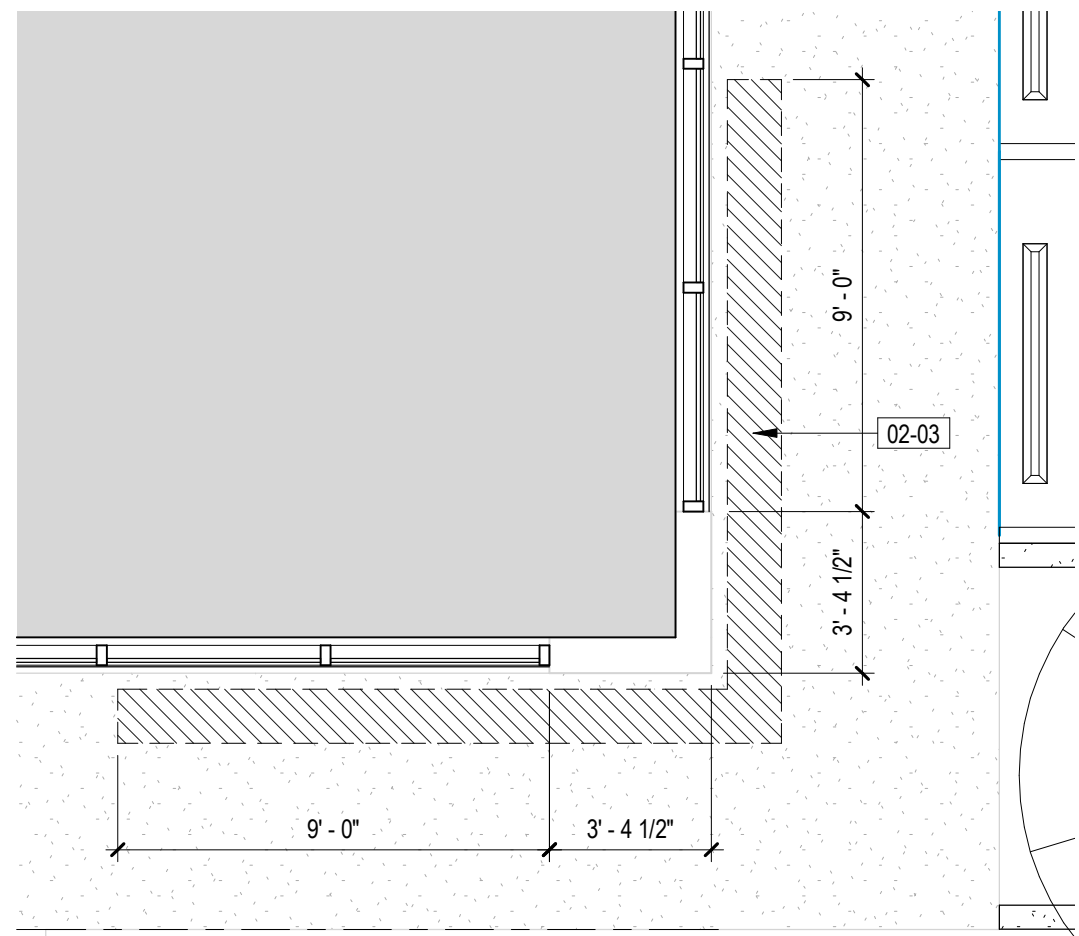
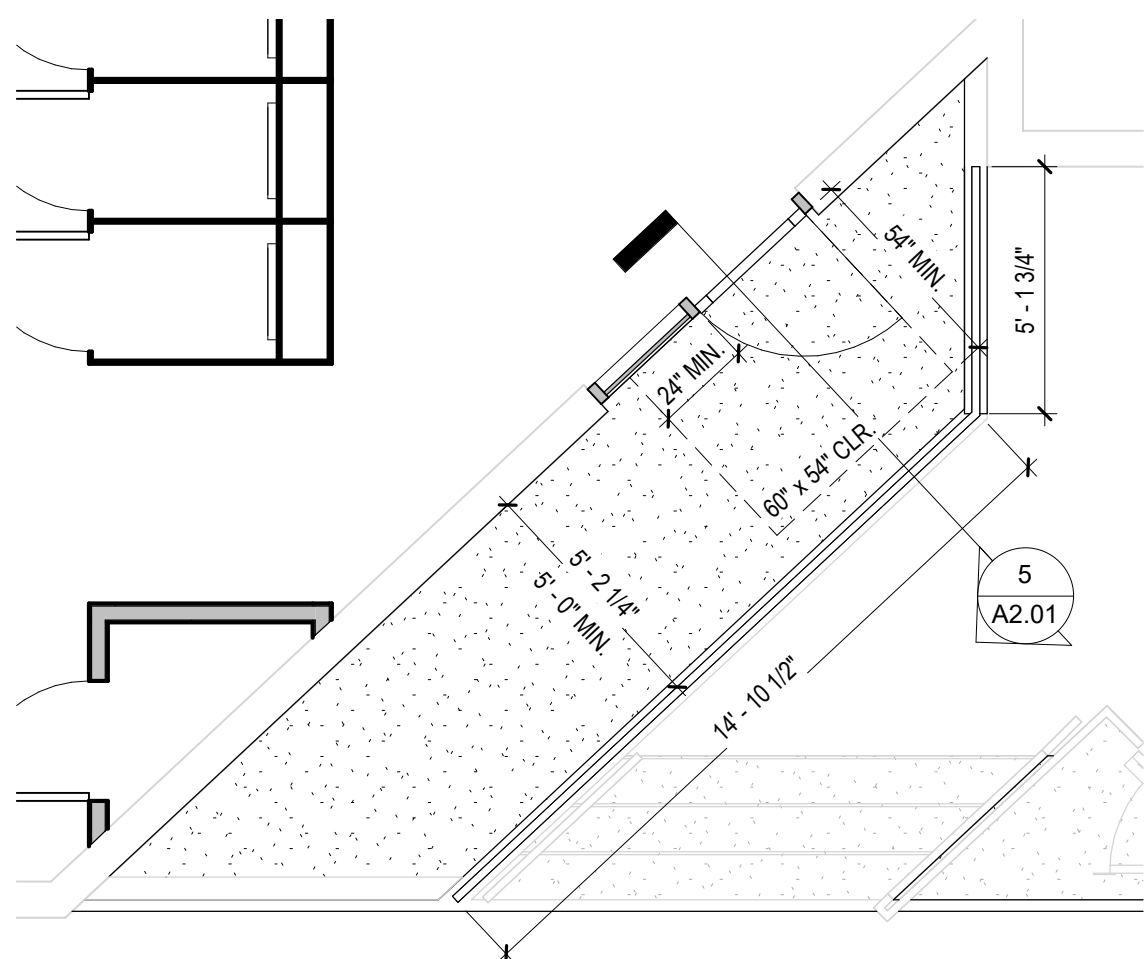


