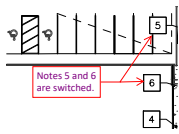


Pages from DS Comments_Civil Plans_1105 Front Street NE_24-106451-PLN.pdf Markup Summary

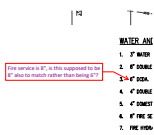
Callout (17)



Subject: Callout
Page Label: [12] P12 PRELIMINARY COMPOSITE UTILITY PLAN
Author: Kyle Cochran
Date: 3/26/2024 6:16:05 AM
Status: Accepted set by LChristian on 4/19/2024 at 10:10:03 AM
Color: ■
Layer:
Space:

Notes 5 and 6 are switched.

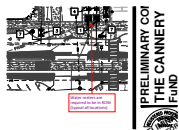
AKS: PLANS UPDATED ACCORDINGLY



Subject: Callout
Page Label: [12] P12 PRELIMINARY COMPOSITE UTILITY PLAN
Author: Kyle Cochran
Date: 4/12/2024 10:03:28 AM
Status: Accepted set by LChristian on 4/19/2024 at 10:10:06 AM
Color: ■
Layer:
Space:

Fire service is 8", is this supposed to be 8" also to match rather than being 6"?

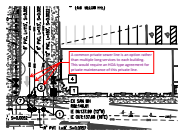
AKS: PLANS UPDATED ACCORDINGLY



Subject: Callout
Page Label: [12] P12 PRELIMINARY COMPOSITE UTILITY PLAN
Author: Kyle Cochran
Date: 3/26/2024 6:22:59 AM
Status: Accepted set by LChristian on 4/19/2024 at 10:10:10 AM
Color: ■
Layer:
Space:

Water meters are required to be in ROW (typical all locations)

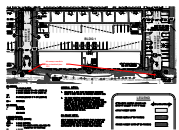
AKS: PLANS UPDATED BASED ON FOLLOW UP MEETINGS WITH CITY STAFF. EASEMENT IDENTIFIED FOR METERS THAT CANNOT FIT WITHIN ROW.



Subject: Callout
Page Label: [12] P12 PRELIMINARY COMPOSITE UTILITY PLAN
Author: Kyle Cochran
Date: 4/12/2024 10:08:23 AM
Status: Accepted set by LChristian on 4/19/2024 at 10:10:15 AM
Color: ■
Layer:
Space:

A common private sewer line is an option rather than multiple long services to each building. This would require an HOA type agreement for private maintenance of this private line.

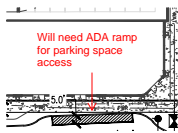
AKS: PLANS UPDATED ACCORDINGLY



Subject: Callout
Page Label: [8] P8 PRELIMINARY SITE PLAN
Author: khottmann
Date: 4/19/2024 10:11:35 AM
Status: Accepted set by LChristian on 4/19/2024 at 10:11:37 AM
Color: ■
Layer:
Space:

driveways needs to be a standard plan 302

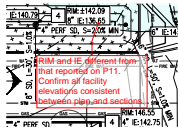
AKS: THIS DRIVEWAY IS IN CITY STANDARDS AND FITS BEST WITH THE ANTICIPATED USE OF THESE ACCESS POINTS. PLAN 302 UTILIZED FOR BELLMONT ALLEY.



Subject: Callout
Page Label: [13] P13 PRELIMINARY FRONT ST IMPROVEMENTS
Author: khottmann
Date: 3/28/2024 4:32:50 PM
Status: Accepted set by LChristian on 4/19/2024 at 10:11:59 AM
Color: ■
Layer:
Space:

Will need ADA ramp for parking space access

AKS: TO BE ADDRESSED WITH FINAL FRONT STREET DESIGN. COORDINATION WITH RAILROAD, WISER RAIL, CITY, ETC. NEEDED.



Subject: Callout
Page Label: [10] P10 PRELIMINARY ONSITE GRADING AND DRAINAGE PLAN
Author: roseh
Date: 4/5/2024 10:49:29 AM
Status: Accepted set by LChristian on 4/19/2024 at 10:12:20 AM
Color: ■
Layer:
Space:

RIM and IE different from that reported on P11. Confirm all facility elevations consistent between plan and sections.

