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SURVEY

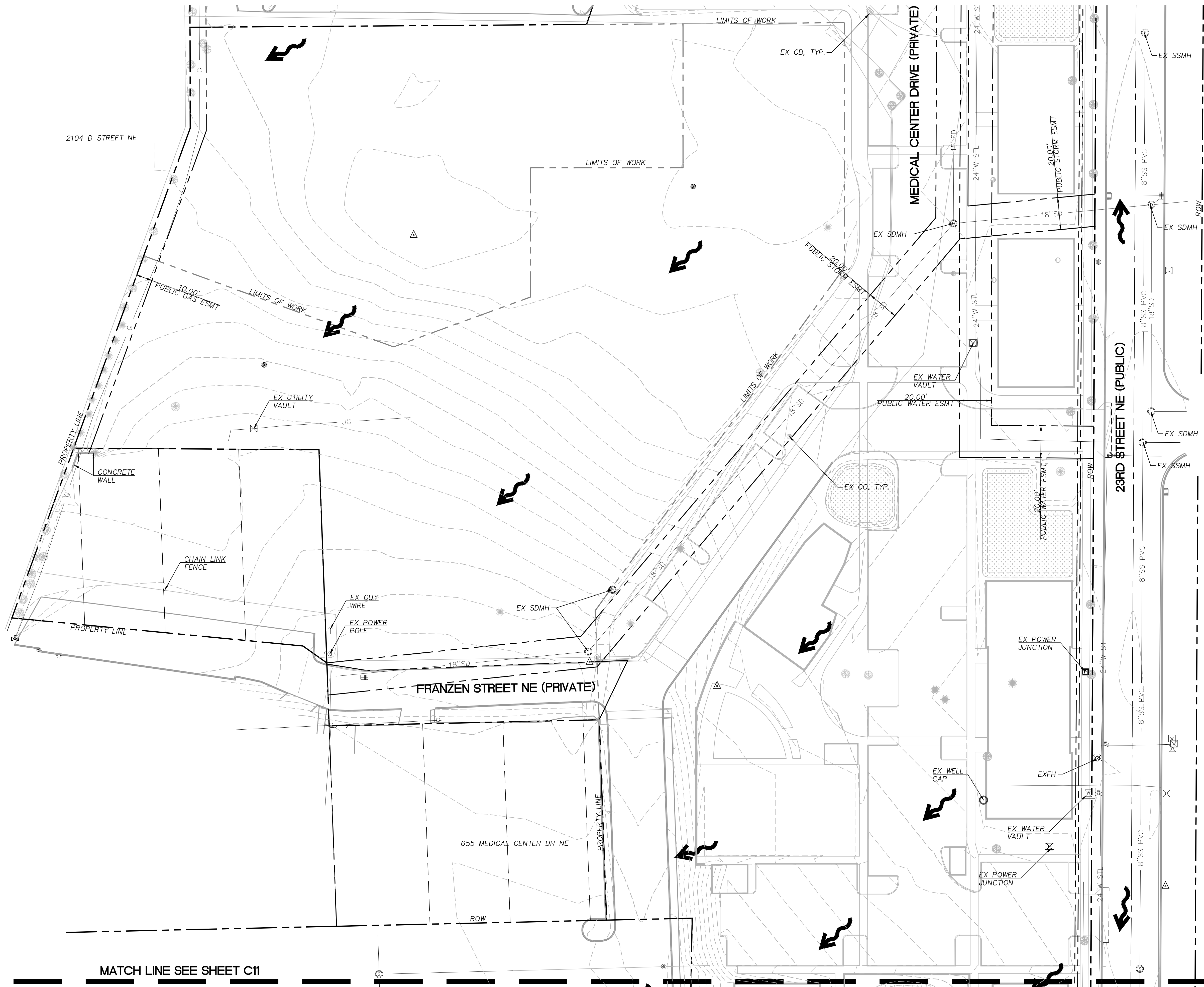
RICHARD H. KENNEDY
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SALEM APARTMENTS

LAND-USE REVIEW SET - PHASE 2

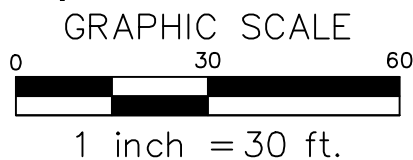
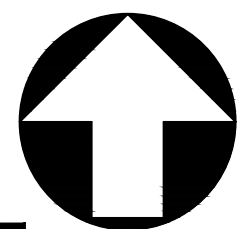
06/04/24



SHEET LEGEND		
ITEM	DESCRIPTION	REFERENCE
---	EXISTING CONTOUR	
→	DRAINAGE FLOW DIRECTION	

SHEET NOTES	
1.	EXISTING SITE AREA= 462,385 SF
2.	SITE IS NOT WITHIN 100-YEAR FLOOD BOUNDARY.

NOT FOR
CONSTRUCTION



MATCH LINE SEE SHEET C11

EXISTING CONDITIONS PLAN
SCALE: 1"=30'

SALEM APARTMENTS
891 23RD ST. NE SALEM, OR

CLIENT :
HOME FIRST
DEVELOPMENT/
GREEN LIGHT
DEVELOPMENT

ISSUE DATES:

JOB #: 2248
STATUS: LUR
PRINTED :
10/26/2023 12:19:05 PM

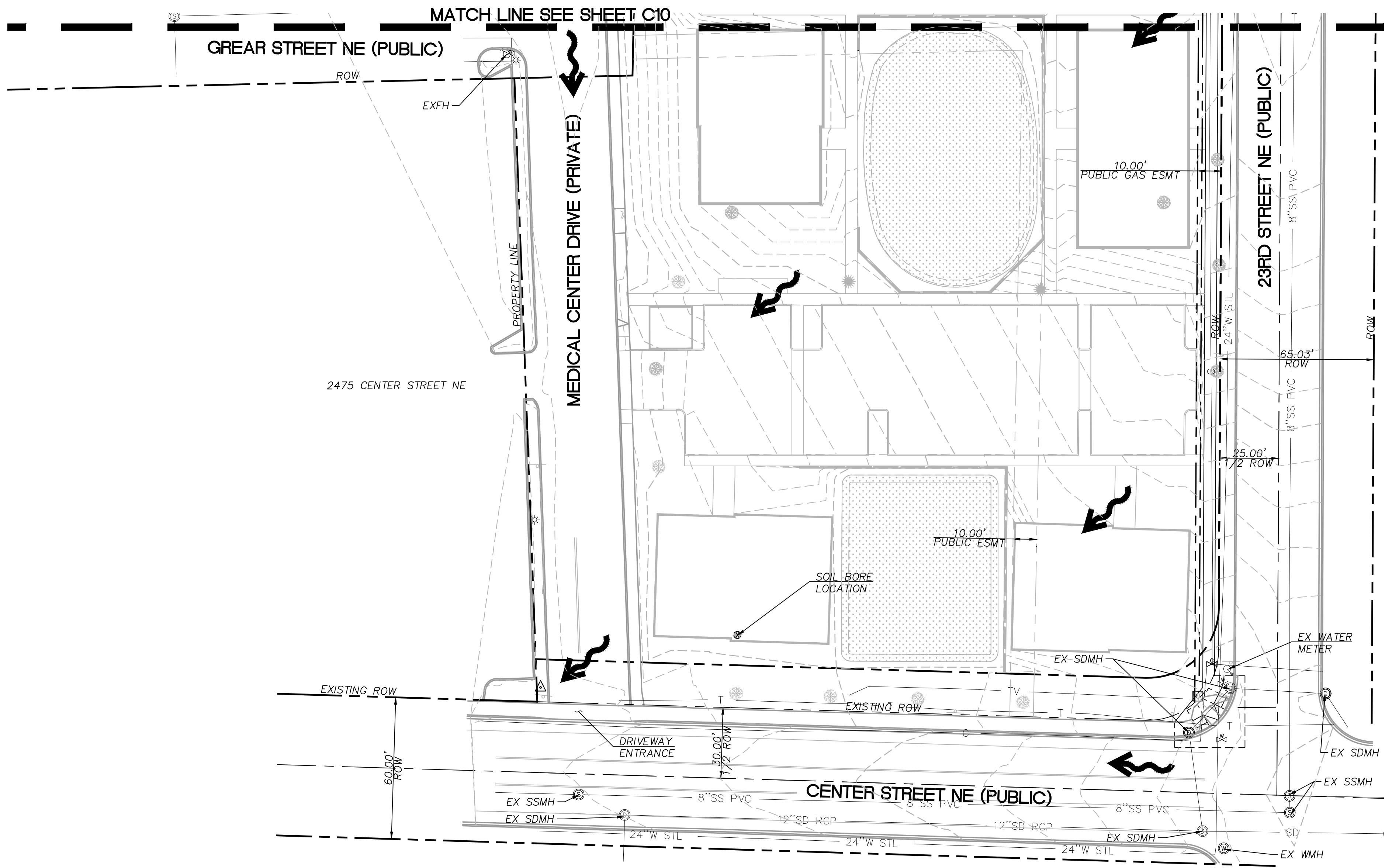
EXISTING
CONDITIONS PLAN

C11
ORIGINAL SHEET SIZE: 22"x34"

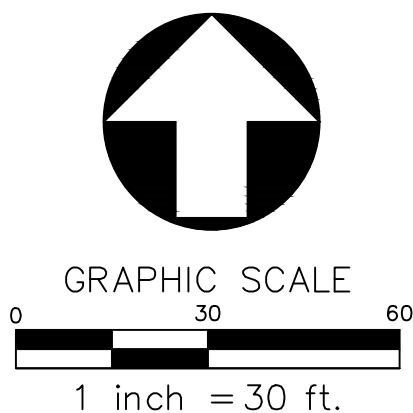
SHEET LEGEND		
ITEM	DESCRIPTION	REFERENCE
---	201---	EXISTING CONTOUR
	DRAINAGE FLOW DIRECTION	

SHEET NOTES

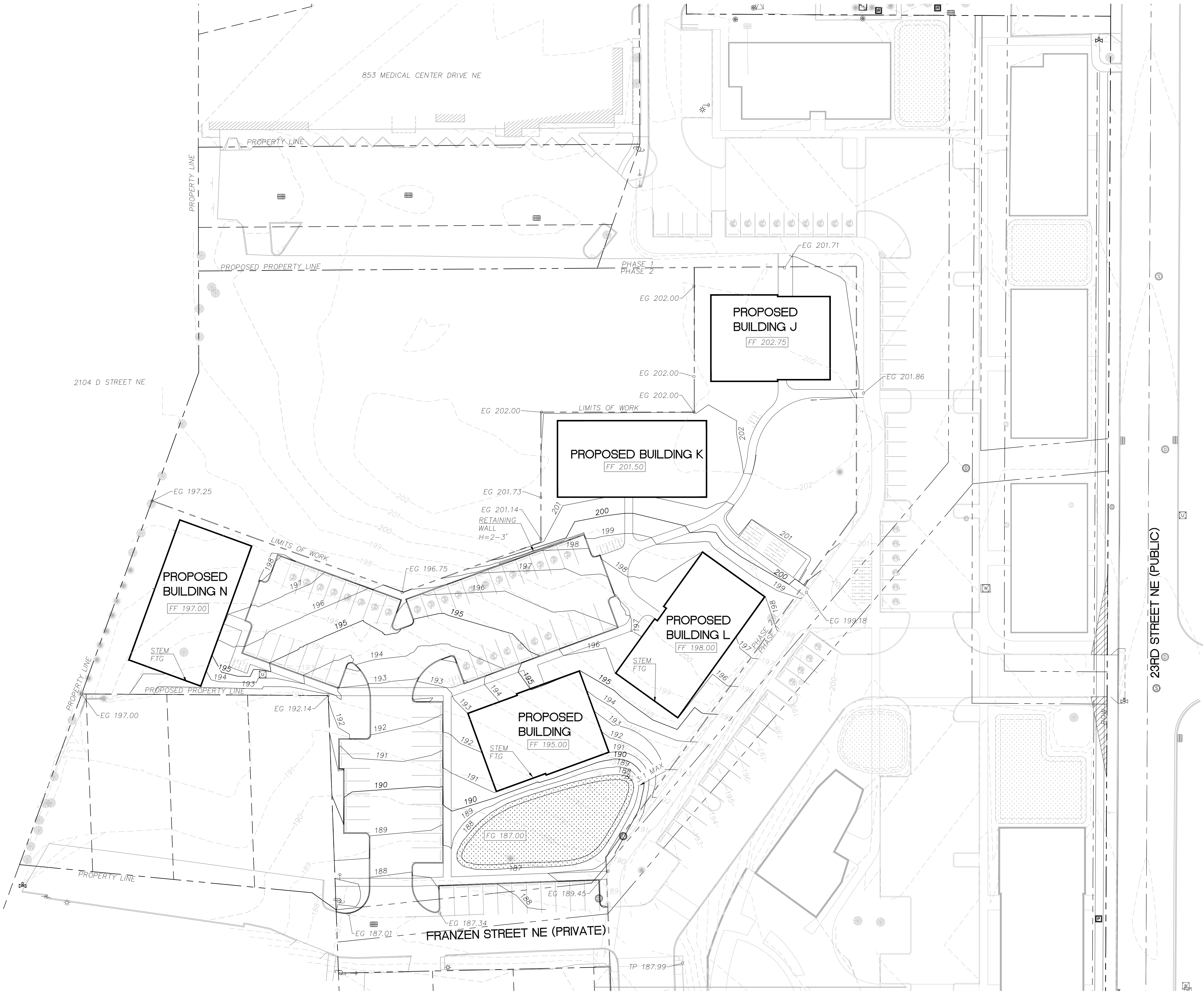
- EXISTING SITE AREA= 462,385 SF
- SITE IS NOT WITHIN 100-YEAR FLOOD BOUNDARY.