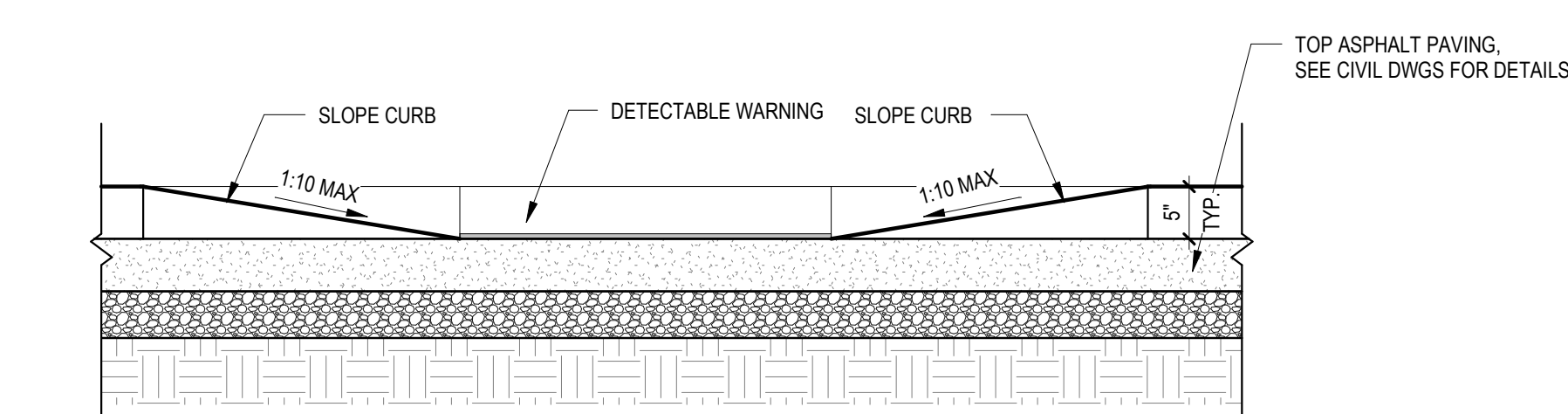
4 SITE - ENLARGED PAVING PLAN
1/4" = 1'-0" Ref. From /