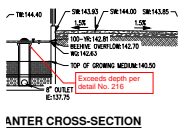
AKS: PLANS UPDATED ACCORDINGLY

Structural evaluation of these tall facility walls will be necessary.

Subject: Callout
Page Label: [11] P11 PRELIMINARY GRADING AND DRAINAGE SECTIONS
Author: roseh
Date: 4/5/2024 10:25:34 AM
Status: Accepted set by LChristian on 4/19/2024 at 10:12:25 AM
Color: ■
Layer:
Space:

Structural evaluation of these tall facility walls will be necessary.

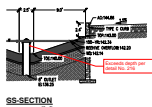
AKS: STRUCTURAL IS AWARE AND PLANS TO PROVIDE DETAILS WITH FINAL DESIGN.



Subject: Callout
Page Label: [11] P11 PRELIMINARY GRADING AND DRAINAGE SECTIONS
Author: roseh
Date: 4/5/2024 10:33:01 AM
Status: Accepted set by LChristian on 4/19/2024 at 10:12:37 AM
Color: ■
Layer:
Space:

Exceeds depth per detail No. 216

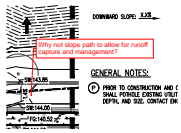
AKS: DESIGN STANDARDS DONT EXPLICITLY LIST 18" MAX PONDING DEPTH. FACILITY IS PRIVATELY OWNED / MAINTAINED. WE RESPECTFULLY REQUEST APPROVAL OF PONDING DEPTHS SHOWN. FALL PROTECTION IS PROPOSED WHERE BUILDING CODE WOULD TRIGGER THE NEED FOR HANDRAILS.



Subject: Callout
Page Label: [11] P11 PRELIMINARY GRADING AND DRAINAGE SECTIONS
Author: roseh
Date: 4/5/2024 10:33:24 AM
Status: Accepted set by LChristian on 4/19/2024 at 10:12:37 AM
Color: ■
Layer:
Space:

Exceeds depth per detail No. 216

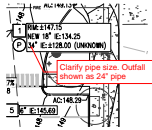
AKS: DESIGN STANDARDS DONT EXPLICITLY LIST 18" MAX PONDING DEPTH. FACILITY IS PRIVATELY OWNED / MAINTAINED. WE RESPECTFULLY REQUEST APPROVAL OF PONDING DEPTHS SHOWN. FALL PROTECTION IS PROPOSED WHERE BUILDING CODE WOULD TRIGGER THE NEED FOR HANDRAILS.



Subject: Callout
Page Label: [9] P9 PRELIMINARY ONSITE GRADING AND DRAINAGE PLAN
Author: roseh
Date: 4/5/2024 10:36:59 AM
Status: Accepted set by LChristian on 4/19/2024 at 10:12:37 AM
Color: ■
Layer:
Space:

Why not slope path to allow for runoff capture and management?

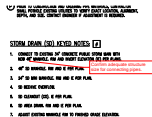
AKS: PLANS REVISED ACCORDINGLY.



Subject: Callout
Page Label: [10] P10 PRELIMINARY ONSITE GRADING AND DRAINAGE PLAN
Author: roseh
Date: 4/5/2024 10:45:29 AM
Status: Accepted set by LChristian on 4/19/2024 at 10:12:37 AM
Color: ■
Layer:
Space:

Clarify pipe size. Outfall shown as 24" pipe

AKS: PLANS REVISED ACCORDINGLY.



Subject: Callout
Page Label: [10] P10 PRELIMINARY ONSITE GRADING AND DRAINAGE PLAN
Author: roseh
Date: 4/5/2024 10:47:43 AM
Status: Accepted set by LChristian on 4/19/2024 at 10:12:37 AM
Color: ■
Layer:
Space:

Confirm adequate structure size for connecting pipes.

AKS: CAN BE ADDRESSED WITH FINAL DESIGN



Subject: Callout
Page Label: [8] P8 PRELIMINARY SITE PLAN
Author: tmartin
Date: 4/11/2024 11:59:14 AM
Status: Accepted set by LChristian on 4/19/2024 at 10:13:02 AM
Color: ■
Layer:
Space:

Where to the ends of the multi-use path reconnect to Front Street?

Where are the easements?

