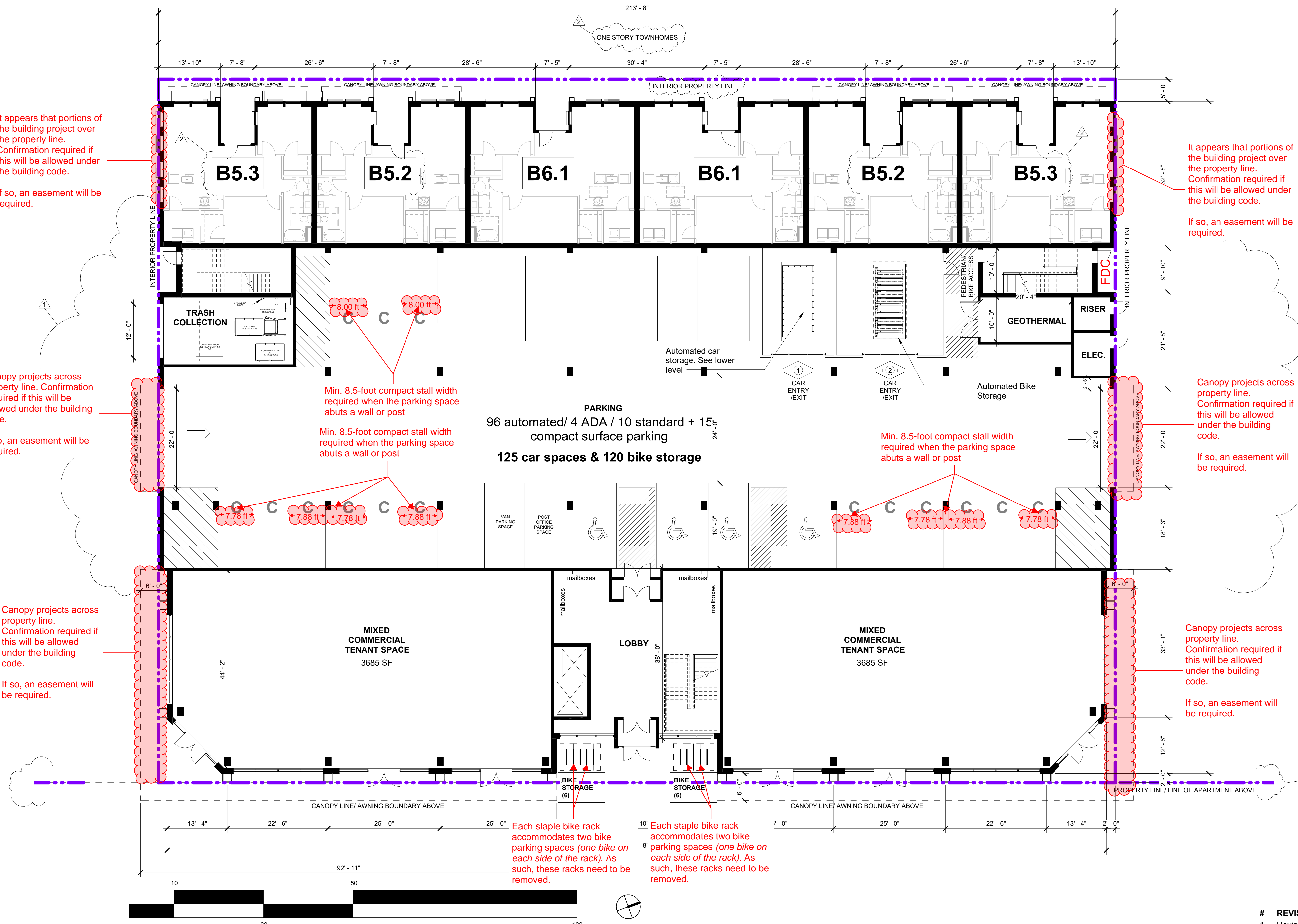
Living space of dwelling unit projects across property line and into the public street right-of-way.

Public Works will not allow living space to project into the public street right-of-way.

If the building code will allow this portion of the building to project across the north property line, an easement will be required.



