

16 GA GALV. CORRUGATED

CONCRETE ENCASEMENT FOUNDATION PER

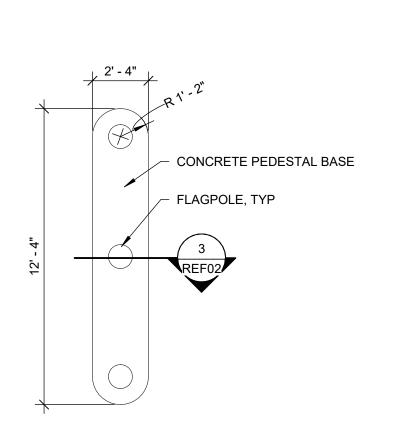
STRUCTURAL DRAWINGS

STEEL TUBE

GROUND SPIKE,

3 OPTIONAL FLAGPOLE DETAIL

2' - 4"



2 OPTIONAL FLAGPOLE PLAN

GENERAL NOTES THE CIVIL ENGINEERING DESIGN FOR AN EVERHOME SUITES HOTEL PROJECT SHALL CONSIDER THE FOLLOWING ITEMS AS STANDARDS REQUIRED BY THE BRAND. THE FOLLOWING INFORMATION IS PROVIDED AS INPUT TO THE DESIGN PROCESS, AS FINAL DESIGN

RESPONSIBILITY WILL BE PROVIDED BY THE CIVIL ENGINEER OF

RECORD FOR EACH PROJECT.

1. SITE PLAN WITH DIMENSION CONTROL AND PAVING PLAN. THE CIVIL ENGINEER OR ARCHITECT SHALL LAYOUT THE SITE FROM THE "CONCEPT SITE PLAN" PROVIDED. INSURE TO MEET CODE AND ADA REQUIREMENTS FOR THE FOLLOWING:

PARKING: ONE STALL FOR EACH GUEST ROOM, 114 TOTAL MINIMUM INCLUDING 5 ACCESSIBLE PARKING STALLS, ARE TYPICALLY REQUIRED. SITE PLAN BELOW SHOWS 119 PARKING STALLS. VERIFY WITH LOCAL JURISDICTION IF ANY ADDITIONAL STALLS ARE REQUIRED PER APPLICABLE LOCAL ORDINANCES.

FIRE TRUCK TURNING RADIUS: PROVIDE MINIMUM 28' RADIUS AT TURNS IN THE FIRE LANE SURROUNDING THE BUILDING.

TRASH ENCLOSURES: SHALL HAVE 13'-4" X 13'-4" CMU WALLS, METAL SCREEN GATE WITH HEAVY DUTY GATE HARDWARE, AND **BOLLARD PROTECTION.**

LANDSCAPING: 5' MINIMUM WIDE FOUNDATION LANDSCAPE BED WITH NON-COMBUSTIBLE MULCH AND A MINIMUM AGGREGATE SIZE OF 1". NO PEA GRAVEL. PLANTINGS IN PAVEMENT ISLANDS AND LOT PERIMETER AS REQUIRED LOCALLY. PROVIDE AUTOMATIC IRRIGATION TO ALL BEDS, WITH CONTROLLER IN THE MECHANICAL ROOM. DESIGN LANDSCAPING TO MEET CODE MINIMUM WITH LOW MAINTENANCE PLANTINGS.

LOT COVERAGE: PROVIDE MINIMUM LANDSCAPE BUFFERS FROM THE EDGE OF PAVING TO THE PROPERTY LINE. COVERAGE SHALL BE PROVIDED TO CONFORM TO LOCAL STANDARDS FOR PLANTING AND IRRIGATION. SATISFYING MINIMUM REQUIRED PLANT COUNTS SHOULD HAVE INTERIOR LANDSCAPING FILLED FIRST, THEN TRAFFIC ISLAND, WITH REMAINING PLANTINGS (IF ANY) IN THE LANDSCAPED AREAS OUTSIDE OF THE PAVED AREAS.

SIDEWALKS: SHALL BE CONCRETE, MINIMUM 5' IN WIDTH, MINIMUM 4" THICK, 3,000 PSI COMPRESSIVE STRENGTH, WITH BROOM FINISH, AND EXPANSION AND CONTRACTION JOINTING PER ACI STANDARDS. SIDEWALK TO SURROUND THE ENTIRE BUILDING PERIMETER, OUTSIDE THE INTERIOR LANDSCAPING, AND INSIDE THE PARKING LOT. ACCESS ALL EXTERIOR DOORS, AND SATISFY ALL LOCAL JURISDICTIONAL REQUIREMENTS FOR ADA, ETC.

DIMENSION CONTROL: TO LOCATE THE BUILDING, PARKING, RETAINING WALLS IF ANY AND ALL SITE CONSTRUCTION ITEMS INCLUDING ANY REMOTE BUILDING SIGNAGE. IF A NARROW LOT IS DEVELOPED, THE DISTANCE FROM THE FURTHEST PARKING STALL TO THE NEAREST BUILDING STAIRWELL DOOR SHALL NOT EXCEED THE LENGTH OF THE

2. **CONSTRUCTION/PAVING DETAILS.** THE CIVIL ENGINEER SHALL PROVIDE ALL DESIGN AND CONSTRUCTION DETAILS FOR ALL SITE ITEMS:

PAVING SECTIONS: TYPICAL SECTIONS FOR DRIVE AISLE, PARKING STALLS AND CONCRETE HEAVY DUTY PAVEMENT AT DUMPSTER LOADING PAD, AND PUBLIC ROAD ENTRY APRON. ASPHALT OR CONCRETE PAVING SHALL MEET THE STANDARDS REFERENCED IN THE GEOTECHNICAL REPORT FOR THE PROJECT, THE PROJECT MANUAL, AND JURISDICTIONAL REQUIREMENTS.

CURBING: ALL PAVEMENT EDGES SHALL HAVE 6" TALL CONCRETE CURBING, COORDINATED WITH THE DRAINAGE AND GRADING PLAN. BOLLARDS: SHALL BE 6" CONCRETE FILLED CAPPED STEEL SCHEDULE 80 PIPE, MAXIMUM 5'-0" ABOVE GRADE, WITH ADEQUATE DEPTH OF CONCRETE FOOTING. BOLLARDS SHALL BE PLACED TO PROTECT DUMPSTER ENCLOSURE WALLS, ELECTRICAL TRANSFORMER. ELECTRICAL SWITCH GEAR, NATURAL GAS REGULATOR, AND OTHER

RETAINING WALLS: IF REQUIRED, SHALL BE ENGINEERED SEGMENTAL BLOCK, MECHANICALLY STABILIZED, WITH PROPER DRAINAGE. STRIPING: SHALL BE WHITE IN COLOR, USING PAINT AND REFLECTION

SITE FEATURES REQUIRING PROTECTION FROM VEHICULAR TRAFFIC.

