

- 1 DOOR HOODS, HOLLOW METAL, DOORS, FRAMES, EXPOSED METAL FLASHING, AND EXPOSED MISCELLANEOUS STEEL SHALL MATCH ADJACENT SURFACES COLOR AND FINISH. THERE SHALL BE NO ADJACENT COLORS AT DOORS USE THE BOTTOM COLOR FOR THE ENTIRE DOOR.
- 2 GG COORDINATE SIGNAGE WITH SELECTED SIGN VENDOR PROVIDE POWER, BLOCKING, ETC. AS REQUIRED
- 3 ALL REVEALS AND JOINTS SHALL BE ALIGNED ACROSS BUILDING ELEVATION FACES AND WINDOW JAMBS
- 4 PROVIDE CULTURED STONE LALITACRTE SYSTEM IN ENTIRETY. REFERENCE SPECIFICATIONS
- 5 WRAP WEATHER BARRIER MIN 4" AT ALL LOCATIONS
- 6 PAINT ALL LOUVERS TO MATCH ADJACENT EXTERIOR

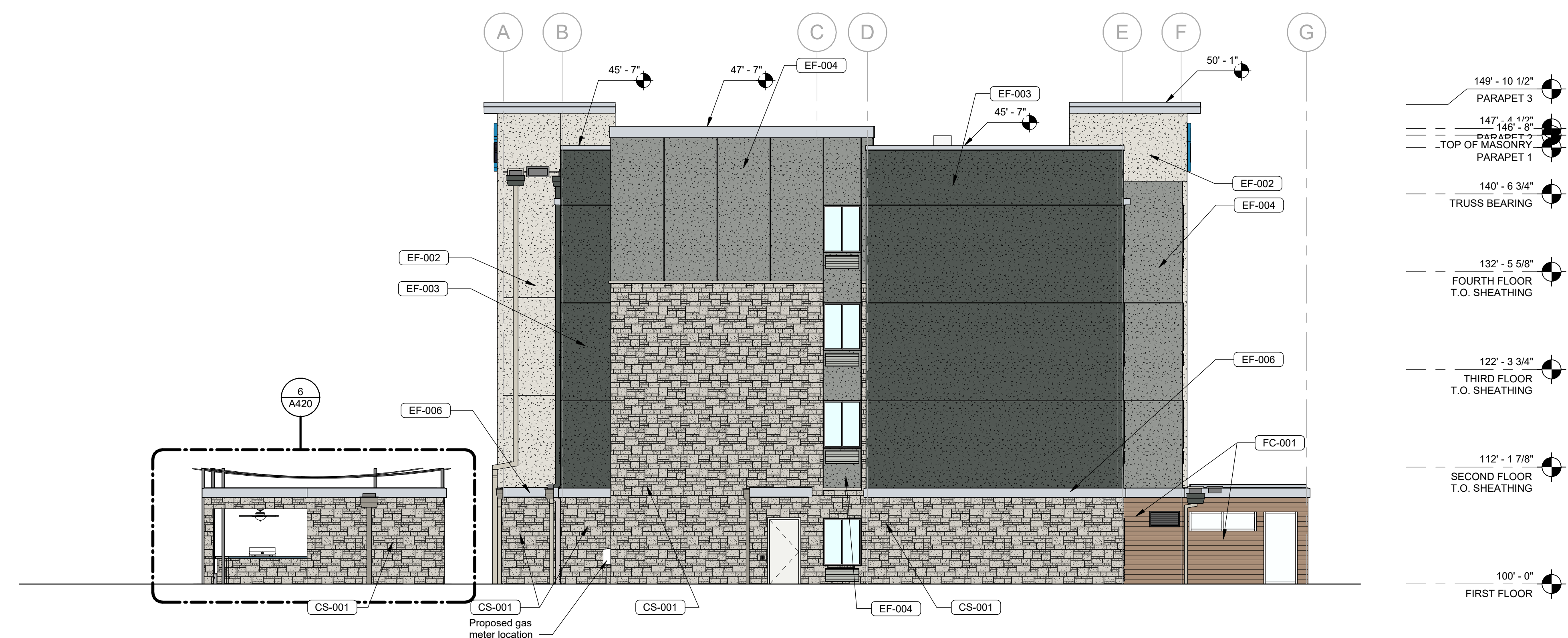
FINISH KEYNOTES	
Tag	Keynote Description
CS-001	CULTURED STONE - EL DORADO "GRAND BANKS LIMESTONE"
EF-001	EIFS - SW 2850 "CHELSEA GRAY"
EF-002	EIFS - SW 7056 "RESERVED WHITE"
EF-003	EIFS - SW 7062 "ROCK BOTTOM"
EF-004	EIFS - SW 9163 "TIN LIZZIE"
EF-006	EIFS ACCENT BAND - DRYVIT REFLECTIT 255 "TINMAN"
FC-001	FIBER CEMENT - NICHIIA VINTAGEWOOD "SPRUCE"