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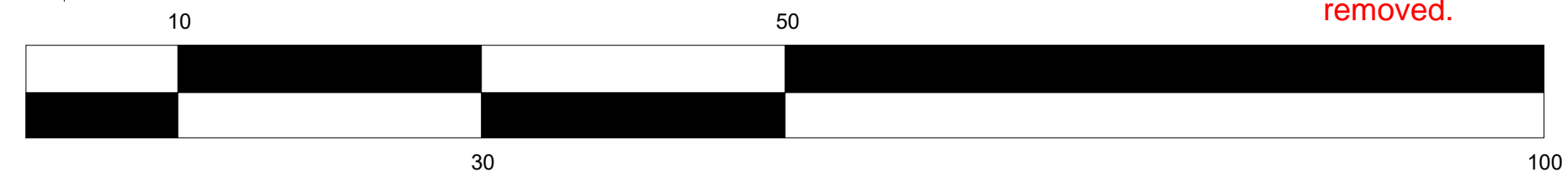
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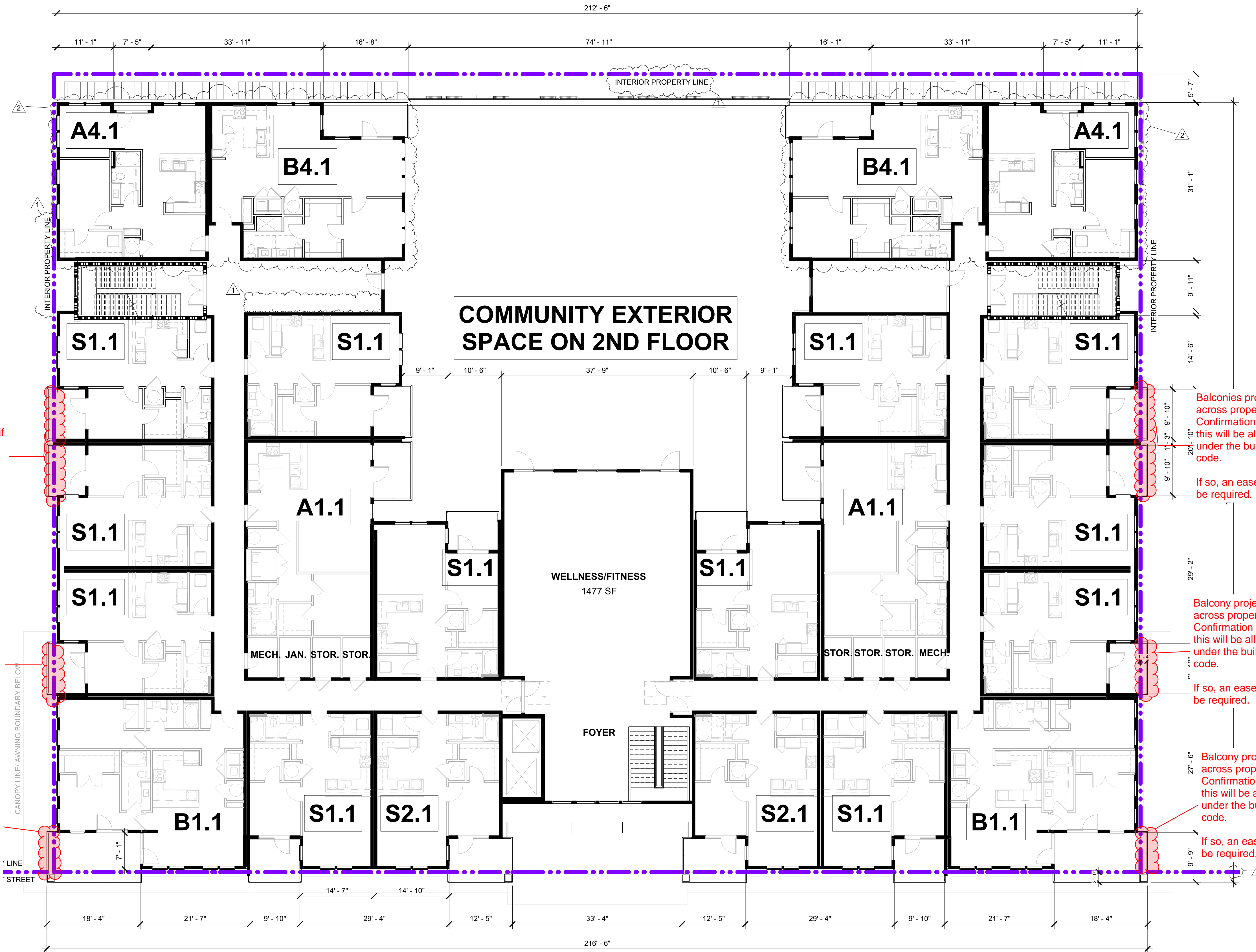
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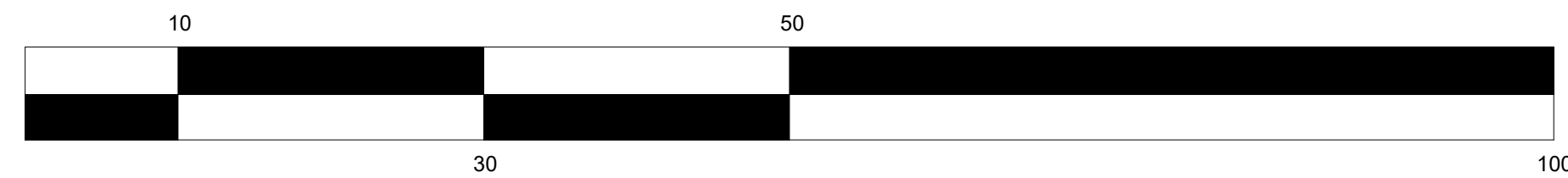
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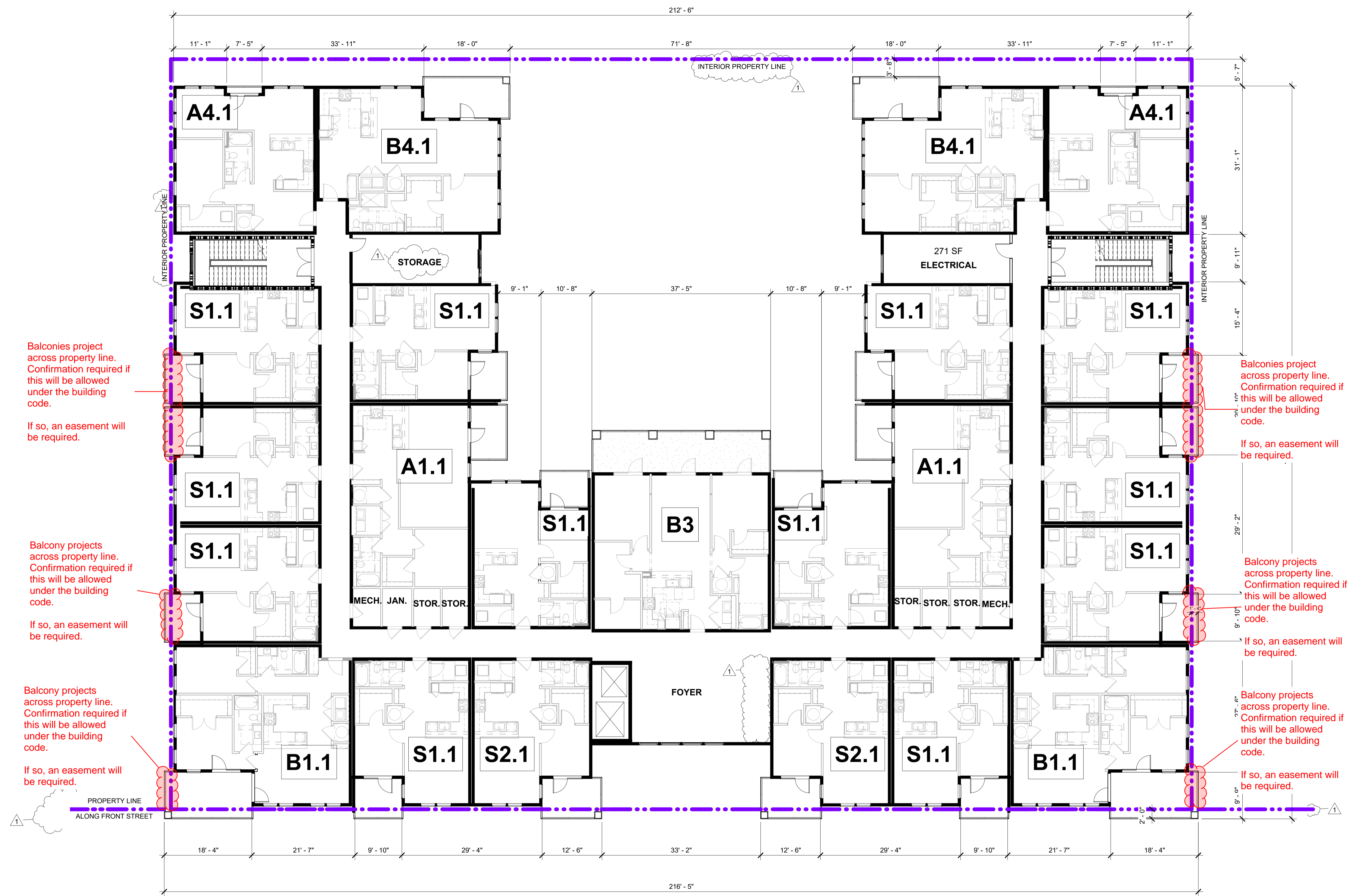
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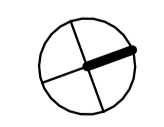
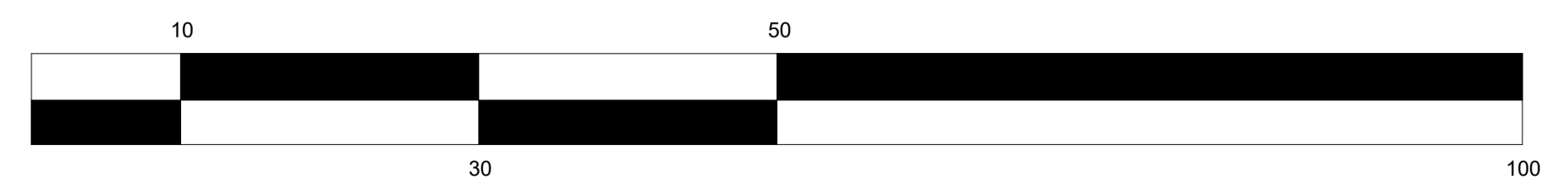
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If so, an easement will be required.