BEAD MATERIALS MEETING LOCAL STATE DOT STANDARDS FOR QUALITY. ALTERNATE COLORS ARE ALLOWED FOR ADA AND FIRE LANE MARKINGS AS REQUIRED BY THE JURISDICTION.

GRADING PLAN THE CIVIL ENGINEER SHALL PROVIDE A COMPLETE GRADING PLAN CONSISTING OF EXISTING AND REVISED CONTOURS AND SPOT

ELEVATIONS. THE CIVIL ENGINEER SHALL LAYOUT THE GRADING TO MEET LOCAL ACCESSIBILITY CODES. THE CIVIL ENGINEER SHALL PROVIDE FOR STORM WATER DETENTION ON SITE IF REQUIRED. STORM WATER PIPE SHALL BE HIGH DENSITY POLYETHYLENE AS ALLOWED BY THE LOCAL JURISDICTION. THE CIVIL ENGINEER SHALL PROVIDE LOCATION AND STRUCTURAL DESIGN FOR ALL RETAINING WALLS. PROVIDE DRAINAGE AREA

4. EROSION CONTROL PLAN AND DETAILS. THE CIVIL ENGINEER SHALL PROVIDE A COMPLETE EROSION CONTROL PLAN SUITABLE FOR PERMITTING.

PLAN IF REQUIRED BY LOCAL CODES.

SITE UTILITIES PLAN AND DETAILS. SHOW ALL UTILITY RUNS FROM THEIR TAP/SOURCE TO WITHIN 5' OF THE BUILDING. THE CIVIL ENGINEER SHALL BE RESPONSIBLE TO

UTILITIES. THE CIVIL ENGINEER SHALL VERIFY ALL BUILDING UTILITY CAPACITY REQUIREMENTS IN THE DESIGN PROCESS. THE FOLLOWING SIZING AND CAPACITIES ARE BASED ON PREVIOUS SITES:

COORDINATE THESE UTILITIES WITH THE MEP ENGINEERS. THE CIVIL

ENGINEER SHALL PROVIDE A COMPLETE PLAN BRINGING ALL SITE

DOMESTIC WATER: TYPICALLY 3" MINIMUM FOR 150 GPM PEAK

FIRE SUPPRESSION WATER: TYPICALLY 6" MINIMUM FOR 2,000 GPM

SANITARY SEWER: TYPICALLY 8", FOR 11 GPM AVERAGE FLOW AND 33 GPM PEAK FLOW. SANITARY CONNECTION CAN BE LEFT, RIGHT OR CENTER OF THE BUILDING, WITHOUT CHANGING LOCATION OF ROOMS. SANITARY DESIGN AND DETAILS SHOULD FOLLOW "10 STATE STANDARDS" OR LOCAL JURISDICTIONAL REQUIREMENTS IF MORE STRINGENT. SANITARY SEWER SHALL BE SHOWN IN PLAN AND PROFILE WITH ELEVATIONS.

SANITARY LIFT STATION: IF REQUIRED, THE LIFT STATION SHALL USE VAUGHN CHOPPER PUMPS, WITH DUAL PUMPS, CONTROLS, AND NATURAL GAS FUELED ELECTRICAL GENERATOR BACK-UP.

NATURAL GAS: PROVIDED AT 7" W.C. PRESSURE FOR 729 M BTU/HR PEAK DEMAND.

ELECTRICAL TRANSFORMER: FOR 1,600 AMP, 208VOLT, 3 PHASE 4 WIRE SERVICE. LOCATE AS CLOSE AS PRACTICAL TO THE BUILDING TO RESULT IN MINIMUM SECONDARY RUN LENGTHS.

CABLE TV: PROVIDE 3" CONDUIT, VERIFY WITH LOCAL SERVICE TELEPHONE CONNECTION: PROVIDE 3" CONDUIT, VERIFY WITH LOCAL

<u>DATA COMMUNICATIONS:</u> PROVIDE 3" CONDUIT, VERIFY WITH LOCAL

LOT LIGHTING: SHALL BE COORDINATED WITH THE ELECTRICAL ENGINEER. LOT LIGHTING SHALL BE PROVIDED WITH LED FIXTURES AS SHOWN IN THE LIGHTING FIXTURE SCHEDULE ON ELECTRICAL SHEETS IN THE EVERHOME SUITES PROTOTYPE. POLE LIGHTS ARE GENERALLY NEEDED IF PARKING STALLS ARE MORE THAN 70' FROM THE ENDS OF THE BUILDING, OR 100' FROM THE FRONT OR REAR.

- LOT LIGHTING SHALL MEET THE USDOE LZ2 REQUIREMENTS: POWER DENSITY: 0.05 W/FT2 MINIMUM LUMINANCE (LM/ FT2)
- MAIN AREA: 0.5 PERIMETER: 0.2
- 5. **STORM SEWER PLAN AND DETAILS** (IF REQUIRED) THE CIVIL ENGINEER SHALL PROVIDE A COMPLETE PLAN FOR STORM SEWER AND ON SITE DETENTION IF REQUIRED AND SHOW BOTH IN PLAN AND STORM SEWER PROFILE. STORM SEWER PIPES SHALL BE HDPE, UNLESS NOT ALLOWED BY THE LOCAL JURISDICTION.

CONSTRUCTION SIGN REQUIREMENT: THE TEMPLATE MUST BE PRINTED AS 4' x 8' AND IN FULL COLOR. THE GC MAY HAVE ADDITIONAL SIGNAGE WITH THEIR COMPANY LOGO/INFORMATION BUT IT CANNOT INFRINGE ON THE 4' x 8' EVERHOME SUITES SIGN. THE SIGN SHOULD BE INSTALLED WITHIN 30 DAYS FROM CONSTRUCTION START AND MUST BE REMOVED PRIOR TO OPENING. GRAPHIC TO BE PROVIDED BY EVERHOME HOTELS.