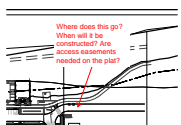
AKS: CAN BE ADDRESSED WITH FINAL DESIGN



Subject: Callout
Page Label: [8] P8 PRELIMINARY SITE PLAN
Author: tmartin
Date: 4/19/2024 10:13:20 AM
Status: Accepted set by LChristian on 4/19/2024 at 10:13:23 AM
Color: ■
Layer:
Space:

Need double arrows for width adjustment. Stop Bar? No entrance signs?

AKS: THIS WILL BE A PRIMARY PHASE 2 ENTRANCE SO UPDATED ACCORDINGLY NOW.



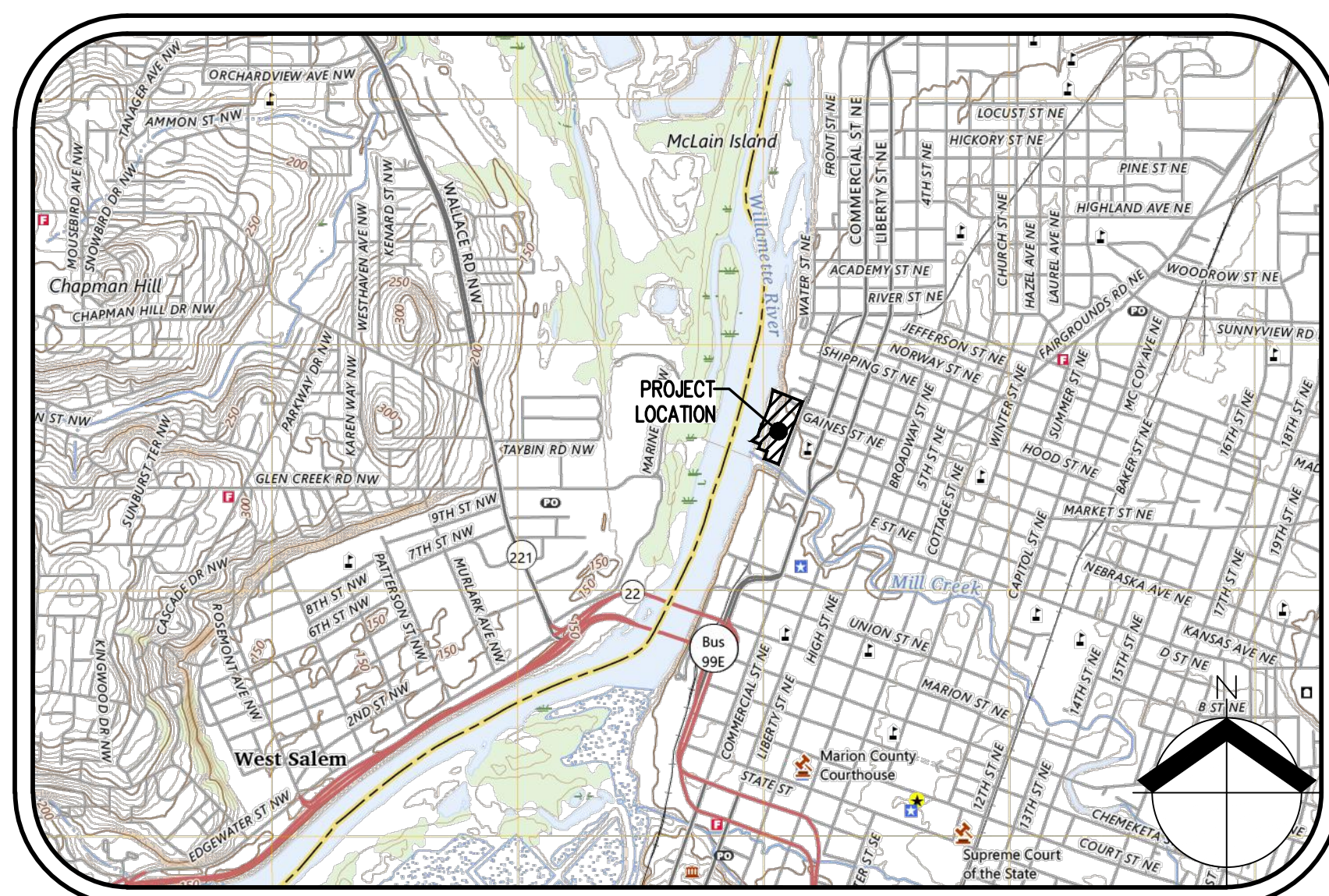
Subject: Callout
Page Label: [1] P1 COVER SHEET
Author: LChristian
Date: 4/16/2024 9:14:46 AM
Status: Accepted set by LChristian on 4/19/2024 at 10:14:00 AM
Color: ■
Layer:
Space:

Where does this go? When will it be constructed? Are access easements needed on the plot?