EXISTING CONDITIONS PLAN
SCALE: 1"=30'

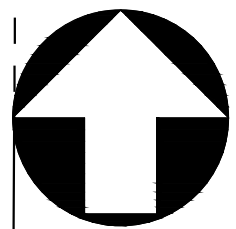


NOT FOR
CONSTRUCTION



GRADING PLAN
SCALE: 1"=30'

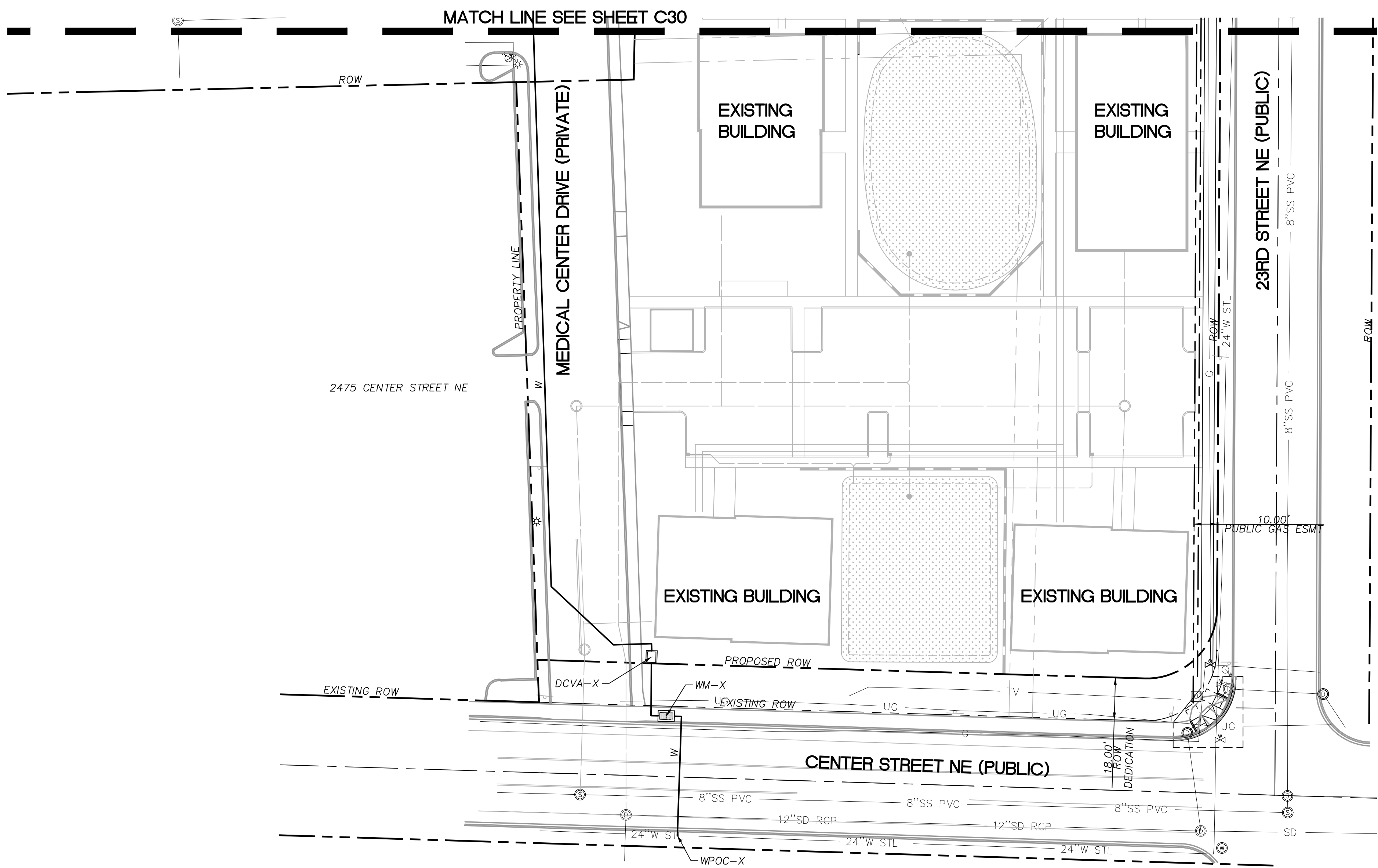
SHEET LEGEND		
	201	EXISTING CONTOUR
	201	PROPOSED CONTOUR
BS XXX.XX	GRADE AT BOTTOM OF STAIRS	
G XXX.XX	GRADE AT GUTTER	
TC XXX.XX	GRADE AT TOP OF CURB	
TP XXX.XX	GRADE AT TOP OF PAVEMENT	
TS XXX.XX	GRADE AT TOP OF STAIRS	
TF XXX.XX	GRADE AT TOP OF FOOTING	
FF XX.XX	FINISH FLOOR ELEVATION	
FG XXX.XX	FINISHED GRADE	
TW XXX.XX	GRADE AT TOP OF WALL	
EG XXX.XX	EXISTING GRADE	
(E)	EXISTING	
X.X%	SLOPE ARROW	
GB	GRADE BREAK	



GRAPHIC SCALE
0 30 60
1 inch = 30 ft.

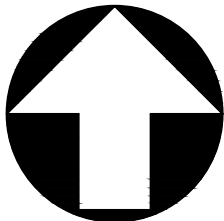
NOT FOR
CONSTRUCTION





WATER SCHEDULE		
ITEM	DESCRIPTION	REFERENCE
FDC	FIRE DEPARTMENT CONNECTION	
FH-1	FIRE HYDRANT ASSEMBLY, INSTALL PER COUNTY STANDARDS, MINIMUM 3' FROM CURB FACE	
WPOC-X	WATER POINT OF CONNECTION	
DCDA-X	DOUBLE CHECK DETECTOR ASSEMBLY	
DCDA-X	DOUBLE CHECK VALVE ASSEMBLY	
WM-X	WATER METER	

UTILITY PLAN
SCALE: 1"=30'



GRAPHIC SCALE
0 30 60
1 inch = 30 ft.

NOT FOR
CONSTRUCTION



SALEM APARTMENTS

CLIENT :
HOME FIRST
DEVELOPMENT/
GREEN LIGHT
DEVELOPMENT

ISSUE DATES:	

JOB # : 2248
STATUS : LUR
PRINTED :
10/26/2023 12:19:05 PM

SALEM APARTMENTS: PHASE 2

891 23RD STREET NE
SALEM, OREGON

DRAWINGS FOR:

GREEN LIGHT HOME FIRST
DEVELOPMENT PARTNERS
CONTACT: TIM LAWLER
503 . 528 . 6129

LANDSCAPE ARCHITECT:

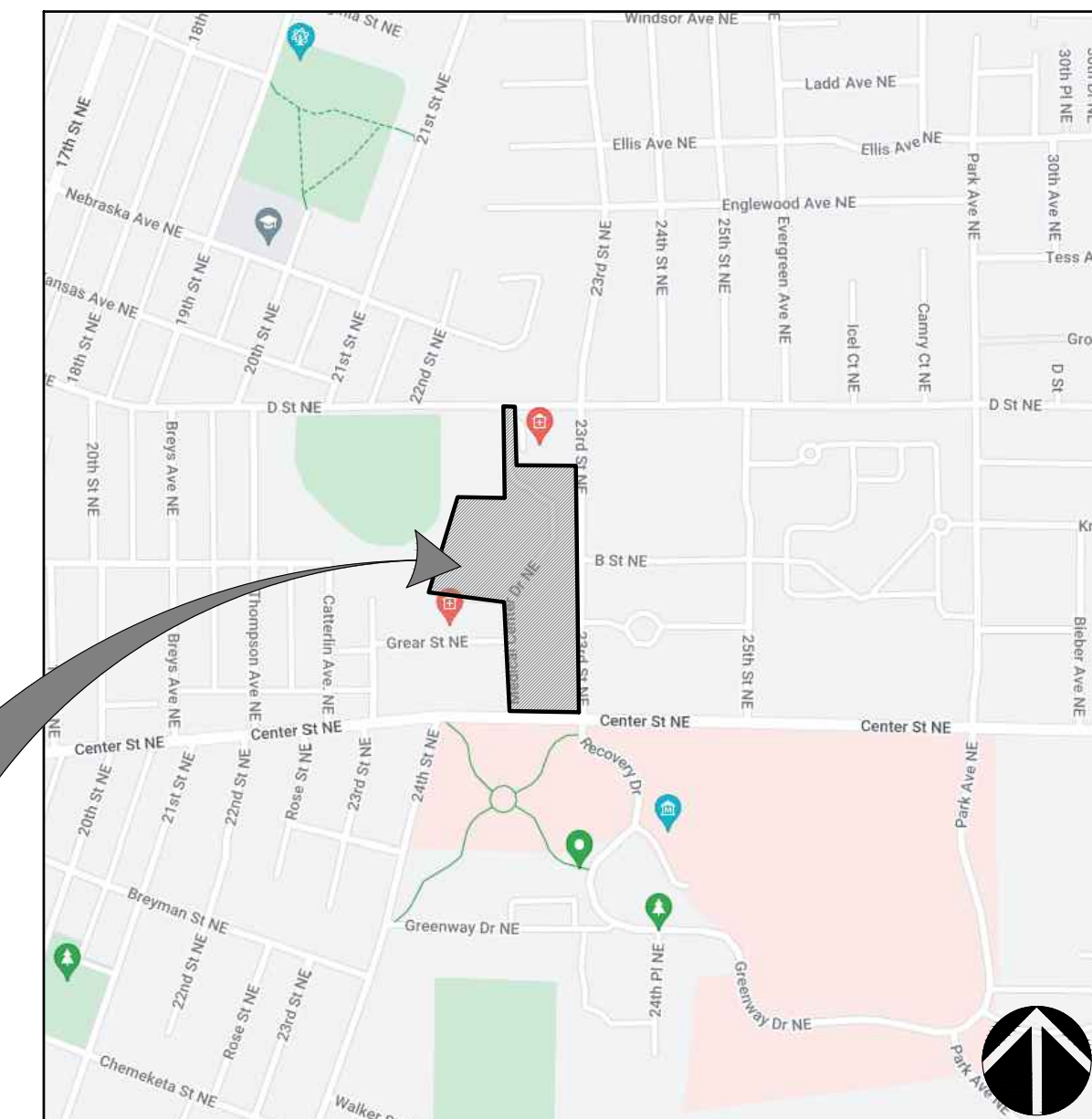
LAURUS DESIGNS, LLC
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CALL BEFORE YOU DIG:
1.800.332.2344
www.callbeforeyoudig.org

SHEET INDEX:

- L10 COVER SHEET
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- L21 PRELIMINARY PLANT SCHEDULE

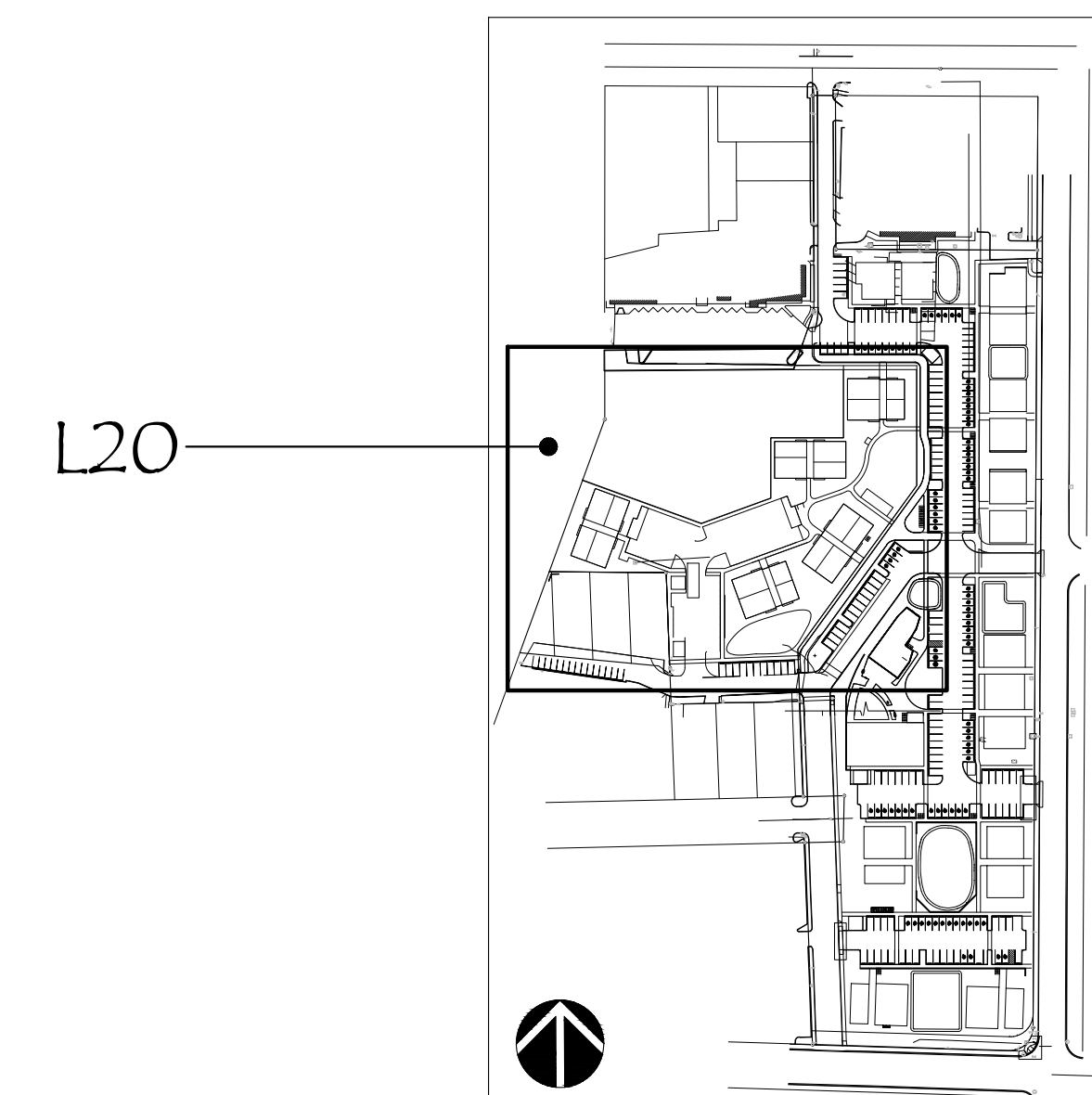
VICINITY MAP:



MAP COURTESY OF GOOGLE

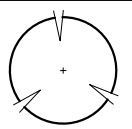
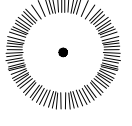
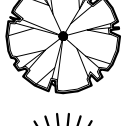
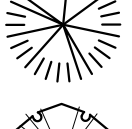
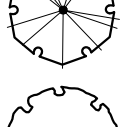
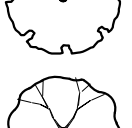
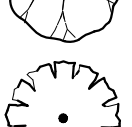
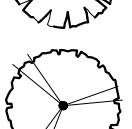
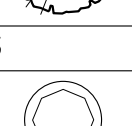
PROJECT
SITE

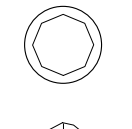
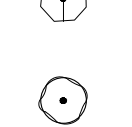
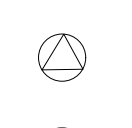
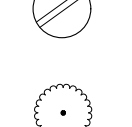
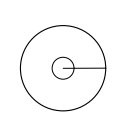
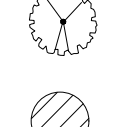
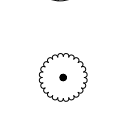
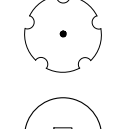
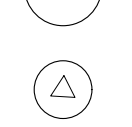
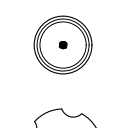
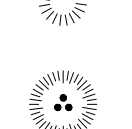
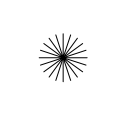
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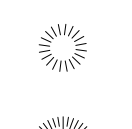
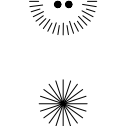




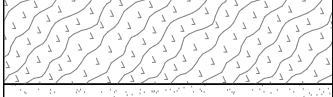
Preliminary Plant Schedule

TREES	QTY	BOTANICAL / COMMON NAME	SIZE
	10	Stormwater Tree to be Determined	1 1/2" Cal., B&B Stormwater Tree
	11	Abies alba "Pyramidalis" / Narrow Silver Fir	6'-8" Ht., B&B
	5	Cercidiphyllum japonicum / Katsura Tree	1 1/2" Cal., B&B
	7	Chamaecyparis nootkatensis "Glauca Pendula" / Weeping Nootka False Cypress	6'-8" Ht., B&B
	2	Cladrastis lutea / American Yellowwood	1 1/2" Cal., B&B
	13	Ginkgo biloba 'Golden Colonnade' / Golden Colonnade Maidenhair Tree	1 1/2" Cal., B&B
	18	Nyssa sylvatica "Wildfire" / Black Gum	1 1/2" Cal., B&B
	5	Tilia tomentosa 'Sterling' / Sterling Silver Linden	1 1/2" Cal., B&B
	9	Zelkova serrata "Green Vase" / Sawleaf Zelkova	1 1/2" Cal., B&B

SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE
	51	Abelia x grandiflora 'Sherwoodii' / Sherwood Glossy Abelia	2 Gal.
	20	Berberis thunbergii "Atropurpurea Nana" / Dwarf Redleaf Japanes Barberry	2 Gal.
	19	Cornus sericea "Kelseyi" / Kelseyi Dogwood	2 Gal.
	3	Ilex crenata "Sky Pencil" / Sky Pencil Japanese Holly	24"-36" Ht.
	111	Ilex crenata "Soft Touch" / Soft Touch Japanese Holly	2 Gal.
	46	Leucothoe fontanesiana 'Zebliä' / Scarlettä Drooping Leucothoe	2 Gal.
	28	Ligustrum japonicum "Texanum" / Texas Japanese Privet	5 Gal.
	33	Lonicera pileata / Privet Honeysuckle	2 Gal.
	52	Mahonia aquifolium 'Compacta' / Compact Oregon Grape	2 Gal.
	38	Nandina domestica "Fire Power" / Firepower Nandina	2 Gal.
	7	Prunus laurocerasus 'Otto Luyken' / Otto Luyken English Laurel	5 Gal.
	68	Rhaphiolepis umbellata 'Snow White' / Yedda Hawthorn	5 Gal.
	34	Rosa x 'KO Double' / Pink Double Knockout Rose	2 Gal.
	46	Sarcococca confusa / Fragrant Sarcococca	2 Gal.
	4	Weigela florida "Alexandra" TM / Wine and Rose Weigela	5 Gal.

GRASSES/PERENNIALS	QTY	BOTANICAL / COMMON NAME	SIZE
	18	Calamagrostis x acutiflora "Karl Foerster" / Feather Reed Grass	1 Gal.
	32	Miscanthus sinensis "Yakushima" / Dwarf Maiden Grass	1 Gal.
	23	Pennisetum alopecuroides "Hameln" / Hameln Fountain Grass	1 Gal.
	60	Pennisetum alopecuroides "Burgundy Bunny" / Burgundy Bunny Dwarf Fountain Grass	1 Gal.

SHRUB AREAS	QTY	BOTANICAL / COMMON NAME	SIZE AND NOTES	SPACING
	64	Prunus laurocerasus 'Mount Vernon' / Mount Vernon English Laurel	1 Gal.	48" o.c.

GROUND COVERS	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING
	116	Arctostaphylos uva-ursi "Massachusetts" / Massachusetts Kinnikinnick	1 gal.	30" o.c.
	70	Rubus pentalobus "Emerald Carpet" / Emerald Carpet Creeping Raspberry	None	48" o.c.
	16,145 sf	ProTime 301 Water Smarter Fescue	Seed or Sod	

Stormwater Planter Planting Requirements

FACILITY NUMBER	FACILITY SF	TREATMENT SF	TREES	SMALL TREES/ LARGE SHRUBS	SMALL SHRUBS	GROUND COVERS
TBD	TBD	TBD	TBD	TBD	TBD	TBD

Requirements per 100 SF
1 Tree –OR–
4 Large Shrubs –OR–
6 Small Shrubs
Grasses, Herbs and Ground Cover for complete coverage
2" Pea Gravel Zone 1

General Landscape Planting Requirements: Type A

REQUIRED PLANTS:	1 PLANT PER 20 SQUARE FEET = 1 PLANT UNIT (PU)
1 MATURE TREE = 15 PU 1 SHADE TREE = 10 PU 1 EVERGREEN TREE = 5 PU 1 ORNAMENTAL TREE = 2 PU 1 LARGE SHRUB = 2 PU 1 SMALL/MEDIUM SHRUB = 1 PU LAWN/GROUND COVER = 1 PU PER 50 SF	

LANDSCAPE SQUARE FOOTAGE = 29,558 SF NUMBER OF REQUIRED PUs = 1478 PU 40% PU REQUIRED AS TREES = 591 PU		
Plants	# of Plants	Plant Units
Mature Tree	1	15
Shade Tree	49	490
Evergreen Tree	18	90
Ornamental Tree	-	-
Large Shrubs	87	174
Small / Medium Shrubs	429	429
Lawn / Groundcover	17,782 sf	356
Total Plant Units*		1554

*Includes Plants in Stormwater Facilities

Interior Parking Landscape Planting Requirements: Type A

REQUIRED PLANTS:	1 PLANT PER 20 SQUARE FEET = 1 PLANT UNIT (PU)
1 MATURE TREE = 15 PU 1 SHADE TREE = 10 PU 1 EVERGREEN TREE = 5 PU 1 ORNAMENTAL TREE = 2 PU 1 LARGE SHRUB = 2 PU 1 SMALL/MEDIUM SHRUB = 1 PU LAWN/GROUND COVER = 1 PU PER 50 SF	

LANDSCAPE SQUARE FOOTAGE = 1,972 SF NUMBER OF REQUIRED PUs = 99 PU 40% PU REQUIRED AS TREES = 40 PU		
Plants	# of Plants	Plant Units
Shade Tree	8	80
Large Shrubs	-	-
Small / Medium Shrubs	106	106
Lawn / Groundcover	338 sf	7
Total Plant Units		193

General Notes:

- DRAWINGS ARE PRELIMINARY, NOT FOR CONSTRUCTION OR BIDDING.
- SEE ARCHITECTURAL DRAWINGS FOR SITE PLAN, AREA CALCULATIONS AND COMMON AREAS.
- SEE CIVIL DRAWINGS FOR GRADING PLAN AND STORMWATER INFORMATION.
- PLANTS TO BE SIZED ACCORDING TO CITY OF SALEM REQUIREMENTS FOR GENERAL PLANTING PLAN AND STORMWATER FACILITIES.
- STORMWATER FACILITY PLANTINGS TO FOLLOW CITY OF SALEM STORMWATER PLATING REQUIREMENTS. PLANTS TO BE SELECTED FROM APPROVED PLANT LIST.
- PRELIMINARY PLANTING PLAN SEE SHEET L20.
- LANDSCAPE TO BE IRRIGATED BY AN UNDERGROUND AUTOMATIC SYSTEM DESIGNED BY THE LANDSCAPE ARCHITECT.

West Setback Planting Requirements: Type C

REQUIRED PLANTS:	1 PLANT PER 20 SQUARE FEET = 1 PLANT UNIT (PU)	6' HT. FENCE
1 MATURE TREE = 15 PU 1 SHADE TREE = 10 PU 1 EVERGREEN TREE = 5 PU 1 ORNAMENTAL TREE = 2 PU 1 LARGE SHRUB = 2 PU 1 SMALL/MEDIUM SHRUB = 1 PU LAWN/GROUND COVER = 1 PU PER 50 SF		

LANDSCAPE SQUARE FOOTAGE = 2,479 SF NUMBER OF REQUIRED PUs = 124 PU 40% PU REQUIRED AS TREES = 50 PU		
Plants	# of Plants	Plant Units
Mature Tree	9	135
Shade Tree	-	-
Evergreen Tree	-	-
Ornamental Tree	-	-
Large Shrubs	6	12
Small / Medium Shrubs	-	-
Lawn / Groundcover	620 sf	12
Total Plant Units		159

Perimeter Parking Landscape Planting Requirements: Type A

REQUIRED PLANTS:	1 PLANT PER 20 SQUARE FEET = 1 PLANT UNIT (PU)
1 MATURE TREE = 15 PU 1 SHADE TREE = 10 PU 1 EVERGREEN TREE = 5 PU 1 ORNAMENTAL TREE = 2 PU 1 LARGE SHRUB = 2 PU 1 SMALL/MEDIUM SHRUB = 1 PU LAWN/GROUND COVER = 1 PU PER 50 SF	

LANDSCAPE SQUARE FOOTAGE = 1,980 SF NUMBER OF REQUIRED PUs = 99 PU 40% PU REQUIRED AS TREES = 40 PU		
Plants	# of Plants	Plant Units
Shade Tree	4	40
Large Shrubs	14	28
Small / Medium Shrubs	50	50
Lawn / Groundcover	-	-
Total Plant Units		118