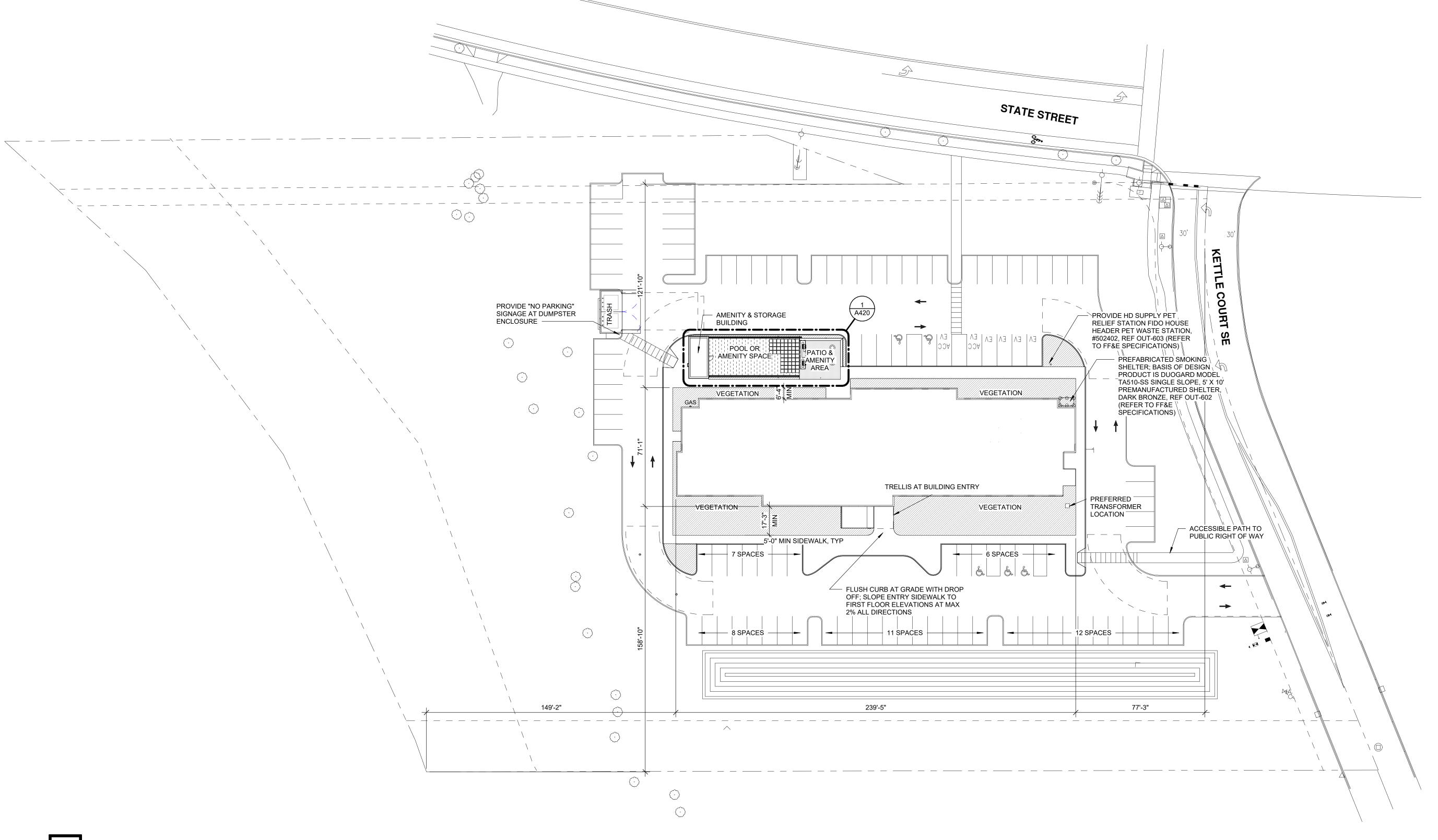
NOTE: LOCATION OF CONSTRUCTION SIGN TO BE VERIFIED BY OWNER'S REPRESENTATIVE.

PARKING POLE SIGNAGE REQUIREMENT: SIGNAGE VERBIAGE TO READ "PLEASE REMOVE ALL VALUABLES AND SECURE YOUR VEHICLE. MANAGEMENT WILL NOT BE RESPONSIBLE FOR THEFT, LOSS OR DAMAGE"

SIZE OF SIGN TO BE VERIFIED WITH LOCAL ORDINANCES.

PARKING SCHEDULE PARKING STALL TYPE COUNT STANDARD STALLS ACCESSIBLE STALLS VAN ACCESSIBLE STALLS

TOTAL STALLS



1 SITE PLAN

PLAN & DETAILS

Description

Everhome

3125 KETTLE CT. SE SALEM, OR 97301

MEP Engineer:

Structural Engineer:

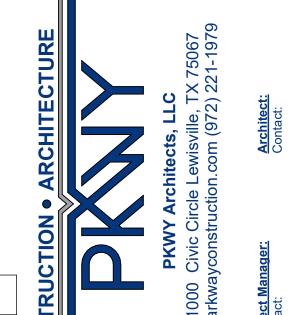
Landscape Architect:

NOT FOR REGULATORY

APPROVAL, PERMITTING OR CONSTRUCTION.

Architect: Greg Klimko





EVERHAME SUITES STAY BY CHOICE HOTELS

Everhome Suites 3125 KETTLE CT. SE SALEM, OR 97301

rchitect:

MEP Engineer:

Structural Engineer:

Landscape Architect:

OF OR REGULATORY APPROVAL, PERMITTING OR

CONSTRUCTION.