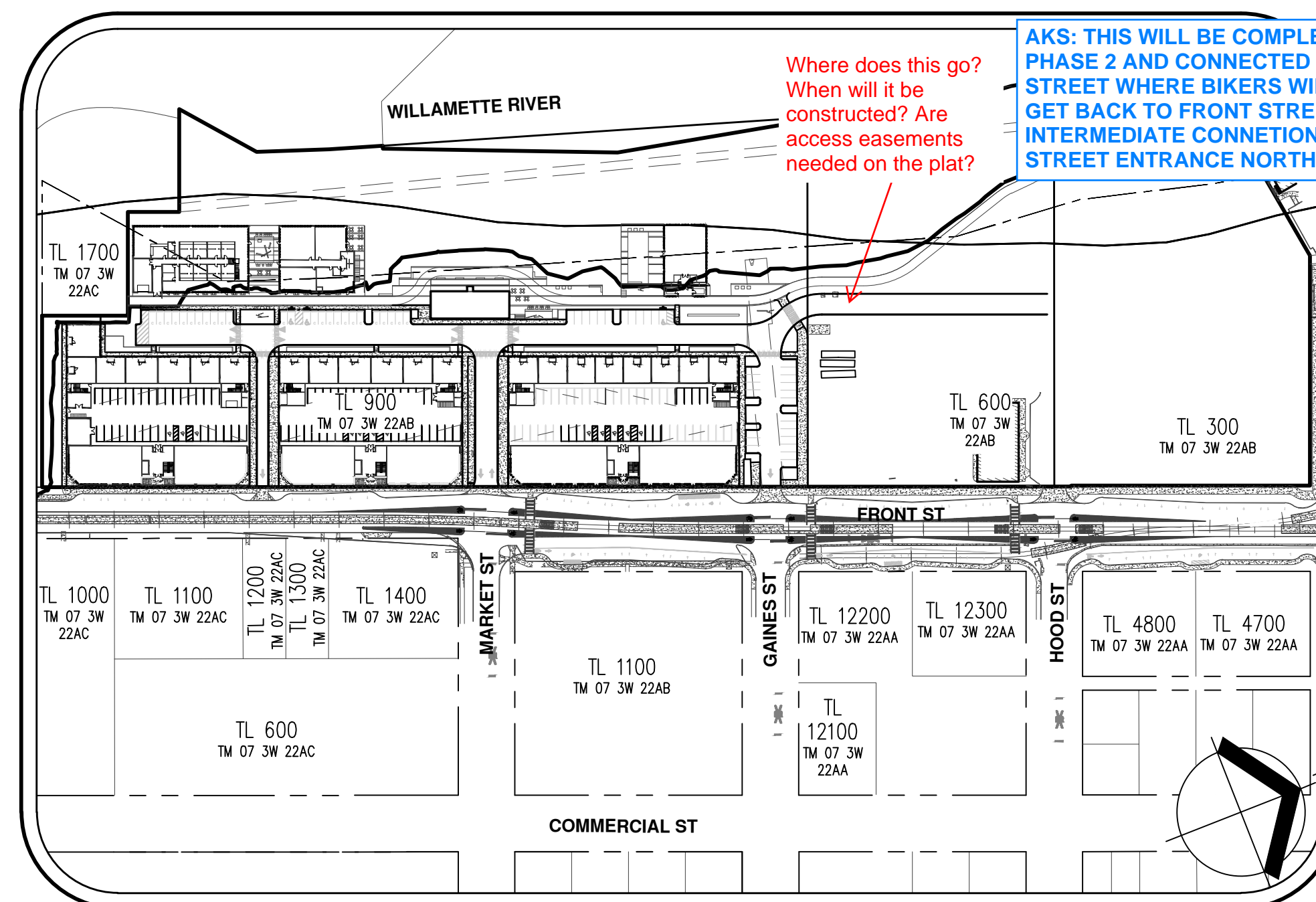
AKS: THIS WILL BE COMPLETED WITH PHASE 2 AND CONNECTED TO SHIPPING STREET WHERE BIKERS WILL BE ABLE TO GET BACK TO FRONT STREET. INTERMEDIATE CONNECTION IS OUT GAINS STREET ENTRANCE NORTH OF BUILDING 1.