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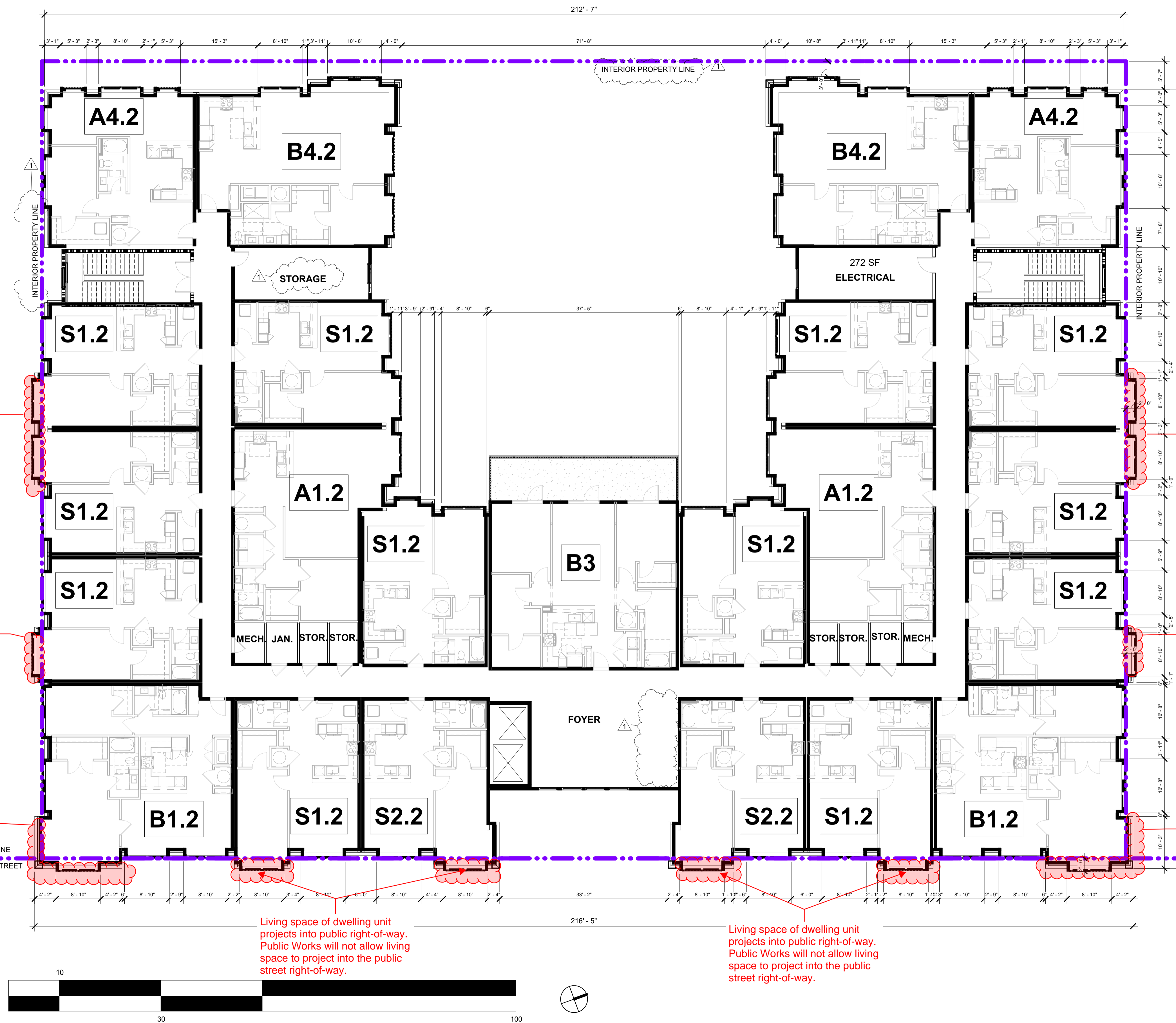
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#	REVISION	DATE
1	Revision 1	05/07/2024