MU-I CODE REQUIREMENTS	PROPOSED
BUILDINGS (1) MAXIMUM 10-FT SETBACK APPLIES IF THE SETBACK IS USED FOR PED AMENITIES. B) FOR DOUBLE FRONTAGE LOTS, THE SETBACK ABUTTING A STREET SHALL ONLY APPLY TO THE STREET W/ THE HIGHEST STREET CLASSIFICATION OR WHERE BOTH HAVE THE SAME CLASSIFICATION, THE STREET DESIGNATED BY THE APPLICANT. NO MIN OR MAX IS REQ ABUTTING THE OTHER STREET	N/A
HEIGHT MAX 65' MIN 20' MAY PROVIDE A FALSE FRONT, PROMINENT ENTRY, CUPOLA, OR REVERSE SHED TO MEET THIS REQUIREMENT.	MET BLDG 1 (COMMON) >20' BLDGS 2-18 (RES) <65' ACCESS. STRUC. = EXEMPT
BUILDING FRONTAGE MIN 75% FOR CORNER LOTS, THIS STANDARD MUST BE MET ON THE FRONTAGE OF THE STREET W/ THE HIGHEST CLASSIFICATION. THE INTERSECTING STREET HAS A 40% MIN STANDARD	N/A
533-6 PED ORIENTED DESIGN GROUND FLOOR HEIGHT ON PRIMARY STREETS 14 FT MIN. (FLOOR TO CEILING) SEPARATION OF GROUND FLOOR USES FOR RES USE VERTICAL OR HORIZ SEPARATION IS REQ FROM PUBLIC ROW VERTICAL DISTANCE MIN 1.5' MAX 3' HORIZONTAL DIST MIN 5' MAX 10' SHALL TAKE THE FORM OF LANDSCAPED AREA OR PLAZA	N/A
BUILDING FACADE ARTICULATION (2) BLDGS SHALL INCORPORATE VERTICAL AND HORIZONTAL ARTICULATION AND SHALL DIVIDE VERTICAL MASS INTO A BASE, MIDDLE, AND TOP. A) BASE: GROUND FLOOR FACADES: 1. CHANGE IN MATERIALS 2. CHANGE IN COLOR 3. MOLDING OR OTHER HORIZONTALLY-ARTICULATED TRANSITION PIECE B) MIDDLE; INCORPORATED AT A MIN OF EVERY 50' AT LEAST ONE OF THE FOLLOWING 1. RECESSES OF A MIN DEPTH OF 2' 2. EXTENSIONS OF A MIN DEPTH OF 2' 3. VERTICALLY-ORIENTED WINDOWS 4. PILASTERS C) TOP 1. CORNICE A MIN OF 8" TALL AND 3" BEYOND FACE OF FACADE 2. CHANGE IN MATERIAL FROM THE UPPER FLOORS, 8" TALL 3. OFFSETS OR BREAKS IN ROOF ELEVATION, A MIN OF 3' HIGH 4. A ROOF OVERHANG A MIN OF 8" DEEP	MET 1,2, & 3 PROVIDED MET 2 & 3 PROVIDED MET 4 PROVIDED
GROUND FLOOR WINDOWS (APPLIES TO PRIMARY STREETS) MIN 65% ONLY TRANSPARENT WINDOWS COUNT	N/A
BUILDING ENTRANCES (APPLIES TO PRIMARY STREETS) 2) FOR RESIDENTIAL USES ON GROUND FLOOR, A PRIMARY BLDG ENTRANCE FOR EACH BLDG FACADE FACING A PRIMARY STREET SHALL BE LOCATED ON THE PRIMARY STREET. 3) BLDG ENTRANCES SHALL INCLUDE WEATHER PROTECTION	N/A
WEATHER PROTECTION (APPLIES TO GROUND FLOORS ADJACENT TO STREET) MIN 75% 1) AWNINGS OR CANOPIES 2) MIN CLEARANCE OF 8' ABOVE GROUND SURFACE. MAY ENCROACH INTO PUBLIC ROW.	N/A
PARKING BEHIND OR BESIDE STRUCTURES, NOT BETWEEN STRUCTURE AND STREET	N/A
MECH EQUIPMENT 1) GROUND LEVEL EQUIPMENT SHALL BE SCREENED W/ LANDSCAPING OR SITE OBSCURING FENCE OR WALL; LOCATED BEHIND OR BESIDE BLDGS 2) ROOF TOP EQUIP (OTHER THAN SOLAR) SHALL BE SET BACK OR SCREENED SO AS NOT TO BE VISIBLE TO A PERSON STANDING AT GROUND LEVEL 60' AWAY.	MET PTAC UNITS WILL BE USED THROUGHOUT THE PROJECT

PROJECT INFO: 891 23RD ST NE - PHASE II TAX ID: 527113 (4000) SIZE: 143,763 SF (3.3 ACRES) ZONE: MU-I	BIKE PARKING SUMMARY REQUIRED RATIO: NUMBER OF UNITS: REQUIRED NO. OF SPACES:
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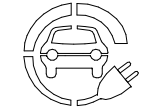
UNIT AND PARKING SUMMARY	TOTAL SPACES PROVIDED: LT PARKING PROVIDED IN UNIT:
	ST PARKING PROVIDED AT BLDGS (6/BLDG)
	ST PARKING AT COMMON AREAS:
	ST COVERED BIKE PARKING CORRAL SPACES:
	BIKE PARKING 3: 24

60	TOTAL UNITS
PARKING : 67 PARKING SPACES (1.1 PER UNIT) 50 STANDARD (INCLUD. 2 ADA AND 1 LOADING SPACES) 17 COMPACT	

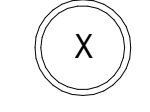
EV PARKING	
TOTAL PARKING:	67 SPACES
EV ENABLED PARKING REQ:	27 SPACES MIN (66x0.40)
EV ENABLED PARKING PROVIDED:	27 SPACES



PARKING SPACE WITH LEVEL 2 EV CHARGING INSTALLED
(VIA FLO-CORE+ DUAL PORT EV CHARGER)

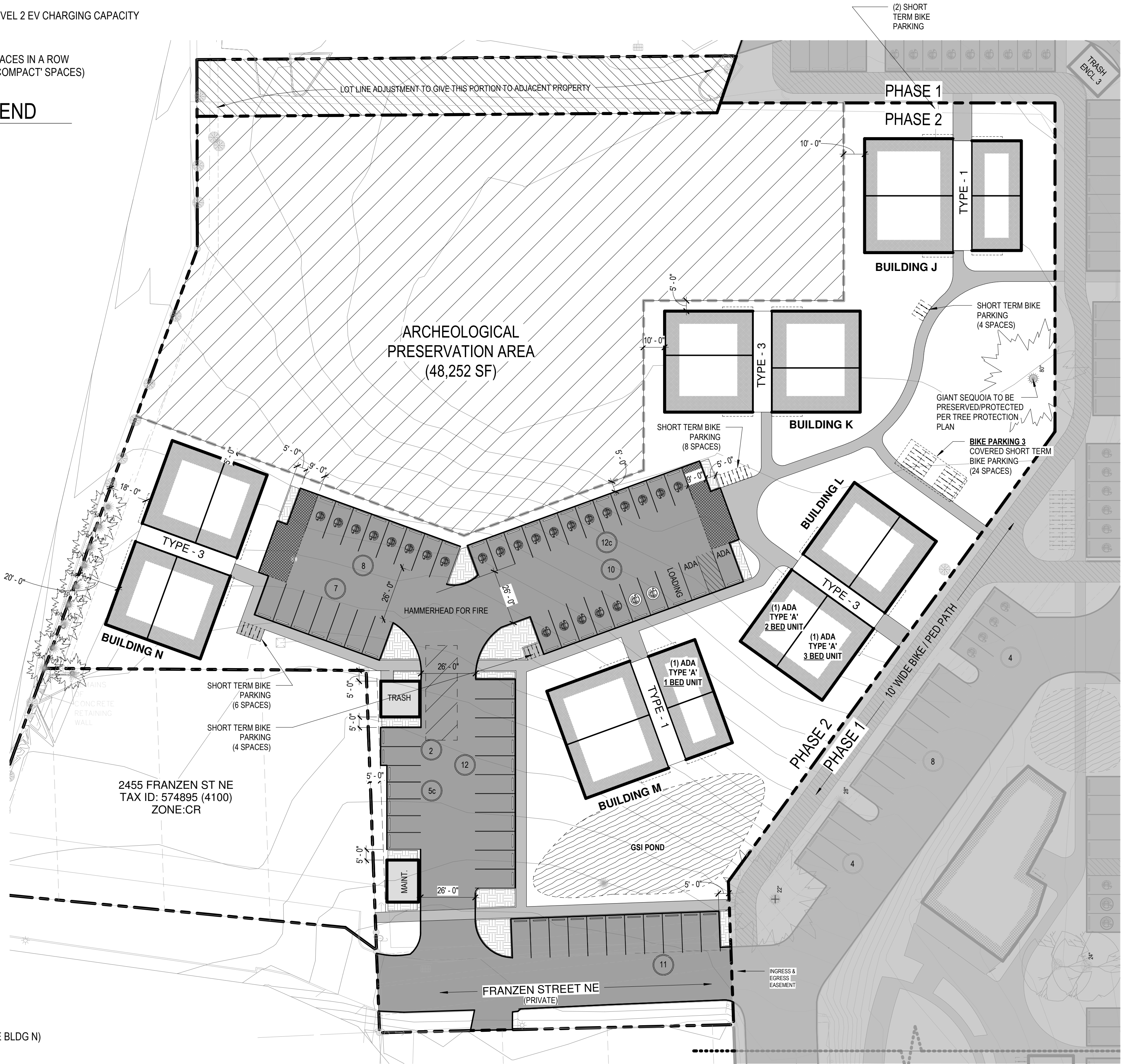


PARKING SPACE WITH LEVEL 2 EV CHARGING CAPACITY



NUMBER OF PARKING SPACES IN A ROW
(A "c" SUFFIX DENOTES 'COMPACT' SPACES)

LU SITE PLAN LEGEND



^{A12}
1 PROPOSED SITE PLAN - PHASE II

SCALE: 1" = 30'-0"

PARKING LANDSCAPE AREA: 1933 SF (24,170 x 0.08)
(INCLUDING PARKING SPACES, AISLES, PLANTING ISLANDS, CORNER AREAS, AND CURBED AREAS, BUT NOT INCLUDING INTERIOR DRIVEWAYS.)

INTERIOR PARKING LANDSCAPE AREA PROVIDED: 1950 SF (>1933 SF REQ)

.A24
1 GROUND FLOOR - BUILDING TYPE 3
SCALE: 1/8" = 1'-0"

3 BEDROOM UNIT:
1.5 BATHROOMS
AREA: 1134 SF

2 BEDROOM UNIT:
1 BATHROOM
AREA: 882 SF

2 BEDROOM UNIT:
1 BATHROOM
AREA: 882 SF

3 BEDROOM UNIT (@ RISER ROOM):
1.5 BATHROOMS
AREA: 1118 SF

.A24
2 GROUND FLOOR - BLDG TYPE 1
SCALE: 1/8" = 1'-0"

3 BEDROOM UNIT (@ RISER ROOM):
1.5 BATHROOMS
AREA: 1118 SF

3 BEDROOM UNIT:
1.5 BATHROOMS
AREA: 1134 SF

1 BEDROOM UNIT:
1 BATHROOM
AREA: 600 SF

1 BEDROOM ADA UNIT:
1 ADA BATHROOM
AREA: 600 SF

BUILDING TYPE 1

QUANTITY OF TYPE 1 BUILDINGS : 2			
# OF 1 BED, 1 BATH UNITS PER BLDG :	6	(602 SF / UNIT 1ST FL; 628 SF / UNIT 2ND & 3RD FL)	
# OF 3 BED, 1.5 BATH UNITS PER BLDG :	5	(1,134 SF / UNIT 1ST FL; 1,163 SF / UNIT 2ND & 3RD FL)	
# OF 3 BED, 1.5 BATH UNITS @ RISER RM :	1	(1,118 SF @ 1ST FLOOR FIRE SPRINKLER RISER ROOM)	
FIRST FLOOR	TOTAL UNIT AREA (PER FLOOR) (3,472 SF)	EXT. COVERED BREEZEWAY (PER FLOOR) (335 SF)	TOTAL AREA (PER FLOOR) (3,807 SF)
SECOND FLOOR	(3,582 SF)	(335 SF)	(3,917 SF)
THIRD FLOOR	(3,582 SF)	(335 SF)	(3,917 SF)
TOTALS	10,636 SF	1,005 SF	11,641 SF

BUILDING TYPE 3

QUANTITY OF TYPE 3 BUILDINGS : 3			
# OF 2 BED, 1 BATH UNITS PER BLDG :	6	(882 SF / UNIT 1ST FL; 911 SF / UNIT 2ND & 3RD FL)	
# OF 3 BED, 1.5 BATH UNITS PER BLDG :	5	(1,134 SF / UNIT 1ST FL; 1,163 SF / UNIT 2ND & 3RD FL)	
# OF 3 BED, 1.5 BATH UNITS @ RISER RM :	1	(1,118 SF @ 1ST FLOOR FIRE SPRINKLER RISER ROOM)	
FIRST FLOOR	TOTAL UNIT AREA (PER FLOOR) (4,032 SF)	EXT. COVERED BREEZEWAY (PER FLOOR) (309 SF)	TOTAL AREA (PER FLOOR) (4,341 SF)
SECOND FLOOR	(4,148 SF)	(309 SF)	(4,457 SF)
THIRD FLOOR	(4,148 SF)	(309 SF)	(4,457 SF)
TOTALS	12,328 SF	927 SF	13,255 SF

BUILDING AREA CALCS - PHASE 2

SCALE: 1/2" = 1'-0"