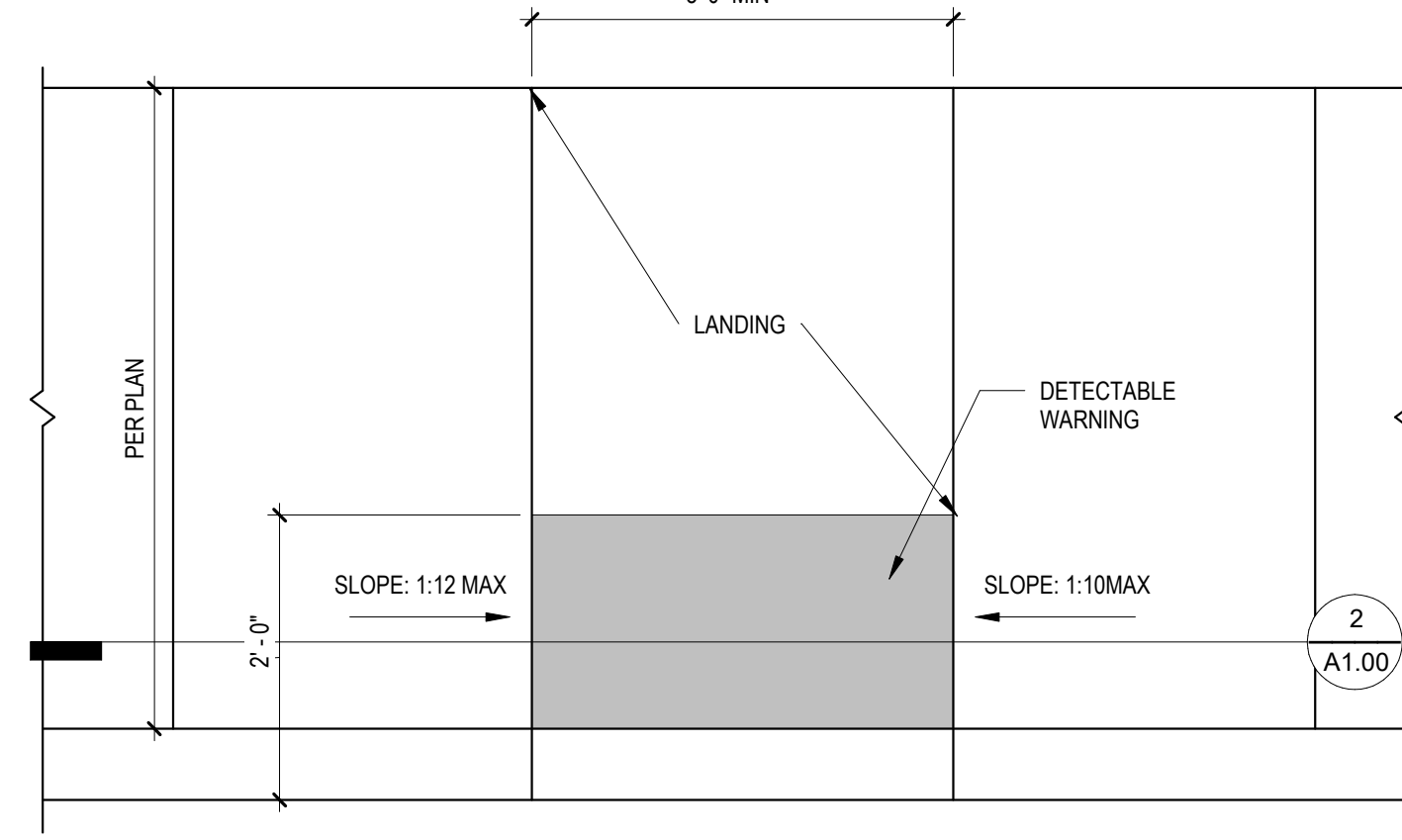
5 NEW FOOTING LOCATION @ SOUTHEAST LOCATION
1/4" = 1'-0" Ref. From 1/A1.00