THE CANNERY

PRELIMINARY LAND USE PLANS



VICINITY MAP
NOT TO SCALE



SITE MAP
1" = 150'

**ENGINEERING/
PLANNING FIRM**

AKS ENGINEERING & FORESTRY, LLC
ENGINEERING CONTACT: TYLER ROTH, PE
PLANNING CONTACT: GRACE WOLFF
3700 RIVER RD N, STE 1
KEIZER, OR 97303
PH: 503.400.6028
WWW.AKS-ENG.COM

ARCHITECT

INSIGHT ARCHITECTS
CONTACT: KRISTINA HELD, AIA, LEED AP BD+C, CPH
1307 WEST MOREHEAD ST, STE 108
CHARLOTTE, NC 28208
PH: 704.344.0445

LANDSCAPE ARCHITECT

LANGO HANSEN LANDSCAPE ARCHITECT
CONTACT: KYLE TRULEN, PLA, LEED AP
1100 NW GLISAN #3A,
PORTLAND, OR 97209
PH: 971.380.3580

**CONTRACT
PURCHASER/APPLICANT**

FUND
CONTACT: TRENT MICHELS
15017 THOMAS RD,
CHARLOTTE, NC 28278

GEOTECHNICAL FIRM

CENTRAL GEOTECHNICAL SERVICES, LLC
CONTACT: JULIO C. VELA, PHD, PE, GE
10240 SW NIMBUS AVE, STE L6
PORTLAND, OR 97223
PH: 503.994.0755

LEGEND

EXISTING	PROPOSED	EXISTING	PROPOSED
DECIDUOUS TREE		STORM DRAIN CLEAN OUT	
CONIFEROUS TREE		STORM DRAIN CATCH BASIN	
FIRE HYDRANT		STORM DRAIN AREA DRAIN	
WATER BLOWOFF		STORM DRAIN MANHOLE	
WATER METER		GAS METER	
WATER VALVE		GAS VALVE	
DOUBLE CHECK VALVE		GUY WIRE ANCHOR	
AIR RELEASE VALVE		UTILITY POLE	
SANITARY SEWER CLEAN OUT		POWER VAULT	
SANITARY SEWER MANHOLE		POWER JUNCTION BOX	
SIGN		POWER PEDESTAL	
STREET LIGHT		COMMUNICATIONS VAULT	
MAILBOX		COMMUNICATIONS JUNCTION BOX	
		COMMUNICATIONS RISER	

	EXISTING	PROPOSED
RIGHT-OF-WAY LINE		
BOUNDARY LINE		
PROPERTY LINE		
CENTERLINE		
DITCH		
CURB		
EDGE OF PAVEMENT		
EASEMENT		
FENCE LINE		
GRAVEL EDGE		
POWER LINE		
OVERHEAD WIRE		
COMMUNICATIONS LINE		
FIBER OPTIC LINE		
GAS LINE		
STORM DRAIN LINE		
SANITARY SEWER LINE		
WATER LINE		
RECLAIMED WATER LINE		

PROPERTY DESCRIPTION:

MARION COUNTY TAX MAP 07 3W 22AB,
TAX LOTS 300, 600, & 900
CITY OF SALEM, OREGON

VERTICAL DATUM

ELEVATIONS ARE BASED ON CITY OF SALEM
BENCHMARK NO. 1151, LOCATED AT THE SE
CORNER OF SUMMER AND MARION ST.
ELEVATION = 161.617 FEET (NGVD 29).