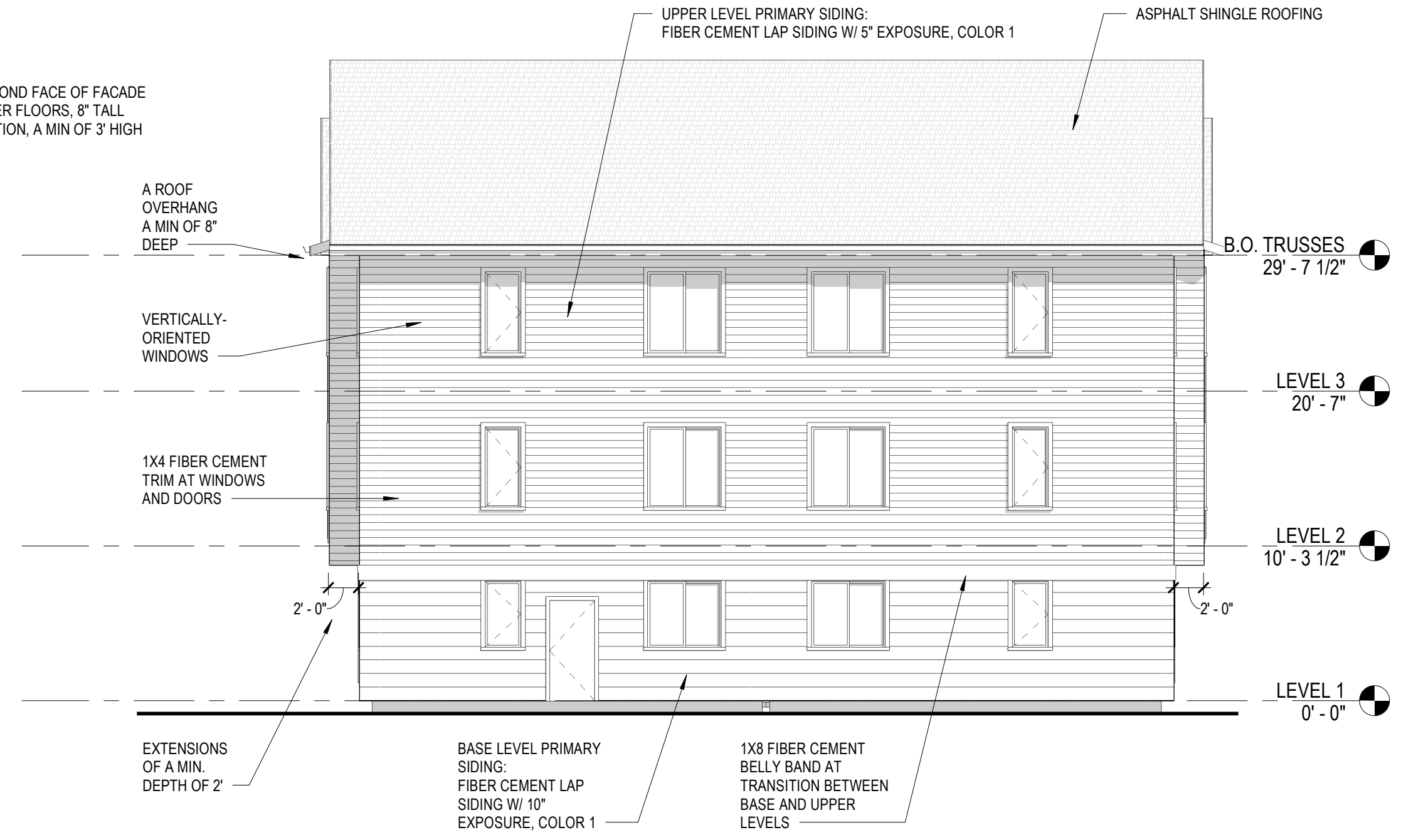
ACCESSORY STRUCTURES

BIKE PARKING STRUCTURES: BIKE PARKING 3: 518 SF	518 SF TOTAL
TRASH ENCLOSURES: TRASH ENCL. 4: 315 SF	315 SF TOTAL
MAINTENANCE BUILDINGS: MAINT. BLDG. 2: 330 SF	330 SF TOTAL

- BUILDING FACADE ARTICULATION**
(2) BLDGS SHALL INCORPORATE VERTICAL AND HORIZONTAL ARTICULATION AND SHALL DIVIDE VERTICAL MASS INTO A BASE, MIDDLE, AND TOP.
- A) BASE: GROUND FLOOR FACADES:
1. CHANGE IN MATERIALS
 2. CHANGE IN COLOR
 3. MOLDING OR OTHER HORIZONTALLY-ARTICULATED TRANSITION PIECE
- B) MIDDLE: INCORPORATED AT A MIN OF EVERY 50' AT LEAST ONE OF THE FOLLOWING
1. RECESSES OF A MIN DEPTH OF 2'
 2. EXTENSIONS OF A MIN DEPTH OF 2'
 3. VERTICALLY-ORIENTED WINDOWS
 4. PILASTERS
- C) TOP
1. CORNICE A MIN OF 8" TALL AND 3" BEYOND FACE OF FACADE
 2. CHANGE IN MATERIAL FROM THE UPPER FLOORS, 8" TALL
 3. OFFSETS OR BREAKS IN ROOF ELEVATION, A MIN OF 3' HIGH
 4. A ROOF OVERHANG A MIN OF 8" DEEP



^{A31}
1 FRONT ELEVATION - TYPE 1
SCALE: 1/8" = 1'-0"



^{A31}
2 SIDE ELEVATION - TYPE 1
SCALE: 1/8" = 1'-0"

- WEATHER PROTECTION** (APPLIES TO GROUND FLOORS ADJACENT TO STREET)
- MIN 75%
- 1) AWNINGS OR CANOPIES
 - 2) MIN CLEARANCE OF 8' ABOVE GROUND SURFACE. MAY ENCROACH INTO PUBLIC ROW.

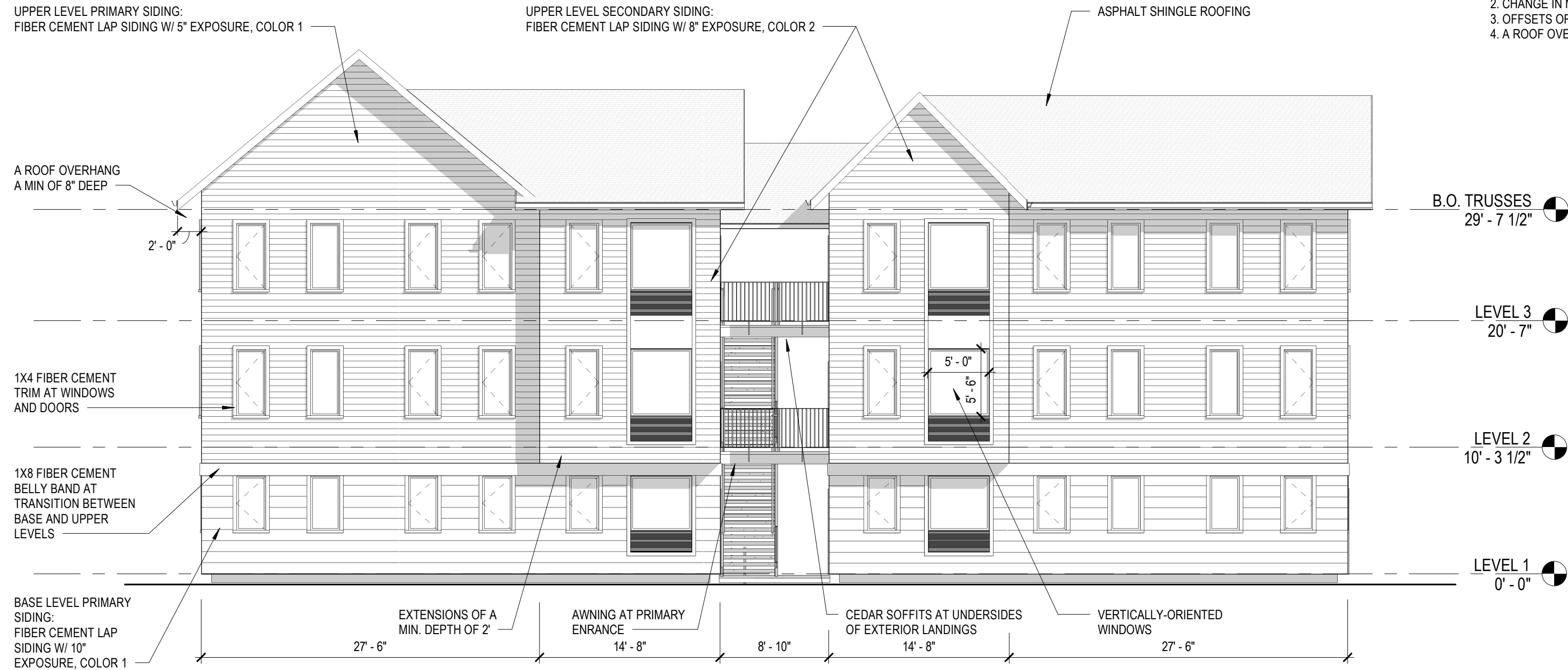


^{A31}
3 REAR ELEVATION - TYPE 1
SCALE: 1/8" = 1'-0"

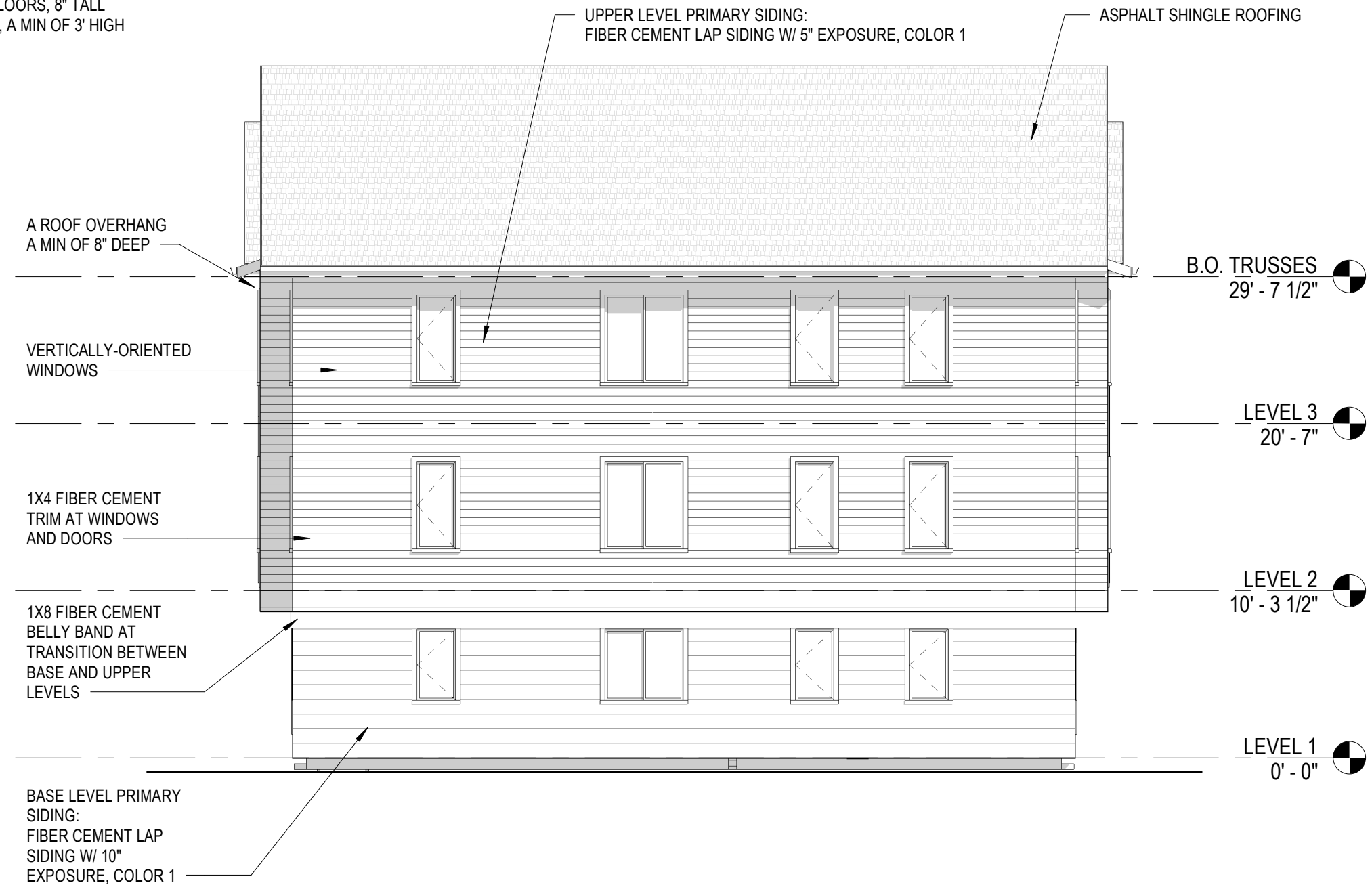


^{A31}
4 SIDE ELEVATION - TYPE 1
SCALE: 1/8" = 1'-0"

- BUILDING FACADE ARTICULATION**
(2) BLDGS SHALL INCORPORATE VERTICAL AND HORIZONTAL ARTICULATION AND SHALL DIVIDE VERTICAL MASS INTO A BASE, MIDDLE, AND TOP.
- A) BASE: GROUND FLOOR FACADES:
1. CHANGE IN MATERIALS
 2. CHANGE IN COLOR
 3. MOLDING OR OTHER HORIZONTALLY-ARTICULATED TRANSITION PIECE
- B) MIDDLE: INCORPORATED AT A MIN OF EVERY 50' AT LEAST ONE OF THE FOLLOWING
1. RECESSES OF A MIN DEPTH OF 2'
 2. EXTENSIONS OF A MIN DEPTH OF 2'
 3. VERTICALLY-ORIENTED WINDOWS
 4. PILASTERS
- C) TOP
1. CORNICE A MIN OF 8" TALL AND 3" BEYOND FACE OF FACADE
 2. CHANGE IN MATERIAL FROM THE UPPER FLOORS, 8" TALL
 3. OFFSETS OR BREAKS IN ROOF ELEVATION, A MIN OF 3" HIGH
 4. A ROOF OVERHANG A MIN OF 8" DEEP



.A33
1 FRONT ELEVATION - TYPE 3
SCALE: 1/8" = 1'-0"



.A33
2 SIDE ELEVATION - TYPE 3
SCALE: 1/8" = 1'-0"