Living space of dwelling units project across property line. Confirmation required if this will be allowed under the building code.
If so, an easement will be required.

Living space of dwelling unit projects across property line. Confirmation required if this will be allowed under the building code.
If so, an easement will be required.

Living space of dwelling unit projects across property line and into the public street right-of-way.
Public Works will not allow living space to project into the public street right-of-way.
If the building code will allow this portion of the building to project across the south property line, an easement will be required.

Living space of dwelling unit projects into public right-of-way. Public Works will not allow living space to project into the public street right-of-way.

Living space of dwelling unit projects into public right-of-way. Public Works will not allow living space to project into the public street right-of-way.

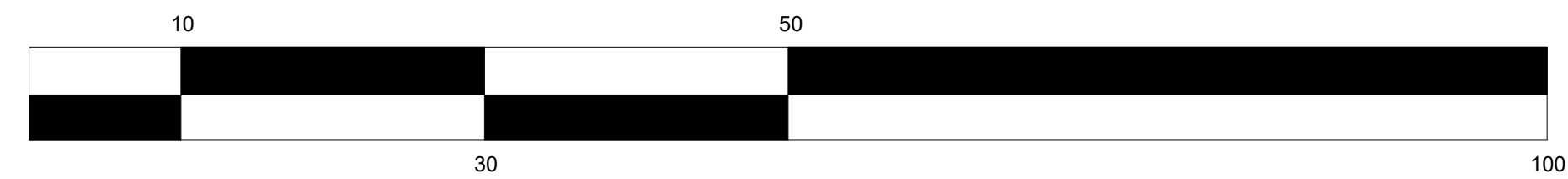
Living space of dwelling units project across property line. Confirmation required if this will be allowed under the building code.
If so, an easement will be required.

Living space of dwelling unit projects across property line. Confirmation required if this will be allowed under the building code.
If so, an easement will be required.

Living space of dwelling unit projects across property line and into the public street right-of-way.
Public Works will not allow living space to project into the public street right-of-way.
If the building code will allow this portion of the building to project across the north property line, an easement will be required.

INSIGHT ARCHITECTS

#	REVISION	DATE
1	Revision 1	05/07/2024



It appears that portions of the building project over the property line. Confirmation required if this will be allowed under the building code.

If so, an easement will be required.

Canopy projects across property line. Confirmation required if this will be allowed under the building code.

If so, an easement will be required.

Canopy projects across property line. Confirmation required if this will be allowed under the building code.

If so, an easement will be required.

Min. 8.5-foot compact stall width required when the parking space abuts a wall or post