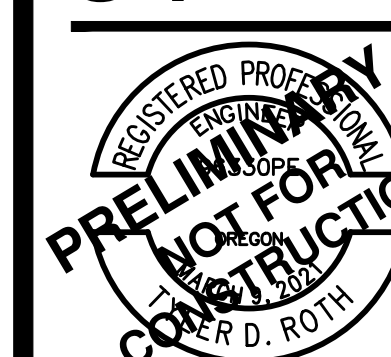
PROPERTY LOCATION:

1105 FRONT ST NE,
SALEM, OREGON 97301

SHEET INDEX

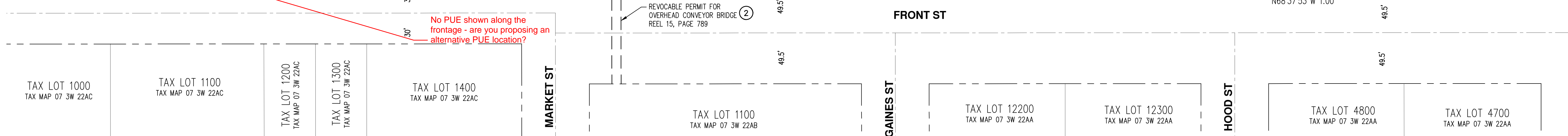
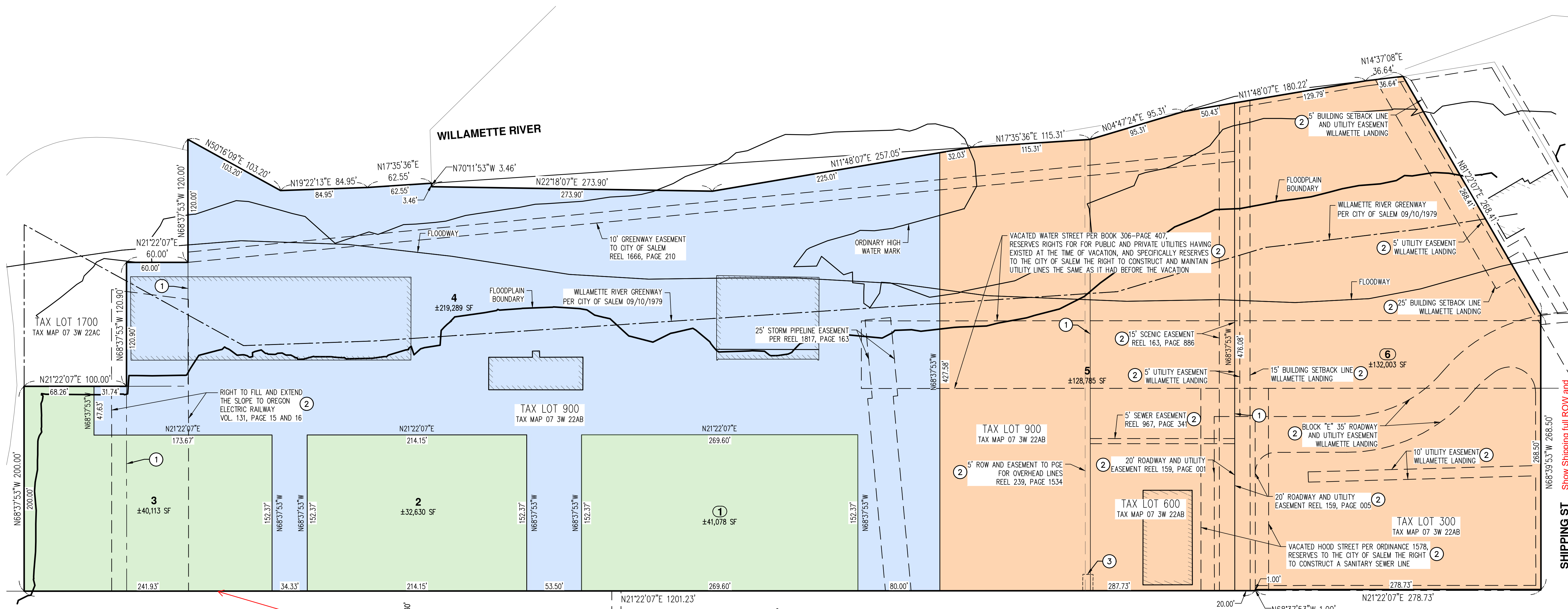
- P1 COVER SHEET
- C002 EXISTING CONDITIONS PLAN
- C003 EXISTING CONDITIONS PLAN
- P4 TENTATIVE PLAT
- P5 PRELIMINARY ONSITE DEMOLITION PLAN
- P6 PRELIMINARY TREE PRESERVATION AND REMOVAL PLAN
- P7 PRELIMINARY TREE TABLE
- P8 PRELIMINARY SITE PLAN
- P9 PRELIMINARY ONSITE GRADING AND DRAINAGE PLAN
- P10 PRELIMINARY ONSITE GRADING AND DRAINAGE PLAN
- P11 PRELIMINARY GRADING AND DRAINAGE SECTIONS
- P12 PRELIMINARY COMPOSITE UTILITY PLAN
- P13 PRELIMINARY FRONT ST IMPROVEMENTS