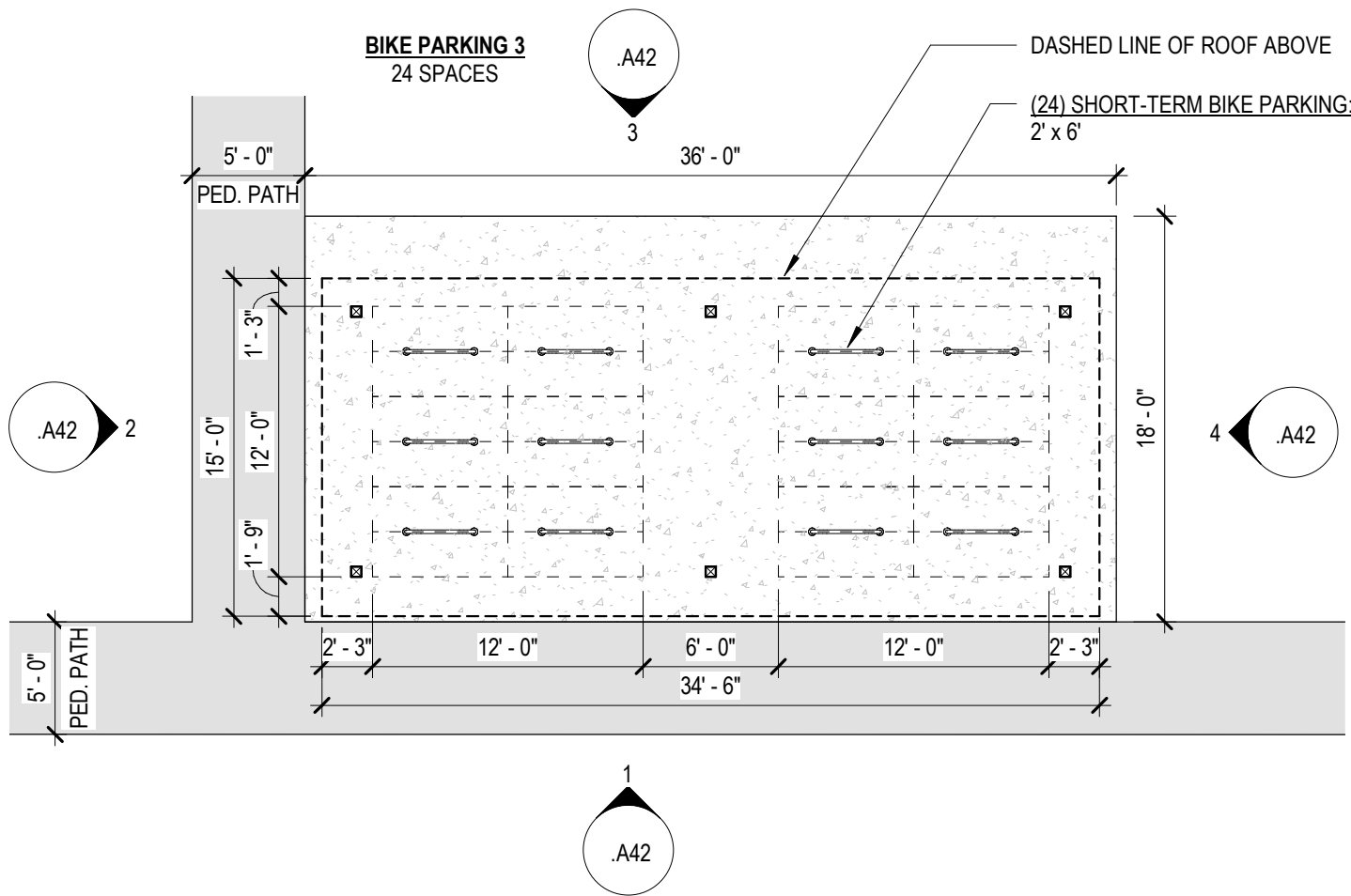
- WEATHER PROTECTION** (APPLIES TO GROUND FLOORS ADJACENT TO STREET)
- MIN 75%
- 1) AWNINGS OR CANOPIES
 - 2) MIN CLEARANCE OF 8' ABOVE GROUND SURFACE. MAY ENCROACH INTO PUBLIC ROW.



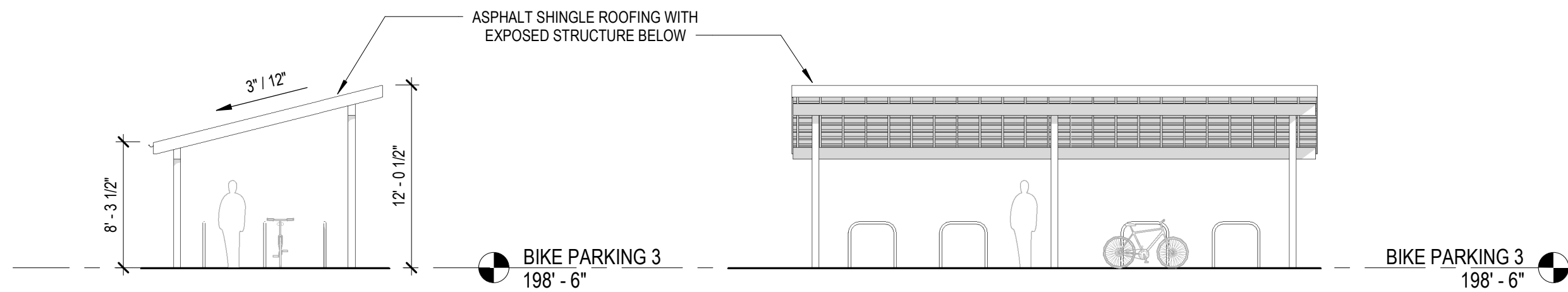
.A33
3 REAR ELEVATION - TYPE 3
SCALE: 1/8" = 1'-0"



.A33
4 SIDE ELEVATION - TYPE 3
SCALE: 1/8" = 1'-0"

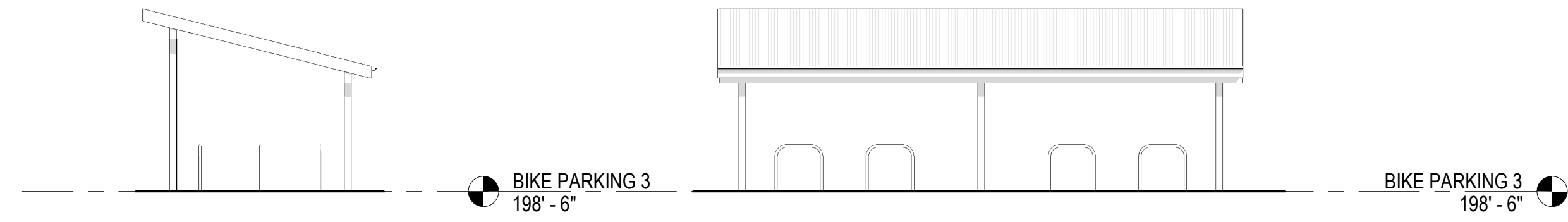


5 BIKE PARKING 3 - PLAN
SCALE: 1/8" = 1'-0"



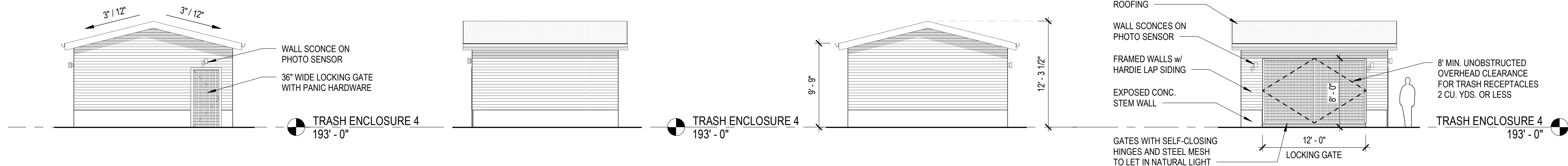
2 BIKE PARKING 3 - WEST
SCALE: 1/8" = 1'-0"

1 BIKE PARKING 3 - SOUTH
SCALE: 1/8" = 1'-0"



4 BIKE PARKING 3 - EAST
SCALE: 1/8" = 1'-0"

3 BIKE PARKING 3 - NORTH
SCALE: 1/8" = 1'-0"

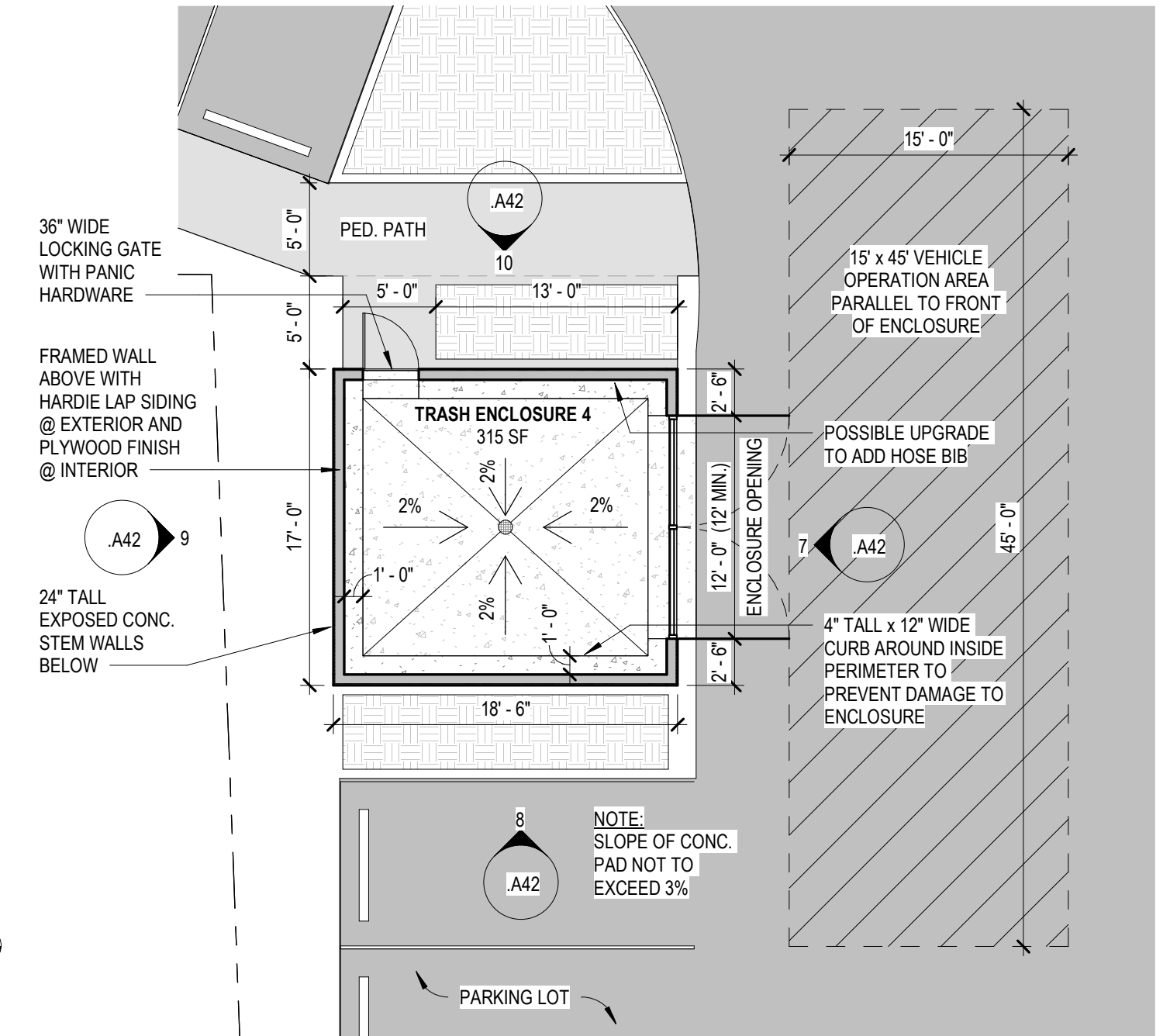


10 TRASH ENCLOSURE 4 - NORTH
SCALE: 1/8" = 1'-0"

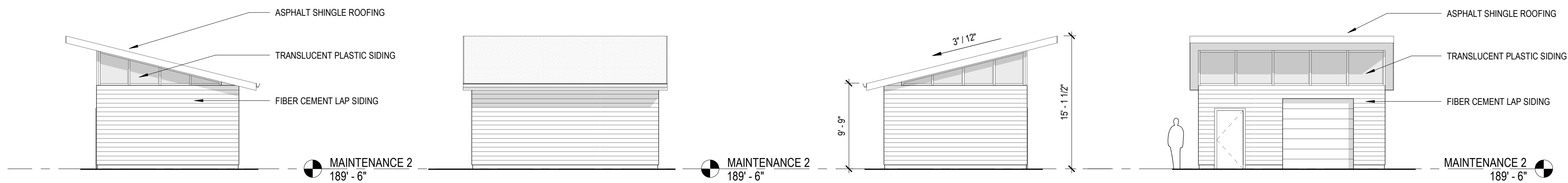
9 TRASH ENCLOSURE 4 - WEST
SCALE: 1/8" = 1'-0"