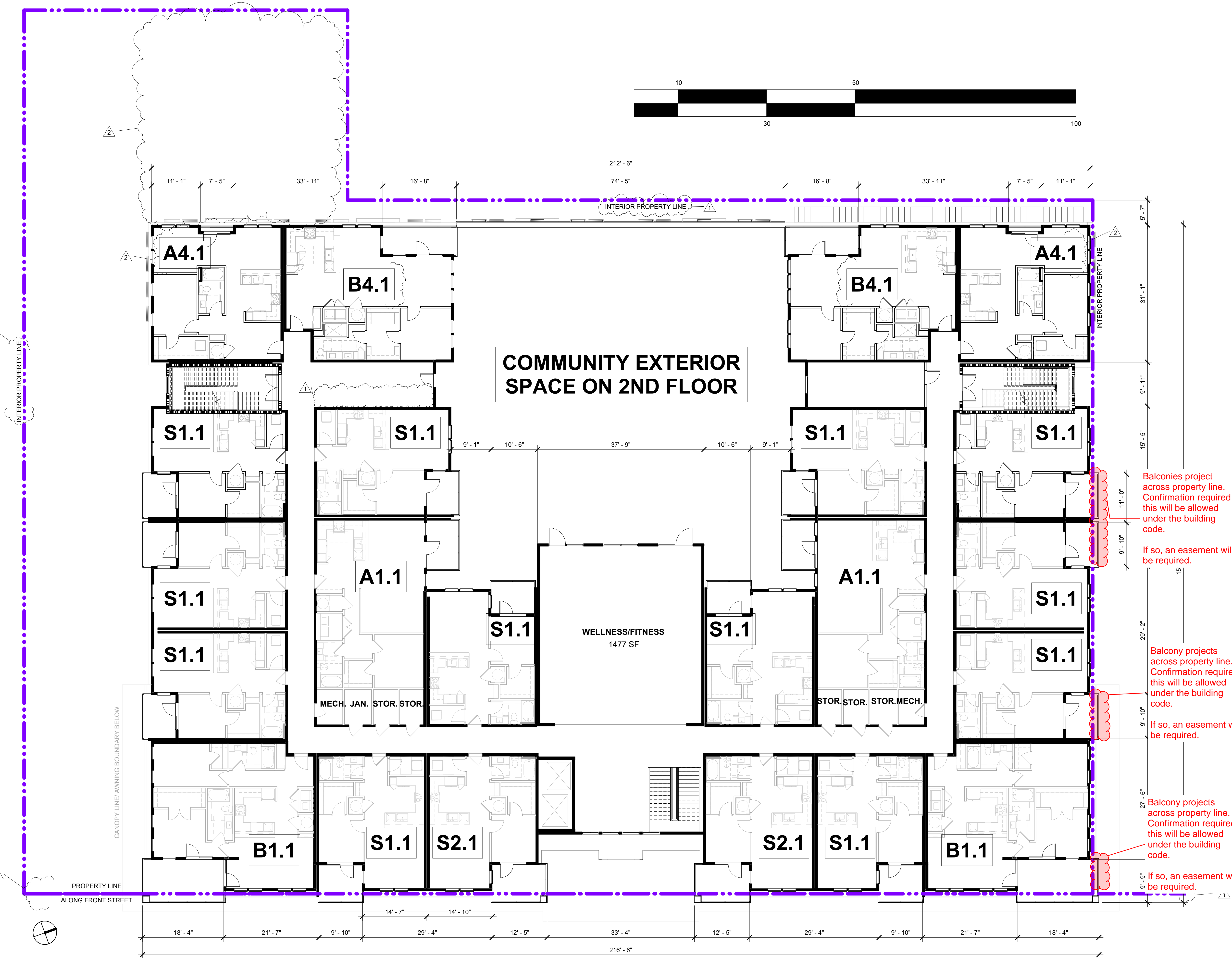
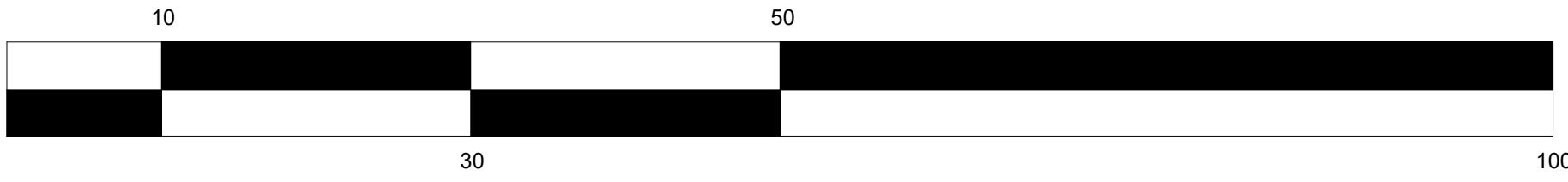
Min. 8.5-foot compact stall width required when the parking space abuts a wall or post

Min. 8.5-foot compact stall width required when the parking space abuts a wall or post

Each staple bike rack accommodates two bike parking spaces (one bike on each side of the rack). As such, these racks need to be removed.

Each staple bike rack accommodates two bike parking spaces (one bike on each side of the rack). As such, these racks need to be removed.

#	REVISION	DATE
1	Revision 1	05/07/2024
2	Unit Changes	06/19/2024



Balconies project across property line. Confirmation required if this will be allowed under the building code.

If so, an easement will be required.