Architect: Greg Klimko



Checked by: Checker

Project Number: XXXXXXXXX

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EXTERIOR ELEVATIONS

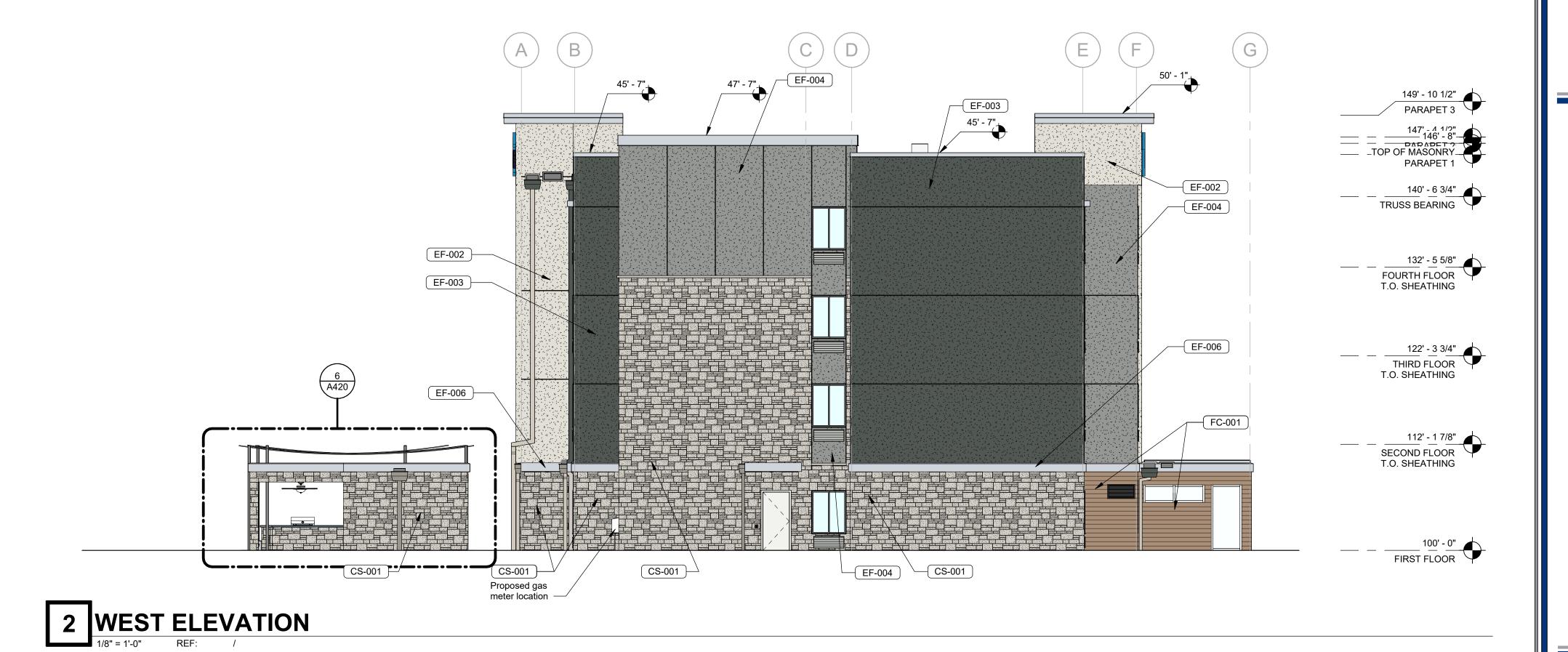
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SHEET NOTES

- 1 DOOR HOODS, HOLLOW METAL DOORS, FRAMES, EXPOSED METAL FLASHING, AND EXPOSED MISCELLANEOUS STEEL SHALL MATCH ADJACENT BUILDING COLOR UNO. IF THERE ARE TWO ADJACENT COLORS AT DOORS USE THE BOTTOM COLOR FOR THE
- ENTIRE DOOR. 2 GC TO COORDINATE SIGNAGE WITH SELECTED SIGN VENDOR. PROVIDE POWER, BLOCKING, ETC. AS
- 3 ALL REVEALS AND JOINTS SHALL BE ALIGNED ACROSS BUILDING ELEVATION FACES AND WINDOW JAMBS
- 4 PROVIDE CULTURED STONE LATICRETE SYSTEM IN ENTIRETY, REFERENCE SPECIFICATIONS
- 5 WRAP WEATHER BARRIER MIN 4" AT ALL LOCATIONS 6 PAINT ALL LOUVERS TO MATCH ADJACENT EXTERIOR

vation	Facing	Area	Allowed
t	Kettle Court	71 SF	125 SF
h	State Street	69 SF	125 SF
th	Kettle Foods (adjacent)	69 SF	125 SF
:t	Mill Creek	0	N/a

FINISH KEYNOTES Signage Area **Keynote Description** CULTURED STONE - EL DORADO "GRAND BANKS LIMESTONE" EIFS - SW 2850 "CHELSEA GRAY" EIFS - SW 7056 "RESERVED WHITE" EIFS - SW 7062 "ROCK BOTTOM" EIFS - SW 9163 "TIN LIZZIE" EIFS ACCENT BAND - DRYVIT REFLECTIT 255 "TINMAN" FIBER CEMENT - NICHIHA VINTAGEWOOD "SPRUCE"



149' - 10 1/2" PARAPET 3 EF-003 — 132' - 5 5/8"
FOURTH FLOOR
T.O. SHEATHING EF-002 EF-006 FC-001 ____ = 112' - 1 7/8"
SECOND FLOOR
T.O. SHEATHING

CS-001

CS-(CS-001

CS-001

1 EAST ELEVATION

1/8" = 1'-0" REF: /

Everhome Suites 3125 KETTLE CT. SE SALEM, OR 97301

Architect:

MEP Engineer:

Structural Engineer:

Landscape Architect:

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Architect: Greg Klimko

Description

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EXTERIOR ELEVATIONS

NO DESCRIPTION DATE DRAWN BY: MBH

PROJ. No: **94-240091** PYRIGHT PARKWAY CONSTRUCTION 2024 (C)

1 City CC&R Review 6/3/2024

EXTERIOR MATERIALS BOARD







EIFS - SW 7062 Rock Bottom

EIFS - SW 9163 Tin Lizzie

EIFS - SW 2850 Chelsea Gray

EIFS - Dryvit 255 "Tinman Smooth"



EIFS - SW 7056 Reserved White



Fiber Cement - Nichiha Vintagewood - "Spruce"



Cultured Stone - El Dorado "Grand Banks Limestone"



Prefinished Clear Anodized Brake Metal



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30/24/2022















Everhome

3125 KETTLE CT. SE SALEM, OR 97301

OWNER: CHOICE HOTELS INTERNATIONAL SERVICES CORP. 915 MEETING STREET NORTH BETHESDA, MD 20852 ARCHITECT:
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LEWISVILLE, TX 75067
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503.400.6028 MEP ENGINEER

STRUCTURAL ENGINEER

Landscape Architect:

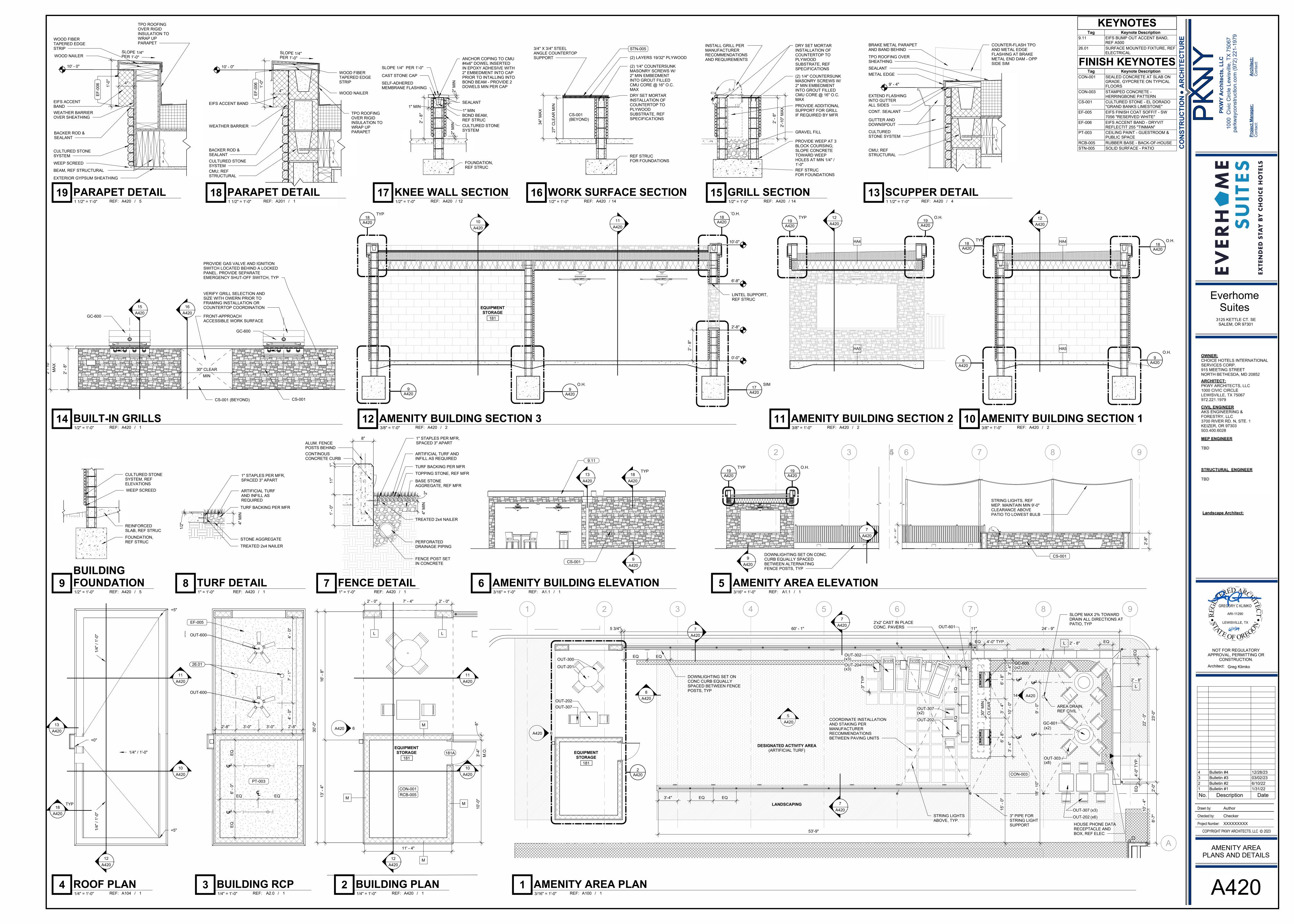
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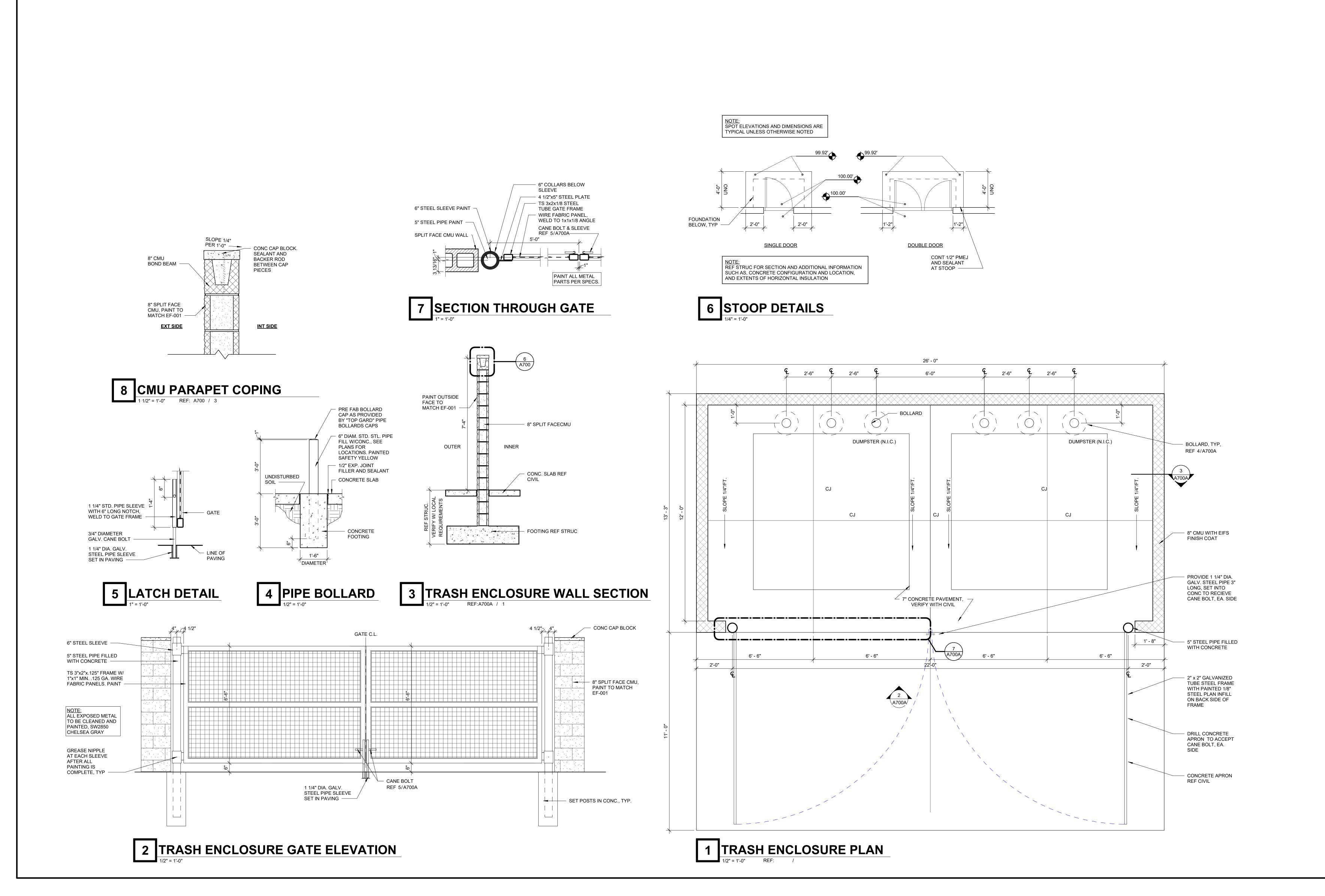
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RENDERINGS