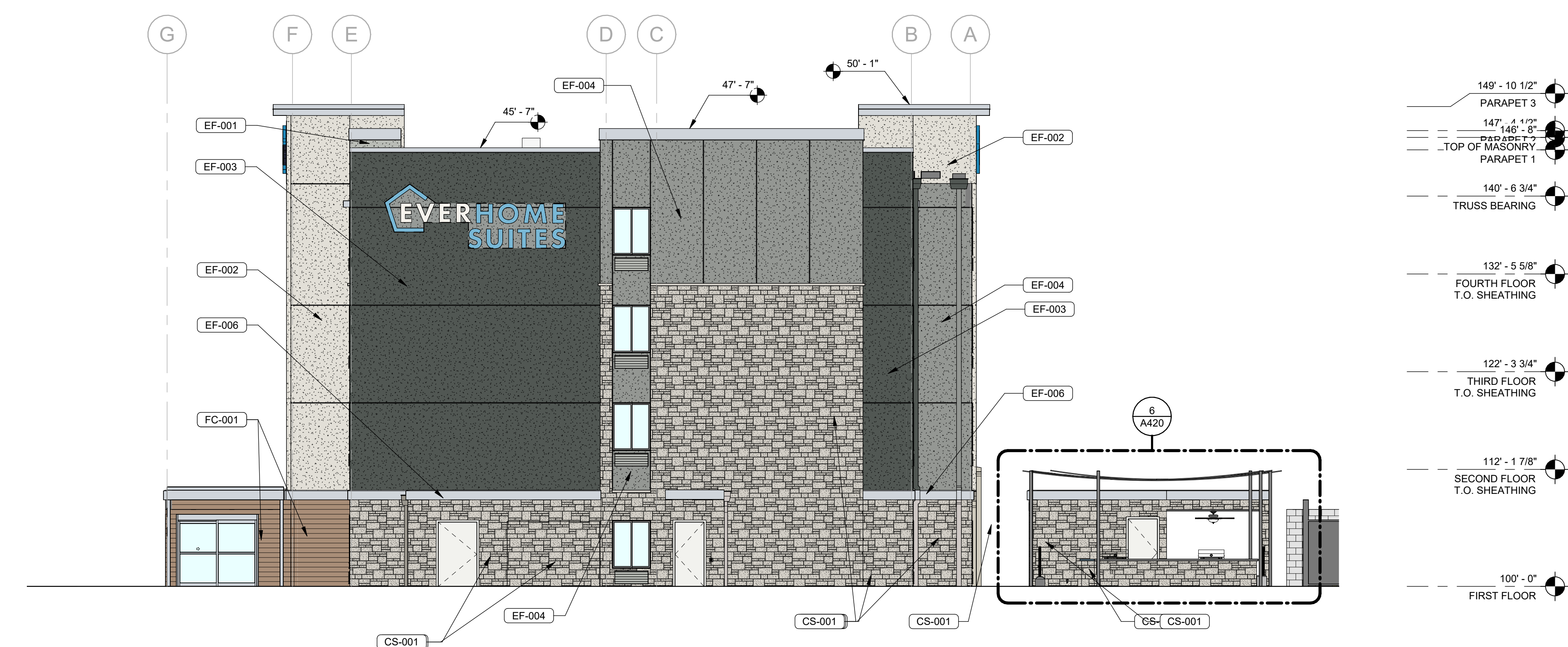
- 1 DOOR HEDS, HOLLOW METAL DOORS, FRAMES,
EXPOSED METAL FLASHING, AND EXPOSED
MISCELLANEOUS STEEL SHALL MATCH ADJACENT
BUILDING COLOR UNO. IF THERE ARE TWO ADJACENT
COLORS AT DOORS USE THE BOTTOM COLOR FOR THE
ENTIRE DOOR.
- 2 COORDINATE SIGNAGE WITH SELECTED SIGN
VENDOR, PROVIDE POWER, BLOCKING, ETC. AS
REQUIRED.
- 3 ALL REVEALS AND JOINTS SHALL BE ALIGNED ACROSS
BUILDING ELEVATION FACES AND WINDOW JAMBS
- 4 PROVIDE CULTURED STONE LATITRECE SYSTEM IN
ENTIRETY, REFERENCE SPECIFICATIONS
- 5 WRAP WEATHER BARRIER MIN 4" AT ALL LOCATIONS
- 6 PAINT ALL LOUVERS TO MATCH ADJACENT EXTERIOR