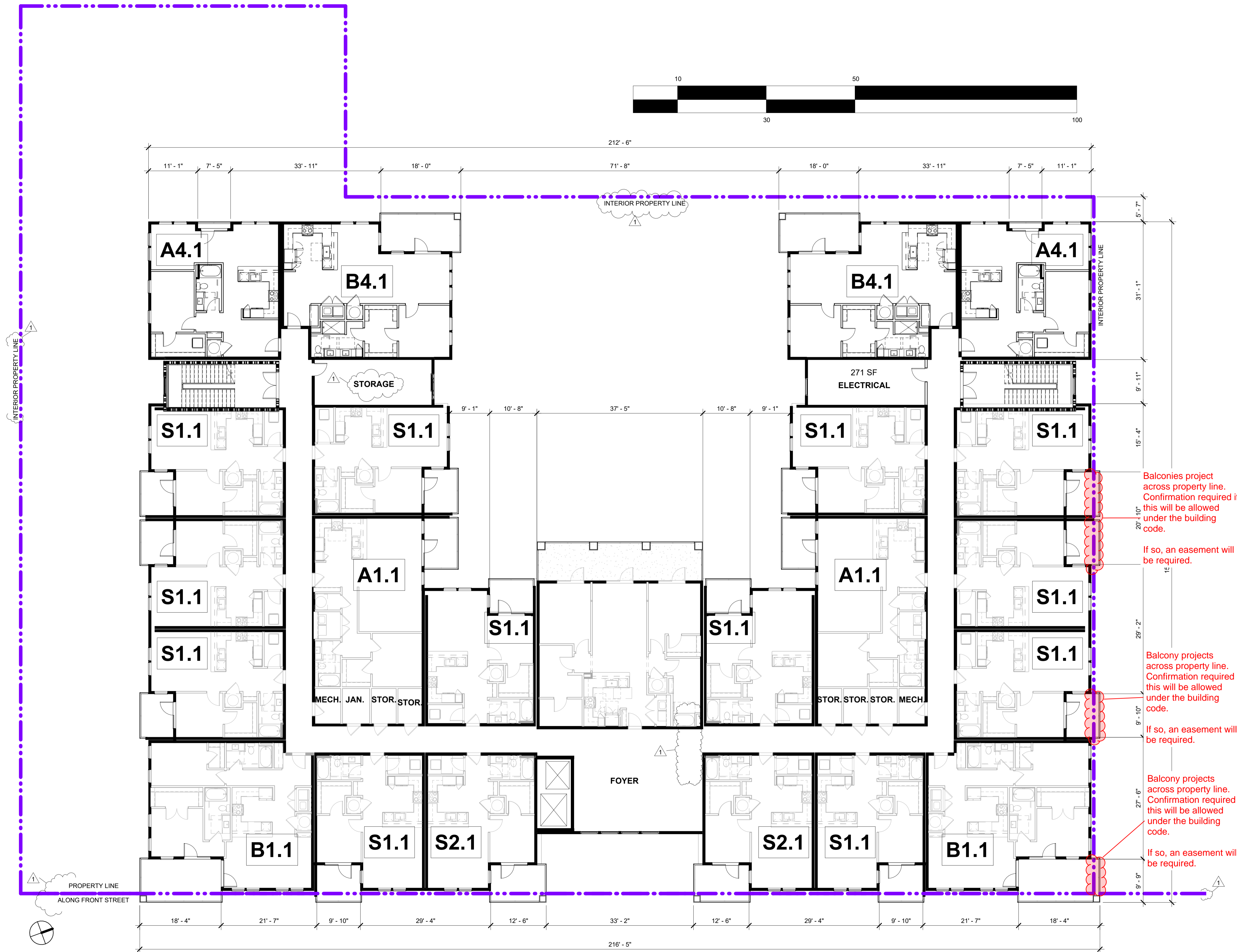
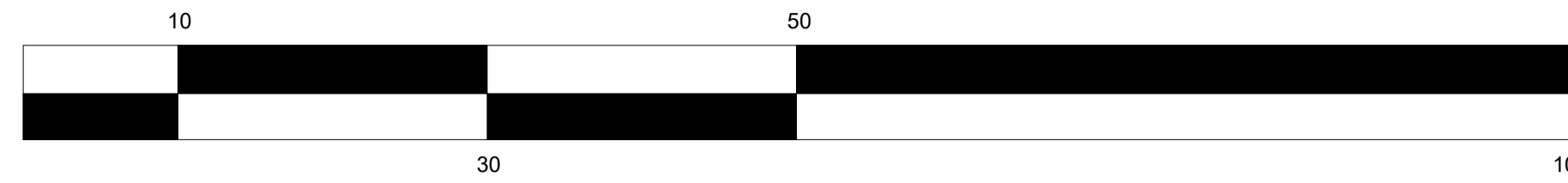
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If so, an easement will be required.

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If so, an easement will be required.

#	REVISION	DATE
1	Revision 1	05/07/2024
2	Unit Changes	06/19/2024



Balconies project across property line. Confirmation required if this will be allowed under the building code.

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Balcony projects across property line. Confirmation required if this will be allowed under the building code.