A203





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1000 Civic Circle Lewisville, TX 75067
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Everhome Suites 3125 KETTLE CT. SE SALEM, OR 97301

Owner:

Architect:

MEP Engineer:

Structural Engineer:

Landscape Architect:

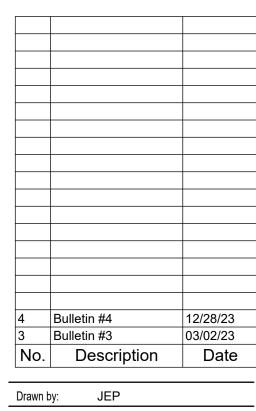
REDARCO GREGORY C KLIMKO

ARI-11290

LEWISVILLE, TX

OF OR

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Drawn by: JEP

Checked by:

Project Number: XXXXXXXXX

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DOUBLE WIDE TRASH ENCLOSURE & DETAILS

A700A

19 20 G

1 LIGHTING PLAN - FOURTH FLOOR

1/8" = 1'-0" REF: /

GENERAL NOTES:

- 1. CIRCUIT ALL EMERGENCY FIXTURES, EMERGENCY LIGHTING CONTROL UNITS, AND EXIT SIGNS TO A LOCAL (ROOM) UNSWITCHED HOT CONDUCTOR.
- 2. REFER TO ARCHITECTURAL EXTERIOR ELEVATIONS FOR MOUNTING HEIGHTS FOR EXTERIOR BUILDING MOUNTED LIGHT FIXTURES.
- 3. ON ALL EXTERIOR BUILDING MOUNTED LIGHT FIXTURES, PROVIDE #10 AWG MINIMUM CONDUCTORS UNLESS NOTED OTHERWISE. APPLY SEALANT BETWEEN MOUNTING PLATE AND WALL SURFACE TO ENSURE A DRY J-BOX.
- 4. REFER TO ARCHITECTURAL FLOORING PLANS AND REFLECTED CEILING PLANS OF EXACT MOUNTING LOCATIONS OF ALL LIGHT FIXTURES AND WALL MOUNTED ELECTRICAL DEVICES.
- 5. PATCH AND REPAIR ALL OPENINGS CREATED THAT PENETRATE FIRE RATED WALLS, FLOORS AND CEILING USING UL APPROVED METHODS AND MATERIALS CONSISTENT WITH THE RATING OF THE SURFACE PENETRATED.
- 6. 120V BRANCH CIRCUITING SHALL BE AS FOLLOWS, UNLESS NOTED OTHERWISE:
- 0-100' = #12 AWG101'-150' = #10 AWG 151'-250' = #8 AWG
- 7. GROUND CONDUCTOR AND RACEWAYS SHALL BE INCREASED AS REQUIRED.
- 8. ALL CONDUIT SHALL BE CONCEALED IN CMU AND/ OR FRAMED WALLS UNLESS OTHERWISE NOTED.
- 9. FOR SPACES WITH NO CEILING(S) AND EXPOSED TO STRUCTURE (OTS), CONDUIT AND APPLICABLE DEVICES SHALL NOT BE MOUNTED TO BOTTOM OF BEAM(S). ROUTE PARALLEL TO EXPOSED BEAM(S) AS INDICATED, UNLESS APPROVED BY ARCHITECT/ENGINEER. SUBMIT A RACEWAY ROUTING PLAN FOR APPROVAL BY ARCHITECT/ENGINEER. NO ADDITIONAL COST TO OWNER WILL BE ALLOWED FOR CONDUIT RELOCATING DUE TO LACK OF COORDINATION WITH DESIGN TEAM.

PLAN NOTES:

- 1 CIRCUIT CONTINUED TO FLOOR BELOW.
- 2 ELEVATOR PIT LIGHT FIXTURE TO BE CONNECTED RECEPTACLE IN PIT. REFER TO POWER PLAN FOR ADDITIONAL INFORMATION.
- 3 EXTERIOR ACCENT LIGHTING PROVIDED AND INSTALLED BY OTHER. REFER TO FIXTURE SCHEDULE. REFER TO ARCHITECTURAL LIGHTING VENDOR PACKAGE FOR EXACT REQUIREMENTS.
- 4 CODE REQUIRED LOW LEVEL EXIT SIGN FOR GUESTROOM CORRIDORS. THE BOTTOM OF
 THE SIGN SHALL BE MOUNTED BETWEEN
 10-12" AFF, THE EDGE OF THE SIGN SHALL BE
 WITHIN 4" OF THE EXIT DOOR FRAME.