8 TRASH ENCLOSURE 4 - SOUTH
SCALE: 1/8" = 1'-0"

7 TRASH ENCLOSURE 4 - EAST
SCALE: 1/8" = 1'-0"



6 TRASH ENCLOSURE 4 - PLAN
SCALE: 1/8" = 1'-0"

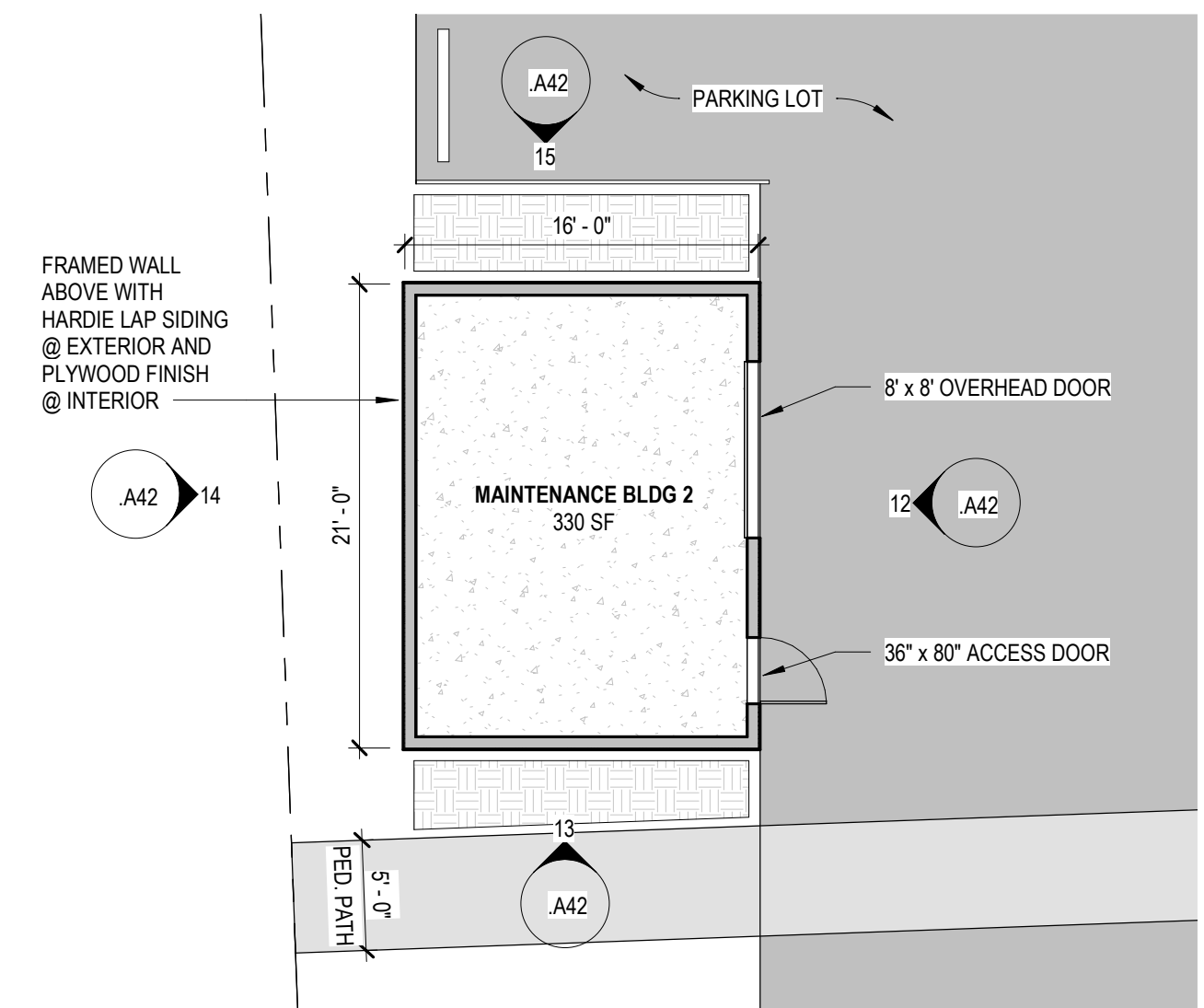


15 MAINTENANCE 2 - NORTH
SCALE: 1/8" = 1'-0"

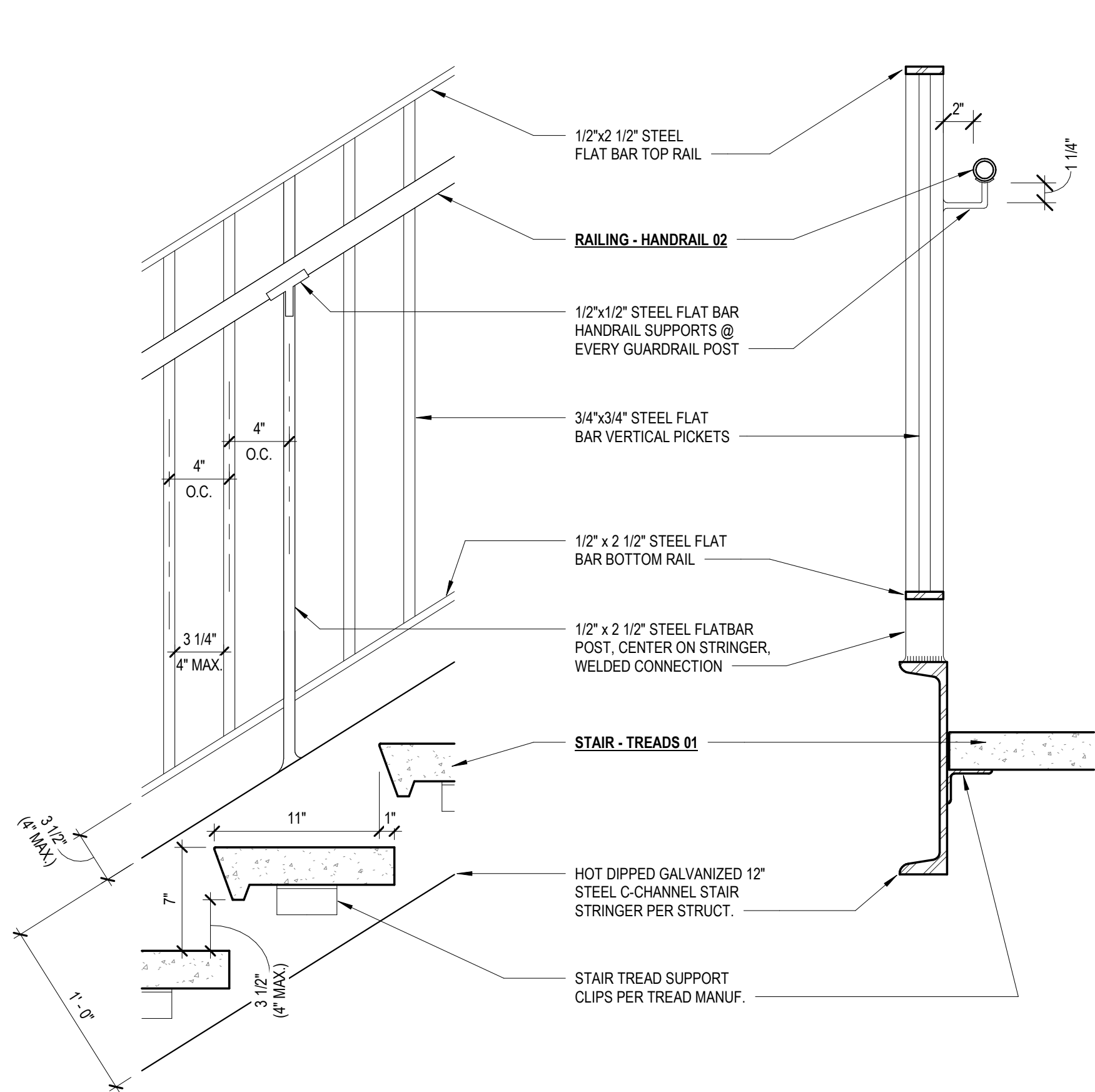
14 MAINTENANCE 2 - WEST
SCALE: 1/8" = 1'-0"

13 MAINTENANCE 2 - SOUTH
SCALE: 1/8" = 1'-0"

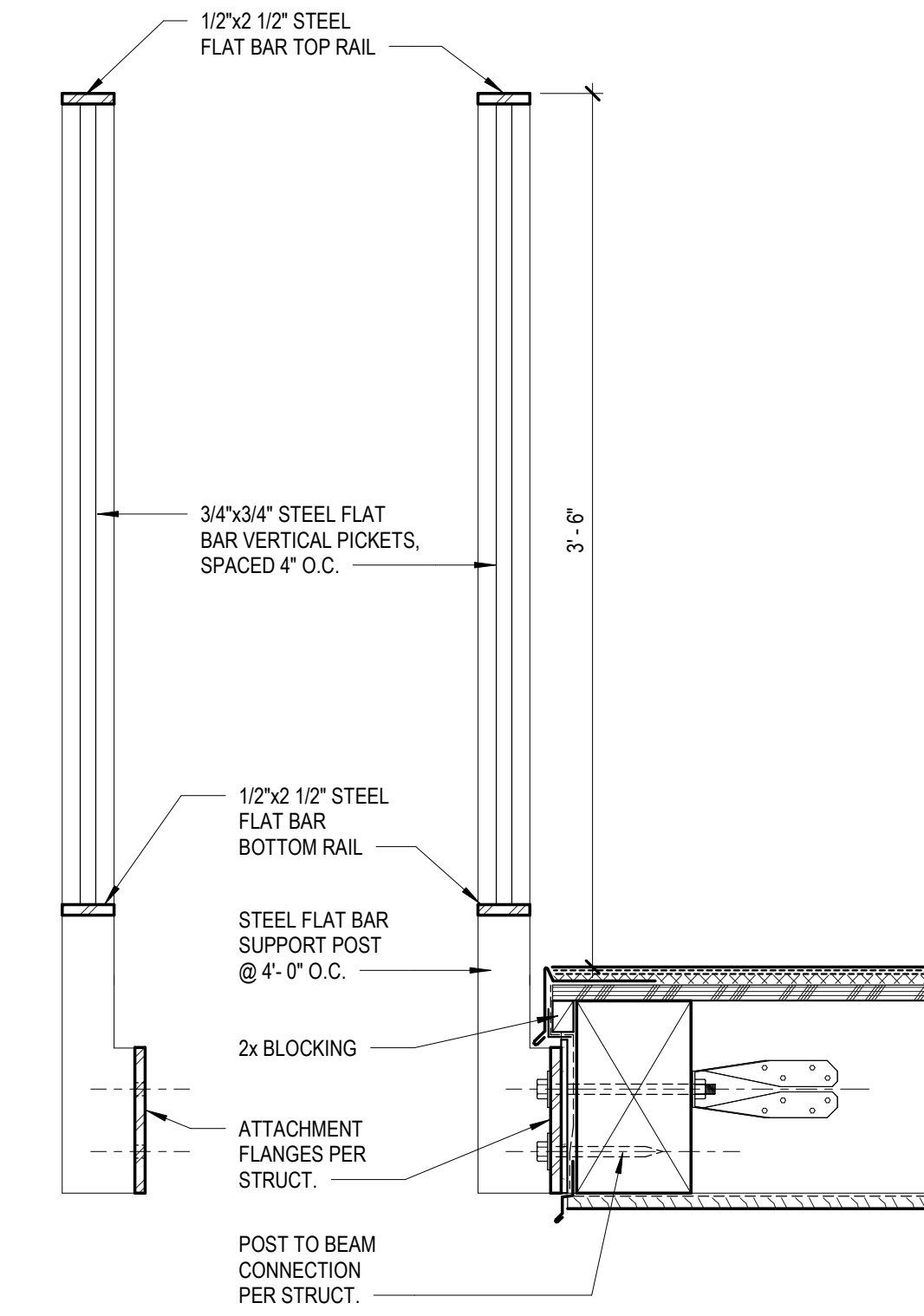
12 MAINTENANCE 2 - EAST
SCALE: 1/8" = 1'-0"



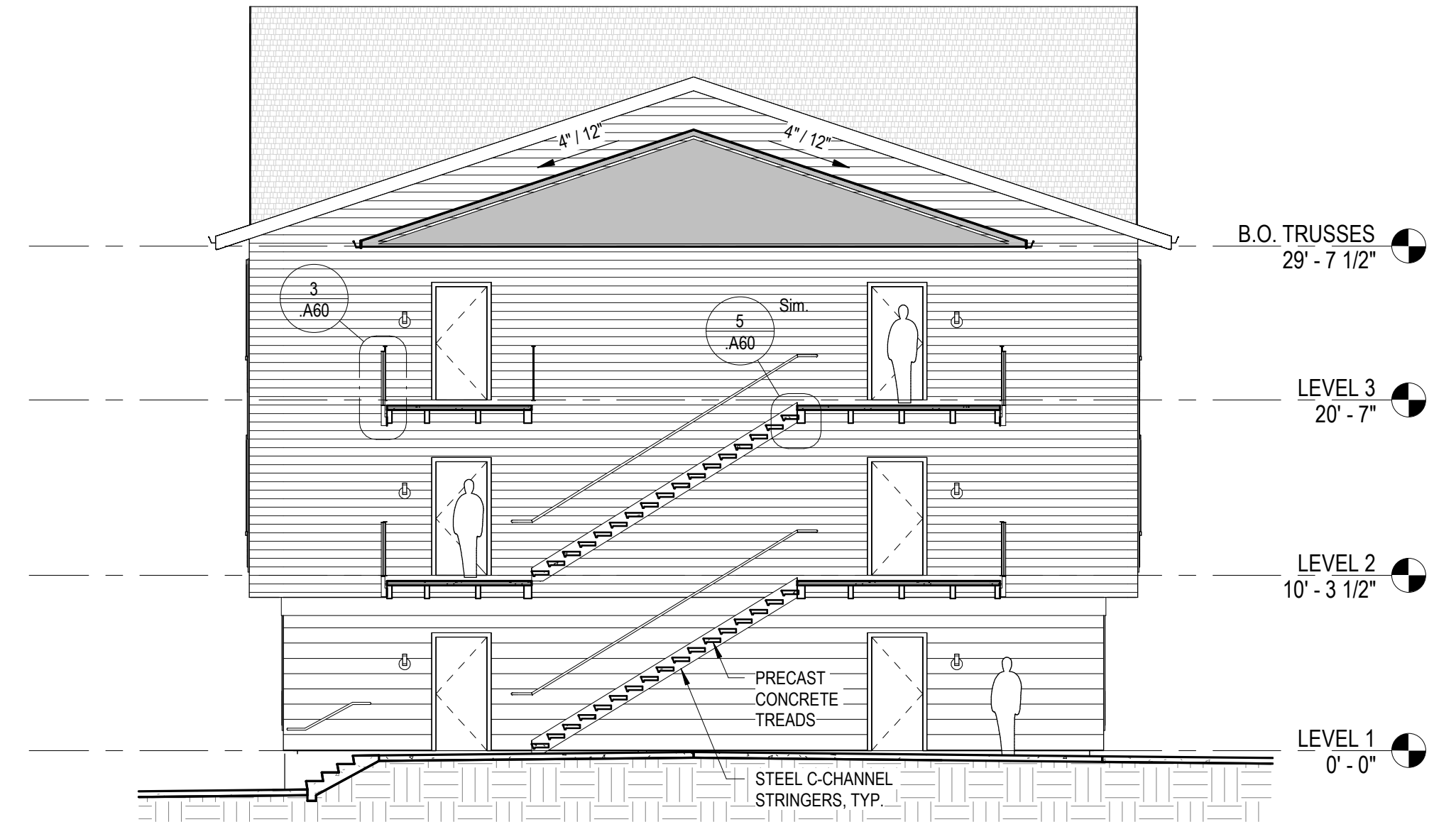
11 MAINTENANCE 2 - PLAN
SCALE: 1/8" = 1'-0"