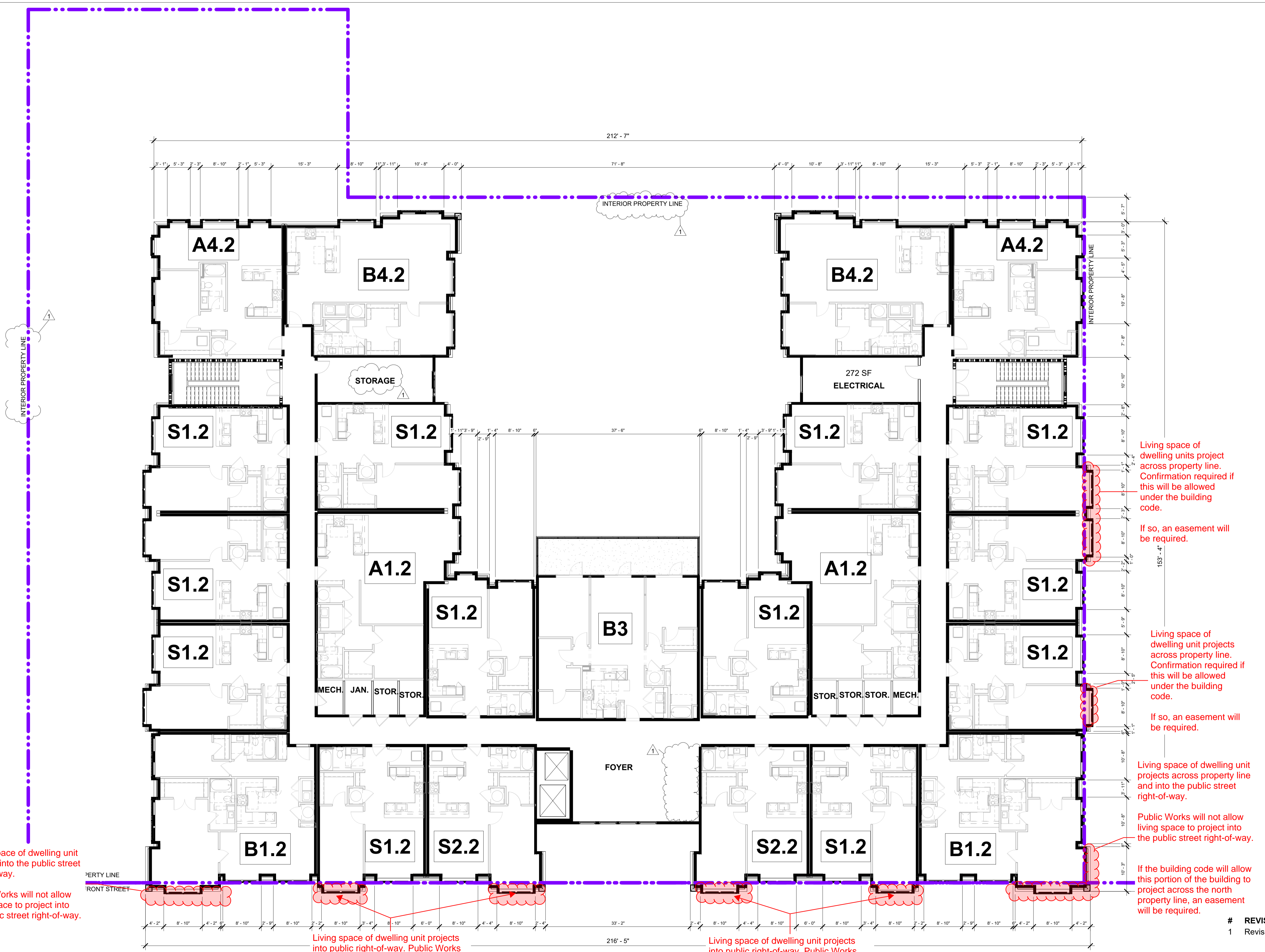
If so, an easement will be required.

Balcony projects across property line. Confirmation required if this will be allowed under the building code.

If so, an easement will be required.

#	REVISION
1	Revision 1

DATE
05/07/2024



Living space of dwelling unit projects into the public street right-of-way.
Public Works will not allow living space to project into the public street right-of-way.

Living space of dwelling units project across property line. Confirmation required if this will be allowed under the building code.
If so, an easement will be required.

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Living space of dwelling unit projects across property line. Confirmation required if this will be allowed under the building code.
If so, an easement will be required.

If so, an easement will be required.

Living space of dwelling unit projects across property line and into the public street right-of-way.

Public Works will not allow living space to project into the public street right-of-way.

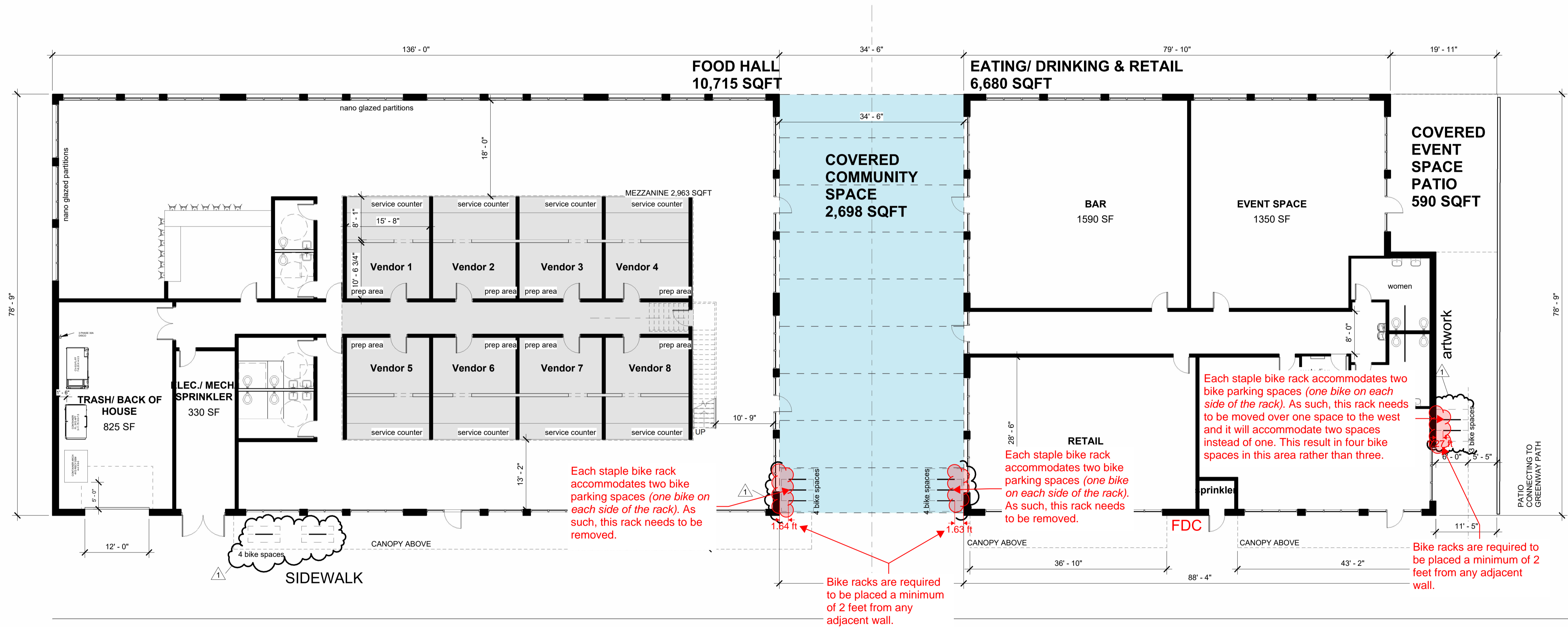
If the building code will allow this portion of the building to project across the north property line, an easement will be required.