6 FLOOR PLAN
1/4" = 1'-0" Ref. From 1/A1.00



2 RAMP DETAIL
3/4" = 1'-0" Ref. From 3/A1.00



3 RAMP PLAN DETAIL
3/4" = 1'-0" Ref. From /

DEVELOPED SITE CONDITIONS- SUMMARY TABLE

SITE	PARKING REQUIRED
TAXLOT: 073WSAA0930 (OWNED PROPERTY)	RETAIL SALES 1 PER 250 SF
ZONE - INDUSTRIAL COMMERCIAL	OCCUPIED BUILDING SQFT. 5,640 / 23 PARKING SPACES REQUIRED
FLOOD RISK: ZONE AE FULLY IN 100 YEAR PLAIN	MANUFACTURING SPACE, 3,610 SQFT / 2.25 REQUIRED
LANDSLIDE HAZARD: LOW	25 PARKING SPACES REQUIRED.
ALL ADJACENT PROPERTIES - IC	75% OR 19 MAY BE COMPACT SPACES
SITE TOTAL SIZE 20,962 SQFT	15 TOTAL PARKING SPACES PROVIDED
15.6% LANDSCAPED	3 STANDARD PARKING SPACES PROVIDED
84.4% PAVED	1 ADA PARKING SPACE
NO CHANGE TO EXISTING UTILITIES CONNECTIONS	11 COMPACT SPOTS PROVIDED OR 74%

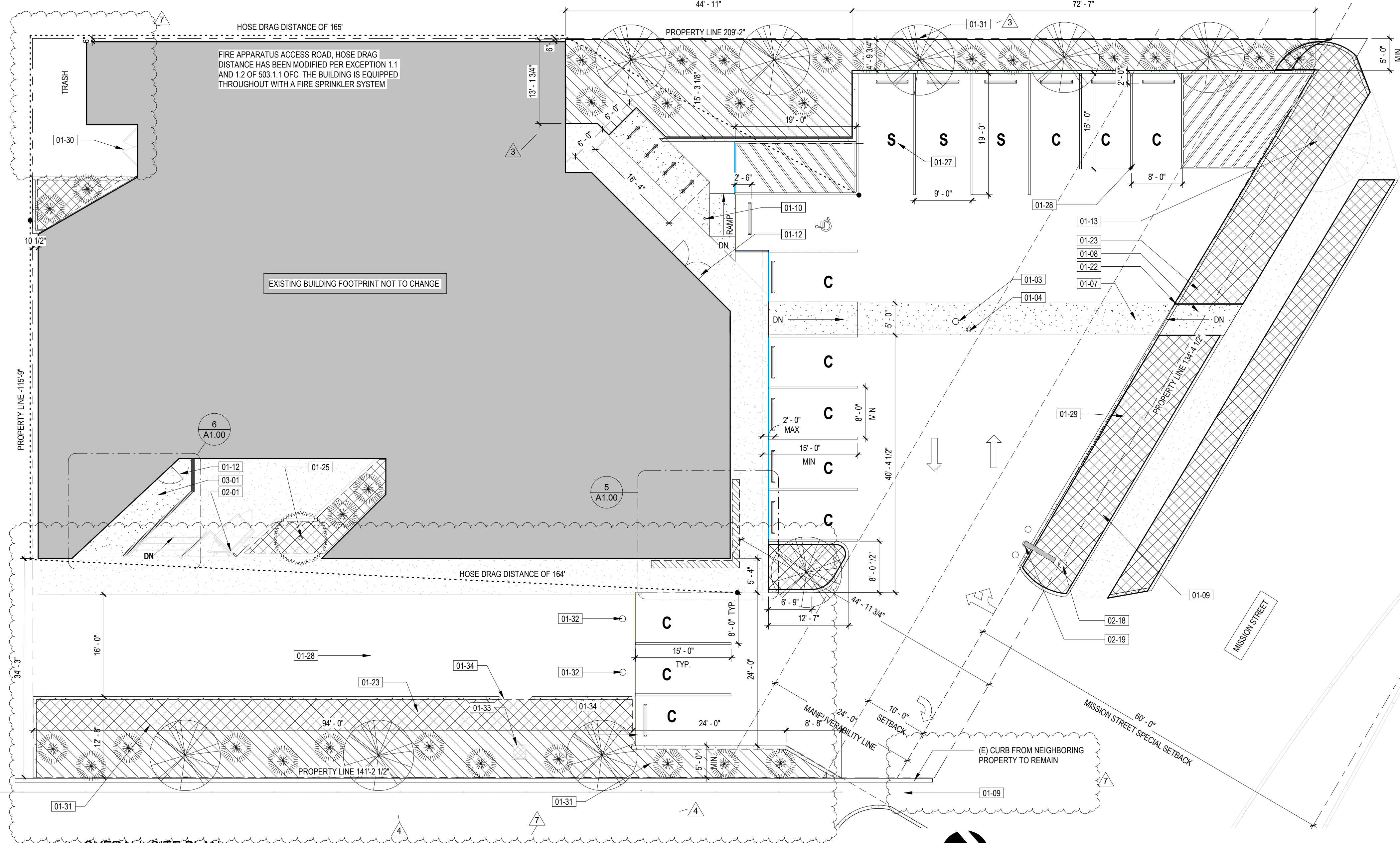
BUILDING
USE: RETAIL - 5,989
MANUFACTURING - 3,184 SQFT
BUILDING TOTAL 9,173 SQFT
BUILDING HEIGHT 23'-9"