Everhome

3125 KETTLE CT. SE SALEM, OR 97301

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STRUCTURAL ENGINEER

Landscape Architect:

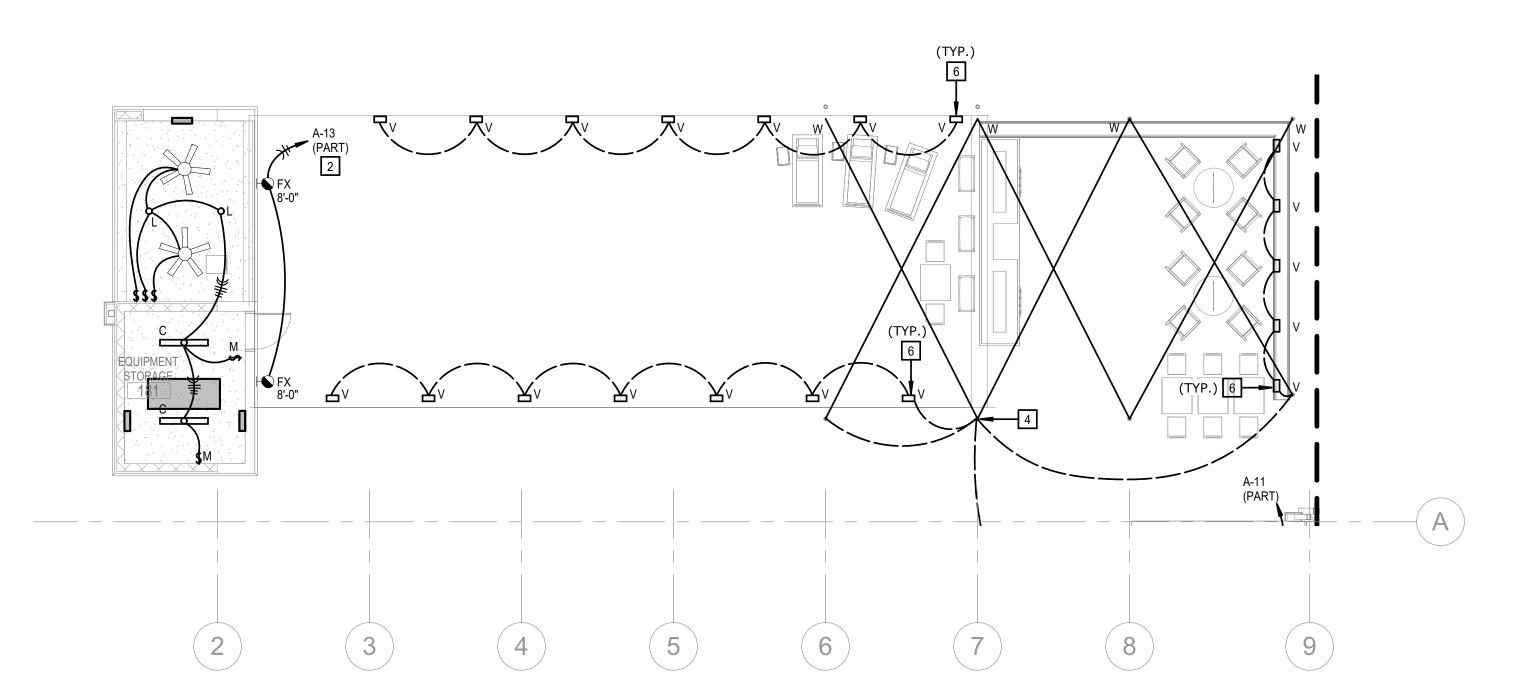
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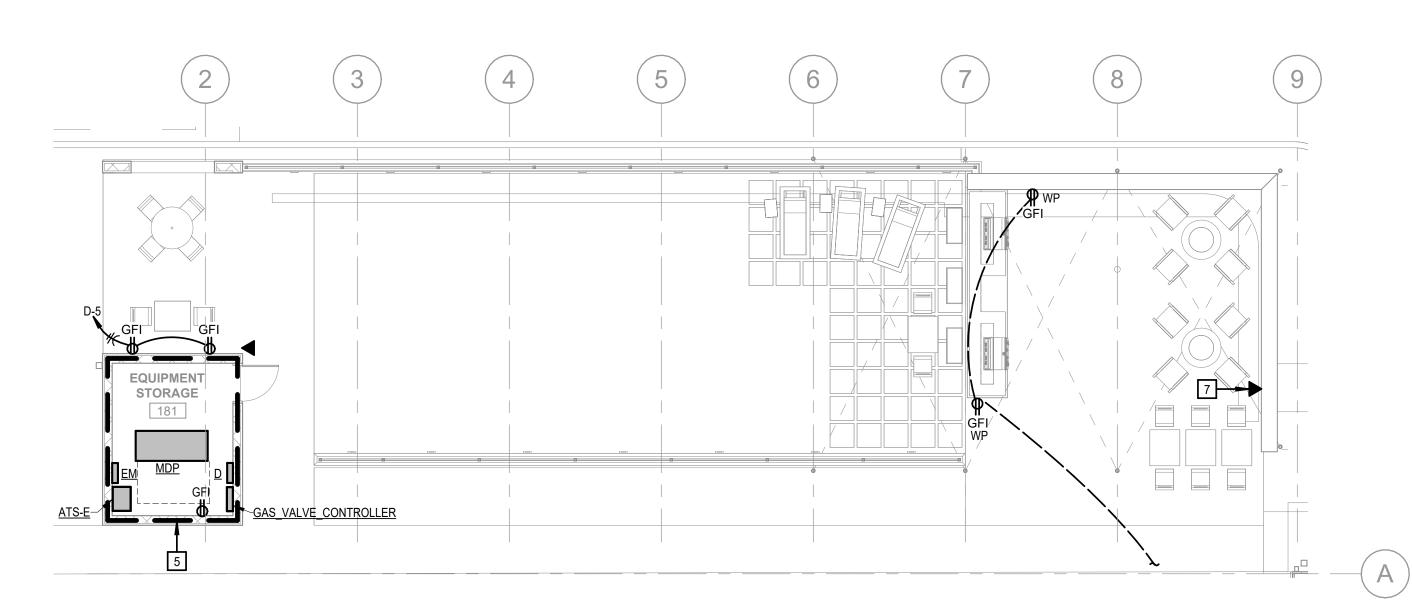
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LIGHTING PLAN -FOURTH FLOOR

E103





1 LIGHTING PLAN - AMENITY OPTION

POWER PLAN - AMENITY OPTION

1/8" = 1'-0" REF: M101 / 3

GENERAL NOTES:

- REFER TO ME SCHEDULES AND DETAILS FOR MECHANICAL/PLUMBING EQUIPMENT CIRCUITING.
- 2. ALL WALL MOUNTED DEVICE LOCATIONS SHALL BE COORDINATED BY THE GENERAL CONTRACTOR WITH ALL OTHER SUB-CONTRACTORS SO THAT THEY ARE INSTALLED IN AN ORDERLY MANNER (IE. LIGHT SWITCHES, RECEPTACLES, FIRE ALARM DEVICES, COMMUNICATION DEVICES, THERMOSTATS, ETC.). THE INTENT IS TO HAVE THE DEVICES THAT ARE AT DIFFERENT HEIGHTS ABOVE FINISHED FLOOR AND WITHIN 60" OF ONE ANOTHER HORIZONTALLY, BE INSTALLED ALIGNED VERTICALLY (IE. RECEPTACLES AND LIGHT SWITCHES OR THERMOSTATS AND FIRE ALARM VISUAL DEVICES) AND THE DEVICES AT THE SAME HEIGHTS ABOVE THE FINISHED FLOOR BE INSTALLED SIDE-BY-SIDE (IE. RECEPTACLES AND COMMUNICATION DEVICES OR LIGHT SWITCHES AND THERMOSTATS). AFTER METAL STUD FRAMING INSTALLATION, THE GENERAL CONTRACTOR SHALL COORDINATE AND PHYSICALLY MARK THE LOCATION OF ALL DEVICES WITH THE VARIOUS SUB-CONTRACTORS.A PRE-INSTALLATION MEETING SHALL THEN BE HELD WITH THE ARCHITECT /ENGINEER TO FIELD VERIFY DEVICE LOCATIONS.
- 3. PROVIDE (1) 1/2" CONDUIT FROM ALL THERMOSTAT/TEMPERATURE SENSORS TO ASSOCIATED HVAC EQUIPMENT. REFER TO MECHANICAL PLANS FOR LOCATIONS.
- 4. ALL CONDUIT SHALL BE CONCEALED IN CMU AND/ OR FRAMED WALLS UNLESS OTHERWISE
- 5. SPECIAL MOUNTING HEIGHTS NOTED ON PLANS ARE MEASURED TO THE CENTER OF THE JUNCTION BOX.
- 6. FOR SPACES WITH NO CEILING(S) AND EXPOSED TO STRUCTURE (OTS), CONDUIT AND APPLICABLE DEVICES SHALL NOT BE MOUNTED TO BOTTOM OF BEAM(S). ROUTE PARALLEL TO EXPOSED BEAM(S) AS INDICATED, UNLESS APPROVED BY ARCHITECT/ENGINEER. SUBMIT A RACEWAY ROUTING PLAN FOR APPROVAL BY ARCHITECT/ENGINEER. NO ADDITIONAL COST TO OWNER WILL BE ALLOWED FOR CONDUIT RELOCATING DUE TO LACK OF COORDINATION WITH DESIGN TEAM. NO ADDITIONAL COST TO OWNER WILL BE ALLOWED FOR CONDUIT RELOCATING DUE TO LACK OF COORDINATION WITH DESIGN TEAM.
- 7. 120V BRANCH CIRCUITING SHALL BE AS FOLLOWS, UNLESS NOTED OTHERWISE:

0-100' = #12 AWG 101-150' = #10 AWG 151-250' = #8 AWG

- 8. GROUND CONDUCTOR AND RACEWAYS SHALL BE INCREASED AS REQUIRED.PATCH AND REPAIR ALL OPENINGS CREATED THAT PENETRATE FIRE RATED WALLS, FLOORS AND CEILINGS USING UL APPROVED METHODS AND MATERIALS CONSISTENT WITH THE RATING OF THE SURFACE PENETRATED.
- NO OTHER DEVICES ON SAME CIRCUIT AS GFI RECEPTACLE SHALL BE FED DOWNSTREAM OF GFI LOAD TERMINALS.
- 10. CIRCUIT ALL EMERGENCY FIXTURES, EMERGENCY LIGHTING CONTROL UNITS, AND EXIT SIGNS TO A LOCAL (ROOM) UNSWITCHED HOT CONDUCTOR.
- 11. REFER TO ARCHITECTURAL EXTERIOR
 ELEVATIONS FOR MOUNTING HEIGHTS FOR
 EXTERIOR BUILDING MOUNTED LIGHT
 FIXTURES.
- 12. ON ALL EXTERIOR BUILDING MOUNTED LIGHT FIXTURES, PROVIDE #10 AWG MINIMUM CONDUCTORS UNLESS NOTED OTHERWISE. APPLY SEALANT BETWEEN MOUNTING PLATE AND WALL SURFACE TO ENSURE A DRY J-BOX.
- 13. REFER TO ARCHITECTURAL FLOORING PLANS
 AND REFLECTED CEILING PLANS OF EXACT
 MOUNTING LOCATIONS OF ALL LIGHT FIXTURES
 AND WALL MOUNTED ELECTRICAL DEVICES.
- 14. PATCH AND REPAIR ALL OPENINGS CREATED THAT PENETRATE FIRE RATED WALLS, FLOORS AND CEILING USING UL APPROVED METHODS AND MATERIALS CONSISTENT WITH THE RATING OF THE SURFACE PENETRATED.

PLAN NOTES:

- 1 COORDINATE POOL EQUIPMENT WITH SITE SPECIFIC VENDOR DRAWINGS. CIRCUIT EQUIPMENT TO PANEL 'D'.
- 2 ROUTE LIGHTING THROUGH LIGHTING CONTROL PANEL. REFER TO SCHEDULES FOR ADDITIONAL INFORMATION.
- 3 HAND DRYER ELECTRICAL CONNECTION.
- TYPE 'W' CATENARY LIGHT MOUNTING POST.
 COORDINATE HEIGHT WITH SITE SPECIFIC
 CONDTITIONS PRIOR TO ROUGH-IN. BASIS OF
 DESIGN IS RUGGEDGRADE 4" SQUARE STEEL
 LIGHT POLE WITH SHALLOW BASE. FOLLOW
 MANUFACTURERS DIRECTION FOR POLE
 INSTALLATION IN CONCRETE.
- 5 CONFIRM ELECTRICAL ROOM LOCATION WITH SITE SPECIFIC REQUIREMENTS.
- 6 REFER TO ARCHITECTURAL ELEVATIONS FOR EXACT MOUNTING LOCATIONS AND HEIGHTS.
- 7 FURNISH AND INSTALL WEATHERPROOF ENCLOSURE FOR HOUSE PHONE RECEPTACLE.

CONSTRUCTION • ARCHITECTURE

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Architect:

EVERHOME SUITES

Everhome Suites

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Landscape Architect:

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CONTROL

OF ORE

NOT FOR REGULATORY APPROVAL, PERMITTING OR CONSTRUCTION. Architect: Greg Klimko

4 Bulletin #4 12/28/23
1 Bulletin #1 1/31/22
No. Description Date

Drawn by: SBI
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LIGHTING AND
POWER PLANS OUTDOOR POOL AND
——AMENITY OPTION

E303