Signage Area			
Elevation	Facing	Area	Allowed
East	Kettle Court	71 SF	125 SF
North	State Street	69 SF	125 SF
South	Kettle Foods (adjacent)	69 SF	125 SF
West	Mill Creek	0	N/a

FINISH KEYNOTES	
Tag	Keynote Description
CS-001	CULTURED STONE - EL DORADO "GRAND BANKS LIMESTONE"
EF-001	EIFS - SW 2850 "CHELSEA GRAY"
EF-002	EIFS - SW 7056 "RESERVED WHITE"
EF-003	EIFS - SW 7062 "ROCK BOTTOM"
EF-004	EIFS - SW 9163 "TIN LIZZIE"
EF-006	EIFS ACCENT BAND - DRYVIT REFLECTIT 255 "TINMAN"
FC-001	FIBER CEMENT - NICHIHA VINTAGEWOOD "SPRUCE"



2 WEST ELEVATION



1 EAST ELEVATION



EIFS - SW 7062 Rock Bottom



EIFS - SW 9163 Tin Lizzie



EIFS - SW 2850 Chelsea Gray



EIFS - Dryvit 255 "Tinman Smooth"



EIFS - SW 7056
Reserved White



Fiber Cement - Nichiha
Vintagewood - "Spruce"



Cultured Stone - El Dorado
"Grand Banks Limestone"



Prefinished Clear Anodized
Brake Metal



Everhome Material Board

CITY, STATE

DESIGN REPRESENTATION ONLY - NOT FOR CONSTRUCTION

3/27/24/2022

EVERHOME
SUITES

Everhome
Suites
3125 KETTLE CT, SE
SALEM, OR 97301

OWNER:
CHOICE HOTELS INTERNATIONAL
SERVICES CORP
915 MEETING STREET
NORTH BETHESDA, MD 20852

ARCHITECT:
PKWY ARCHITECTS, LLC
1000 CIVIC CIRCLE
LEWISVILLE, TX 75067
972.221.1979

CIVIL ENGINEER
AKS ENGINEERING &
FORESTRY, LLC
3700 RIVER RD, N, STE. 1
KEIZER, OR 97303
503.400.6028

MEP ENGINEER
TBD

STRUCTURAL ENGINEER
TBD

REGISTERED ARCHITECT
GREGORY C. KLIMKO
API-11290
LEWISVILLE, TX
Architect: Greg Klimko