SITE LANDSCAPING LEGEND

EXISTING SITE 20,298 SF	
LANDSCAPING 3,286 SF (16.0%) TOTAL	
787 SF @ MISSION STREET	
963 SF @ WEST SIDE OF LOT	
246 SF @ PATIO AREAS	
1,260 SF @ PARKING	
157 Pu REQUIRED	PROPOSE PU'S
1 Mature tree (E) to remain	15
9 Shade Trees	90
1 Evergreen	5
32 Medium shrubs	32
832 sq ft of ground cover	16
Total PU	158

NOTE:
SEE LANDSCAPING PLAN FOR UPDATED PLANTING AND IRRIGATION INFORMATION

#	Keynote Description
01-03	CUT AND GAP EXISTING PLUMBING , REPAIR AND PATCH PAVING AS REQUIRED
01-04	REMOVE EXISTING BOLLARDS. PATCH PAVEMENT AS REQUIRED
01-07	PEDESTRIAN PATH TO BE PAVED IN STAINED CONCRETE
01-08	SIDEWALK CONNECTION TO BUILDING PROVIDE RAP FORM SIDEWALK LEVEL TO PARKING PAVING LEVEL
01-09	AREA OF VISION CLEARANCE MAINTAINED
01-10	PROVIDE ADA PARKING SIGNAGE ON POST
01-12	NEW BUILDING ENTRANCE / EXIT
01-13	(E) TREE
01-22	MISSION STREET 60'-0" SETBACK LINE
01-23	AREA OF GROUND COVER
01-25	EVERGREEN TREE
01-27	PARKING SPACE THAT MAY BE USED FOR LOADING
01-28	NO PARKING AREA
01-29	MINIMUM 750 SQ FT OF GROUND COVER
01-30	EXISTING ENTRANCE TO BE DECOMMISSIONED. ALL EXIT SIGNS AND LIGHTS ARE TO BE REMOVED. NEW EXIT LIGHTS AND DIRECTION SIGNS ARE TO BE PLACED TO DIRECT OCCUPANTS TO THE NEW EAST ENTRANCE / EXIT
01-31	AREA OF ASPHALT AND COMPACT FILL TO BE REMOVED. REPLACE WITH FERTILE SOIL AND PREP AREA FOR PLANTING
01-32	NEW REMOVEABLE BOLLARD WITH PARKING SIGN ATTACHED
01-33	(E) CATCH BASIN
01-34	GAP IN SEGMENTAL WALL TEGULA FOR DRAINAGE TO CATCH BASIN
02-01	(E) ADA LIFT
02-03	SAW CUT (E) SIDEWALK FOR (N) REQUIRED FOOTING. SEE STRUCTURAL DRAWINGS FOR DETAILS.
02-18	(E) POWER POLE TO REMAIN
02-19	(E) SIGN AND BOLLARDS TO REMAIN
03-01	NEW SIDEWALK TO CONNECT W/ EXISTING



1 OVERALL SITE PLAN
1" = 10'-0" Ref. From 3/A2.00



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ADULT SHOP STORE 9 EXTERIOR RENOVATION

Issue: CD SET
Date: 03/18/2022

Revision:	Date:
2 ASI #2	07-07-21
3 ASI #4	11-29-21
4 ASI #5	01-25-22
5 RFI #VARIES	VARIES
7 Revision 7	03-25-24

SITE PLAN

A1.00