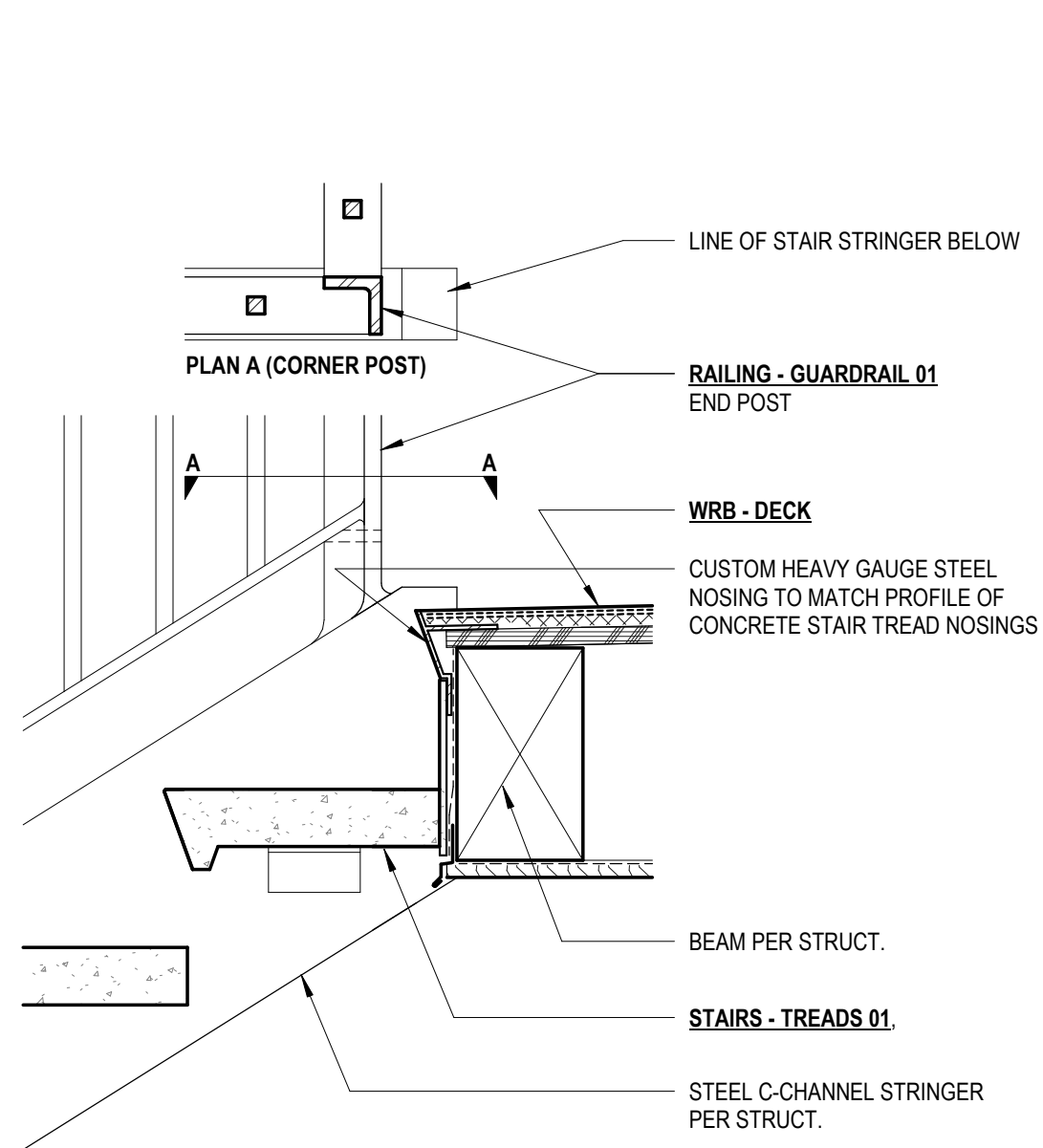
6 DETAIL - STAIR TREADS & RAILING ATTACHMENT
SCALE: 1 1/2" = 1'-0"



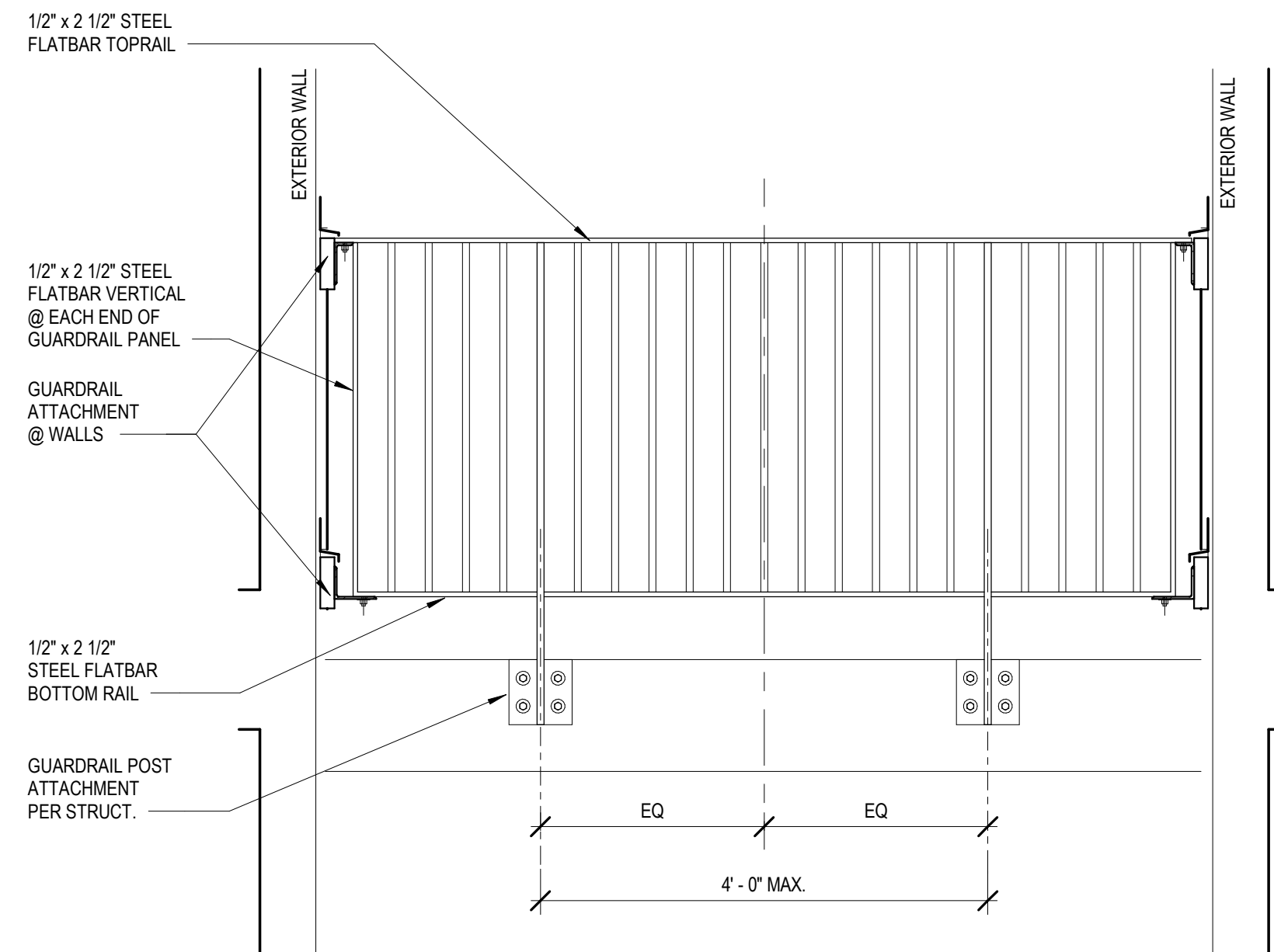
3 RAILING ATTACHMENT @ LANDING
SCALE: 1 1/2" = 1'-0"



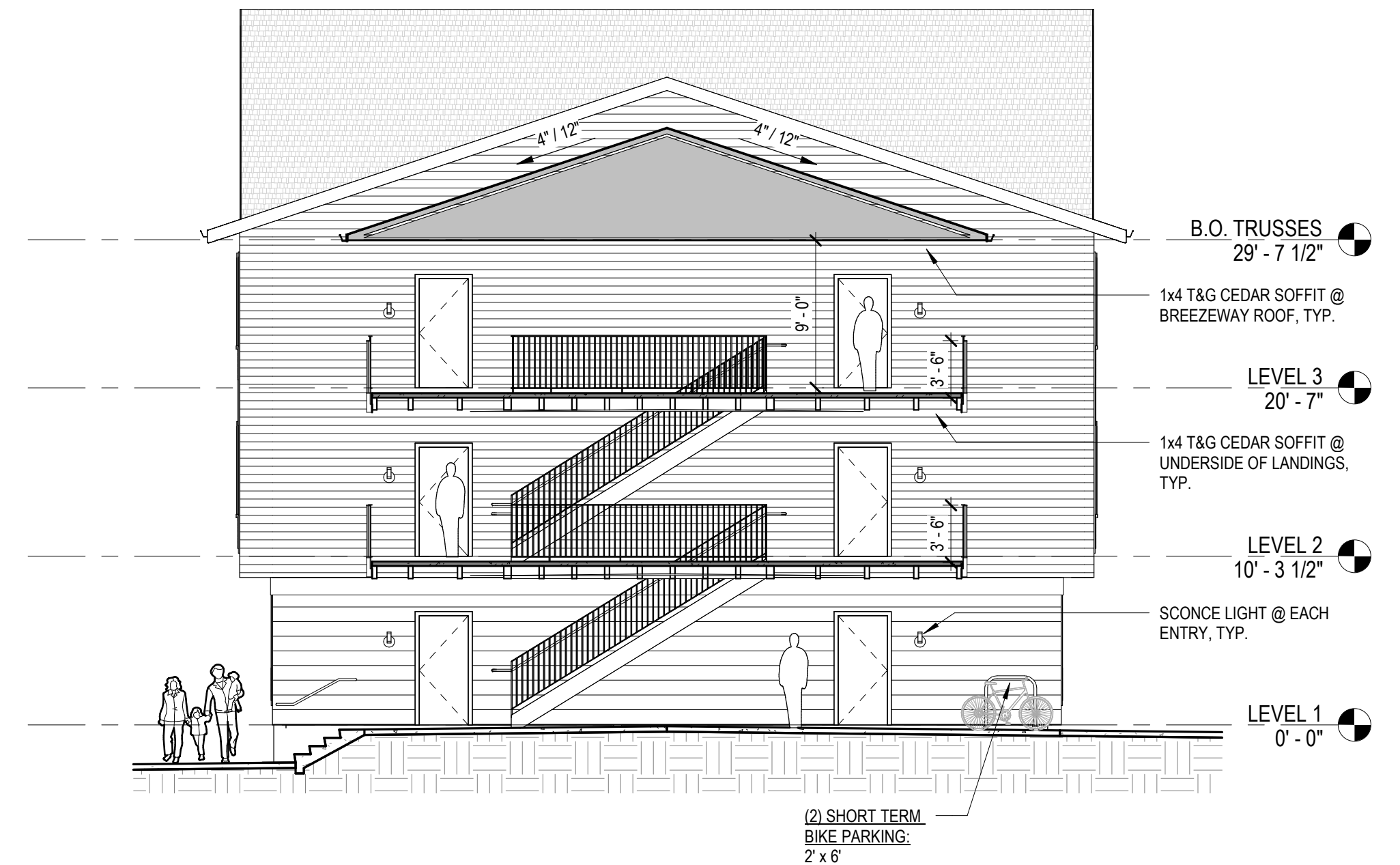
1 BUILDING SECTION - THROUGH BREEZEWAY @ EXTERIOR STAIRS
SCALE: 1/8" = 1'-0"



5 STAIR TOP TERMINATION @ LANDING
SCALE: 1 1/2" = 1'-0"



4 ELEVATION - RAILING ATTACHMENT @ STAIR LANDING
SCALE: 3/4" = 1'-0"



2 BUILDING SECTION - THROUGH BREEZEWAY @ EXTERIOR LANDINGS
SCALE: 1/8" = 1'-0"