NO	DESCRIPTION	DATE
1	City CC&R Review	6/3/2024

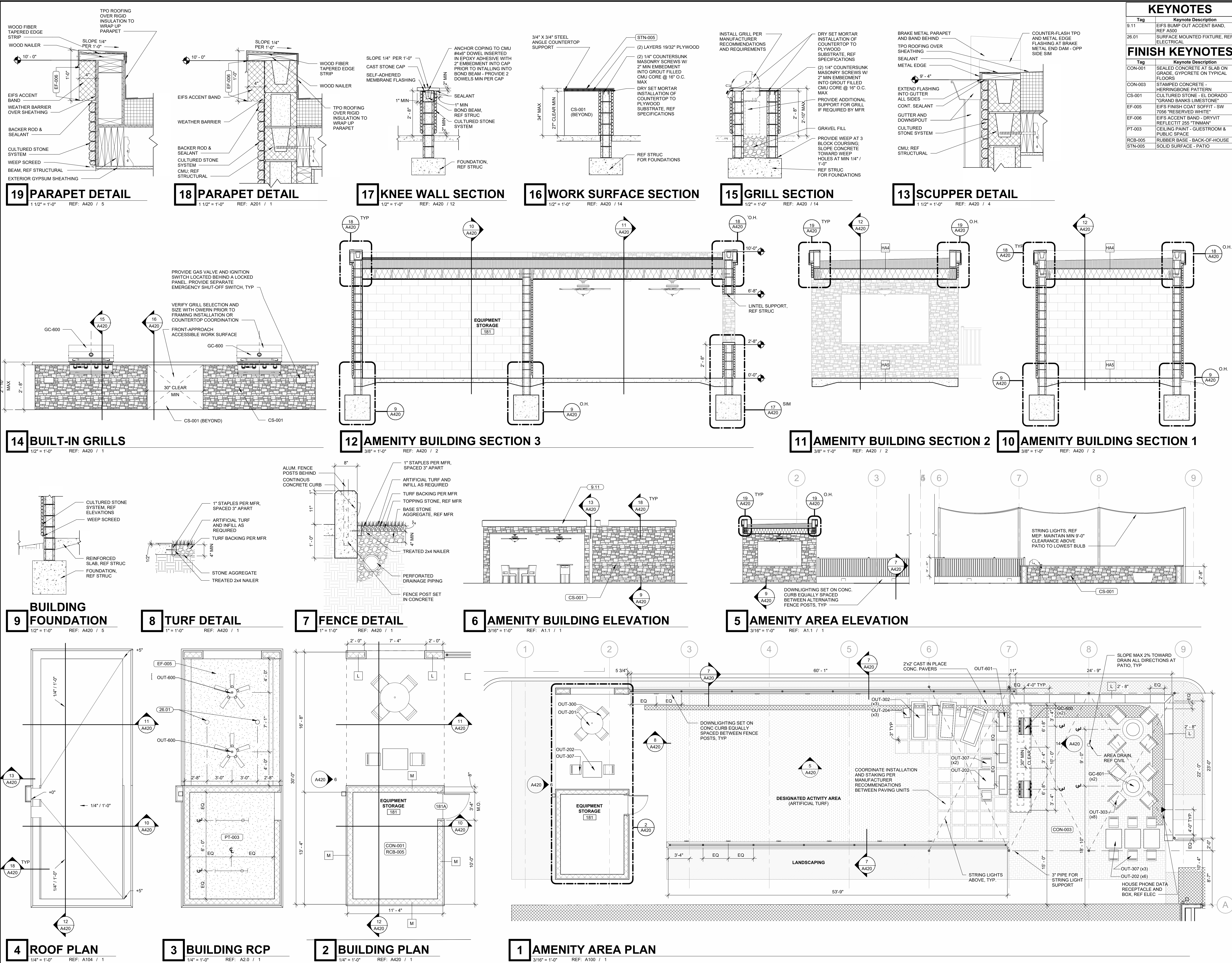
DRAWN BY: MBH
CHKD BY: MBH
PROJ. No: 94-240091

COPYRIGHT PARKWAY CONSTRUCTION 2024 ©

EXTERIOR
MATERIALS BOARD

A202





KEYNOTES	
Tag	Keynote Description
9.11	EIFS BUMP OUT ACCENT BAND, REF A500
26.01	SURFACE MOUNTED FIXTURE, REF ELECTRICAL
FINISH KEYNOTES	
Tag	Keynote Description
CON-001	SEALED CONCRETE AT SLAB ON GRADE, GYPCRETE ON TYPICAL FLOORS
CON-003	STAMPED CONCRETE - HERRINGBONE PATTERN
CS-001	CULTURED STONE - EL DORADO "GRAND BANKS LIMESTONE"
EF-005	EIFS FINISH COAT SOFFIT - SW 7058 "RESERVED WHITE"
EF-006	EIFS ACCENT BAND - DRYVIT REFLECTIT 255 "TINMAN"
PT-003	CEILING PAINT - GUESTROOM & PUBLIC SPACE
RCB-005	RUBBER BASE - BACK-OF-HOUSE
STN-005	SOLID SURFACE - PATIO

CONSTRUCTION • ARCHITECTURE

PKWNY

PKW Architects, LLC
1000 Civic Circle, Lewisville, TX 75067
parkwayconstruction.com (972) 221-1979

Architect:
Contact:

EVERHOME
SUITES

EXTENDED STAY BY CHOICE HOTELS

Everhome Suites

3125 KETTLE CT. SE
SALEM, OR 97301

OWNER:
CHOICE HOTELS INTERNATIONAL
SERVICES CORP.
915 MEETING STREET
NORTH BETHESDA, MD 20852

ARCHITECT:
PKW ARCHITECTS, LLC
1000 CIVIC CIRCLE
LEWISVILLE, TX 75067
972.221.1979

CIVIL ENGINEER:
AKS ENGINEERING &
FORESTRY, LLC
3700 RIVER RD. N. STE. 1
KEIZER, OR 97103
503.400.6028

MEP ENGINEER:
TBD

STRUCTURAL ENGINEER:
TBD

Landscape Architect:
GREGORY C KLIMKO
ARI-11290
LEWISVILLE, TX
6/1/14

NOT FOR REGULATORY
APPROVAL, PERMITTING OR
CONSTRUCTION.
Architect: Greg Klimko

No.	Description	Date
4	Bulletin #4	12/28/23
3	Bulletin #3	6/30/23
2	Bulletin #2	6/10/22
1	Bulletin #1	1/31/22
No. Description Date		
Drawn by: Author		
Checked by: Checker		
Project Number: XXXXXXXXX		
Copyright PKW Architects, LLC © 2023		

AMENITY AREA
PLANS AND DETAILS

A420



NOT FOR REGULATORY
APPROVAL, PERMITTING OR
CONSTRUCTION.