COVER SHEET
THE CANNERY
FUND
SALEM, OREGON



RENEW: DECEMBER 31, 2024
JOB NUMBER: 5968-01
DATE: 03/15/2024
DESIGNED BY: TDR
DRAWN BY: MJM
CHECKED BY: TDR

AKS: PER DISCUSSIONS WITH CITY STAFF SHIPPING STREET ROW DEDICATION AND IMPROVEMENTS TO BE A PART OF PHASE 2.



AKS: PGE (KEN SPENCER) HAS BEEN PROVIDED A COPY OF THE UTILITY LAYOUT AND DIDN'T SEE ANY ISSUES / NEED FOR PUE IF THEIR INFRASTRUCTURE CAN BE INSTALLED WITHIN FRONT STREET ROW AS SHOWN.

- KEYED NOTES:** (#)
- EXISTING TAX LOT LINE TO BE REMOVED.
 - EXISTING EASEMENT OR ROW TO BE QUITCLAIMED/VACATED.
 - PROPOSED EASEMENT FOR EXISTING POWER POLE BETWEEN HOOD AND GAINES STREETS, SEE PLAN VIEW.

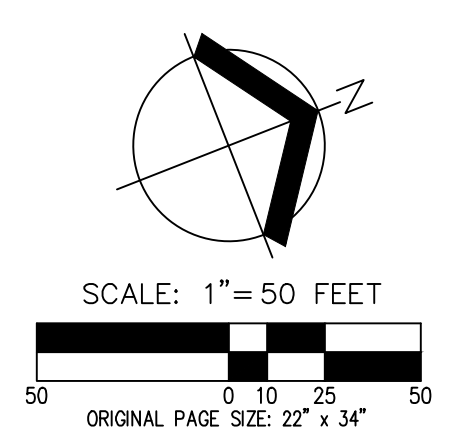
- EASEMENT NOTES:**
- CROSS ACCESS, DRAINAGE AND UTILITY EASEMENTS AMONG ALL PARCELS TO BE RECORDED PRIOR TO FINAL PLAT.
 - 10' WILLAMETTE RIVER GREENWAY PATH EASEMENT DEDICATED TO FOLLOW PATHWAY ALIGNMENT. FINAL CONFIGURATION TO BE DETERMINED AT TIME OF BUILDING PERMITS.

LEGEND

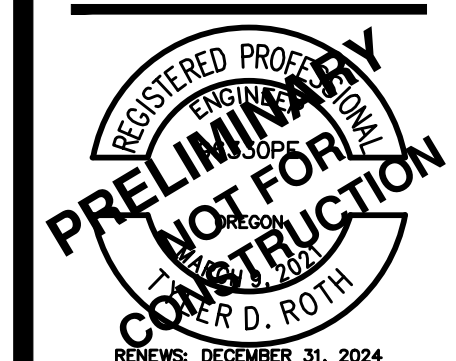
- FUTURE DEVELOPMENT PARCEL (Orange)
- MIXED-USE BUILDING PARCEL (Green)
- ADAPTIVE REUSE BUILDINGS PARCEL (COMMERCIAL) (Blue)

NOTE: THIS SHEET IS PRINTED WITH COLOR

THE PURPOSE OF THIS PRELIMINARY PLAT IS TO SHOW PLANNED LOT DIMENSIONS AND AREAS FOR PLANNING PURPOSES. THIS IS NOT AN OFFICIAL PLAT AND IS NOT TO BE USED FOR SURVEY PURPOSES.