Living space of dwelling unit projects into public right-of-way. Public Works will not allow living space to project into the public street right-of-way.

Living space of dwelling unit projects into public right-of-way. Public Works will not allow living space to project into the public street right-of-way.

#	REVISION
1	Revision 1

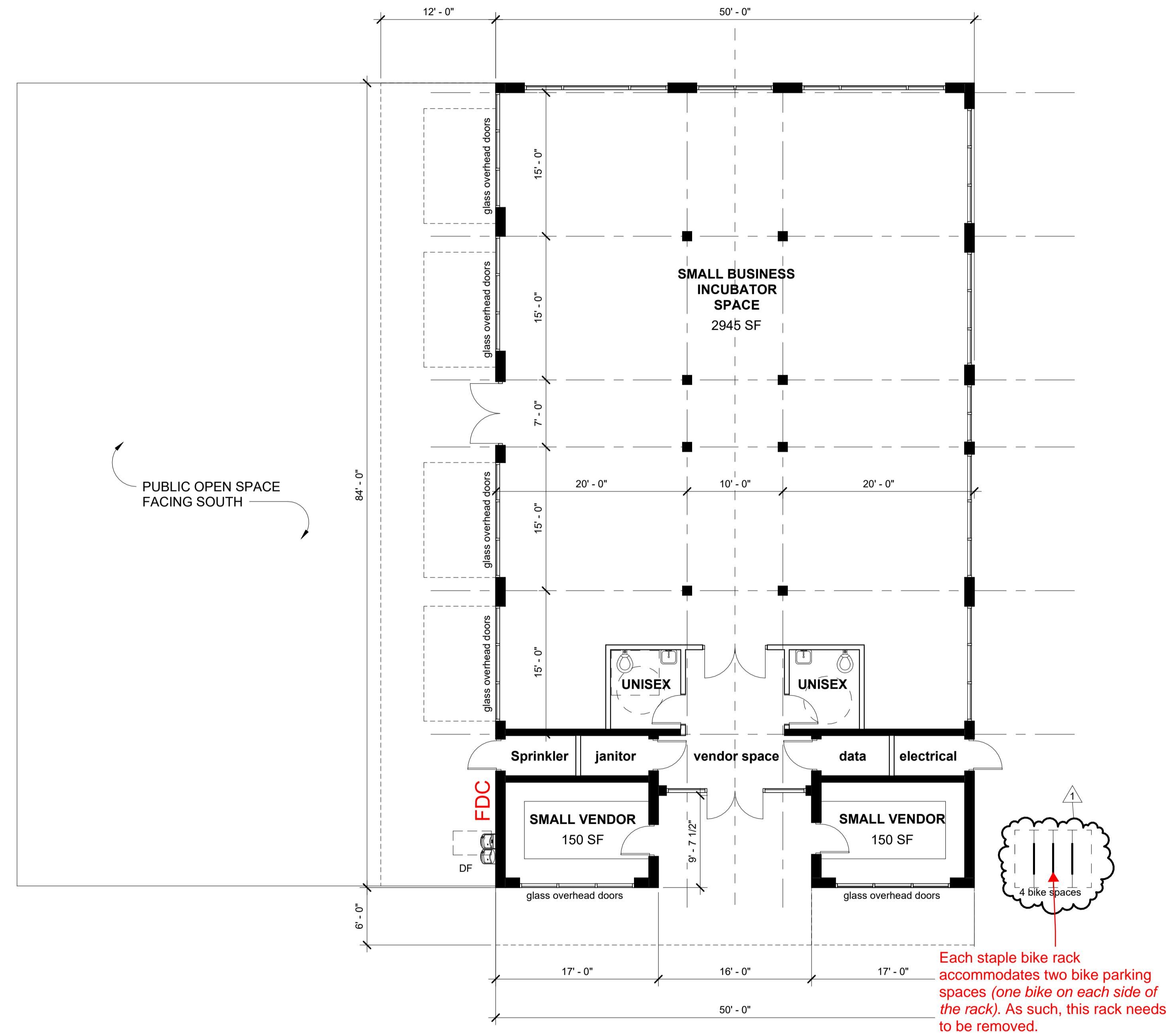
DATE
05/07/2024



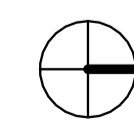
1 FOOD HALL
3/32" = 1'-0"



#	REVISION	DATE
1	Revision 1	05/07/2024



1 1st FLOOR PLAN
 1/8" = 1'-0"



TOTAL BUILDING SQFT 4,200 sf
 COVERED AREA SOUTH 1,008 sf
 TOTAL 5,208 sf

REVISION
 1 Revision 1

DATE
 05/07/2024