Architect:

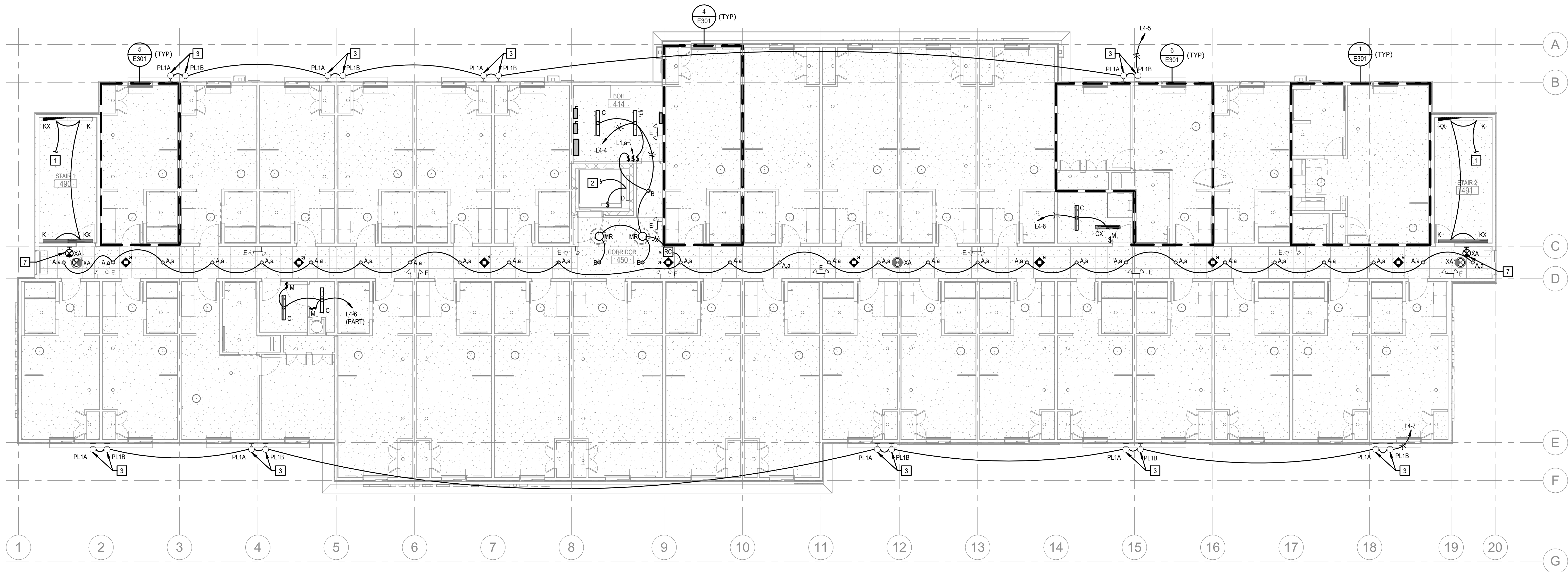
[illegible]

Drawn by: JEP
Checked by:
Project Number: XXXXXXXXXX
COPYRIGHT PKWY ARCHITECTS, LLC © 2023

DOUBLE WIDE TRASH ENCLOSURE & DETAILS

A700A





1 LIGHTING PLAN - FOURTH FLOOR
1/8" = 1'-0" REF: /

GENERAL NOTES:

1. CIRCUIT ALL EMERGENCY FIXTURES, EMERGENCY LIGHTING CONTROL UNITS, AND EXIT SIGNS TO A LOCAL (ROOM) UNSWITCHED HOT CONDUCTOR.
2. REFER TO ARCHITECTURAL EXTERIOR ELEVATIONS FOR MOUNTING HEIGHTS FOR EXTERIOR BUILDING MOUNTED LIGHT FIXTURES.
3. ON ALL EXTERIOR BUILDING MOUNTED LIGHT FIXTURES, PROVIDE #10 AWG MINIMUM CONDUCTORS UNLESS NOTED OTHERWISE. APPLY SEALANT BETWEEN MOUNTING PLATE AND WALL SURFACE TO ENSURE A DRY J-BOX.
4. REFER TO ARCHITECTURAL FLOORING PLANS AND REFLECTED CEILING PLANS OF EXACT MOUNTING LOCATIONS OF ALL LIGHT FIXTURES AND WALL MOUNTED ELECTRICAL DEVICES.
5. PATCH AND REPAIR ALL OPENINGS CREATED THAT PENETRATE FIRE RATED WALLS, FLOORS AND CEILING USING UL APPROVED METHODS AND MATERIALS CONSISTENT WITH THE RATING OF THE SURFACE PENETRATED.
6. 120V BRANCH CIRCUITING SHALL BE AS FOLLOWS, UNLESS NOTED OTHERWISE:
0-100' = #12 AWG
101'-150' = #10 AWG
151'-250' = #8 AWG
7. GROUND CONDUCTOR AND RACEWAYS SHALL BE INCREASED AS REQUIRED.
8. ALL CONDUIT SHALL BE CONCEALED IN CMU AND/ OR FRAMED WALLS UNLESS OTHERWISE NOTED.
9. FOR SPACES WITH NO CEILING(S) AND EXPOSED TO STRUCTURE (OTS), CONDUIT AND APPLICABLE DEVICES SHALL NOT BE MOUNTED TO BOTTOM OF BEAM(S), ROUTE PARALLEL TO EXPOSED BEAM(S) AS INDICATED, UNLESS APPROVED BY ARCHITECT/ENGINEER. SUBMIT A RACEWAY ROUTING PLAN FOR APPROVAL BY ARCHITECT/ENGINEER. NO ADDITIONAL COST TO OWNER WILL BE ALLOWED FOR CONDUIT RELOCATING DUE TO LACK OF COORDINATION WITH DESIGN TEAM.

PLAN NOTES:

1. CIRCUIT CONTINUED TO FLOOR BELOW.
2. ELEVATOR PIT LIGHT FIXTURE TO BE CONNECTED RECEPTACLE IN PIT. REFER TO POWER PLAN FOR ADDITIONAL INFORMATION.
3. EXTERIOR ACCENT LIGHTING PROVIDED AND INSTALLED BY OTHER. REFER TO FIXTURE SCHEDULE. REFER TO ARCHITECTURAL LIGHTING VENDOR PACKAGE FOR EXACT REQUIREMENTS.
4. CODE REQUIRED LOW LEVEL EXIT SIGN FOR GUESTROOM CORRIDORS. THE BOTTOM OF THE SIGN SHALL BE MOUNTED BETWEEN 10-12" AFF. THE EDGE OF THE SIGN SHALL BE WITHIN 4" OF THE EXIT DOOR FRAME.

CONSTRUCTION • ARCHITECTURE

PKWY
PKWY Architects, LLC
1000 Civic Circle Lewisville, TX 75067
parkwayconstruction.com (972) 221-1979
Project Manager:
Contact:
Architect:
Contact:

EVERHOME
SUITES
EXTENDED STAY BY CHOICE HOTELS

Everhome
Suites

3125 KETTLE CT. SE
SALEM, OR 97301

OWNER:
CHOICE HOTELS INTERNATIONAL
SERVICES CORP.
915 MEETING STREET
NORTH BETHESDA, MD 20852

ARCHITECT:
PKWY ARCHITECTS, LLC
1000 CIVIC CIRCLE
LEWISVILLE, TX 75067
972.221.1979

CIVIL ENGINEER
AKS ENGINEERING &
FORESTRY, LLC
3700 RIVER RD. N. STE. 1
KEIZER, OR 97303
503.400.6028

MEP ENGINEER

TBD

STRUCTURAL ENGINEER

TBD

Landscape Architect:

TBD



NOT FOR REGULATORY
APPROVAL, PERMITTING OR
CONSTRUCTION.
Architect: Greg Klimko

No.	Description	Date
4	Bulletin #4	12/28/23
3	Bulletin #3	03/02/23
2	Bulletin #2	08/09/22
1	Bulletin #1	1/31/22

Drawn by: SBI
Checked by: Checker
Project Number: XXXXXXXXXX
COPYRIGHT PKWY ARCHITECTS, LLC © 2023

LIGHTING PLAN -
FOURTH FLOOR

E103



E303