TENTATIVE PLAT
 THE CANNERY
 FUND
 SALEM, OREGON



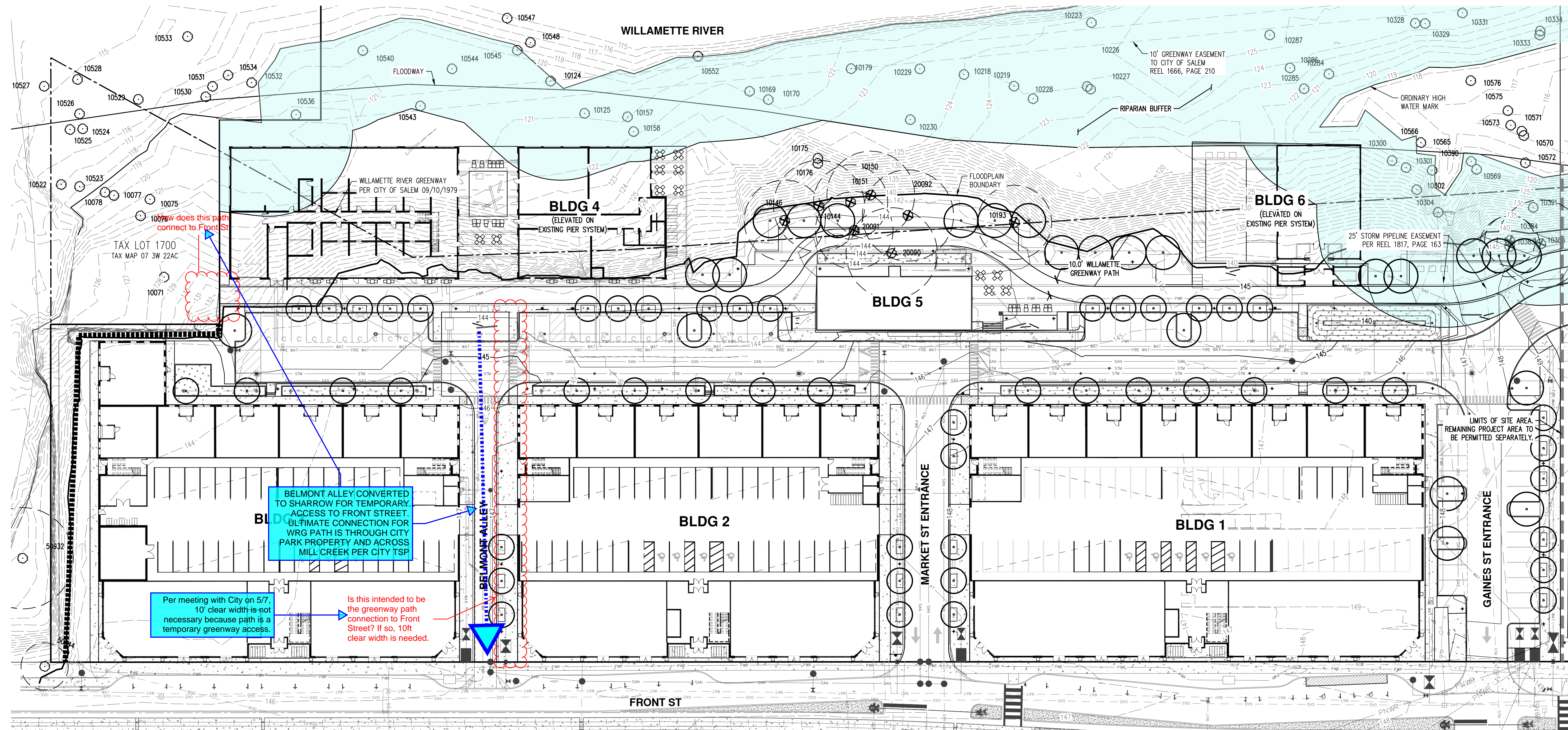
RENEWALS: DECEMBER 31, 2024
 JOB NUMBER: 5968-01
 DATE: 03/15/2024
 DESIGNED BY: TDR
 DRAWN BY: MJM
 CHECKED BY: TDR

PRELIMINARY TREE PRESERVATION AND REMOVAL PLAN
THE CANNERY
 FUND
 SALEM, OREGON



RENEWS: DECEMBER 31, 2024
 JOB NUMBER: 5968-01
 DATE: 03/15/2024
 DESIGNED BY: TDR
 DRAWN BY: MJM
 CHECKED BY: TDR

AKS DRAWING FILE: 5968-01 PRELIM TREE PLANNING LAYOUT: P6



TREE SUMMARY:

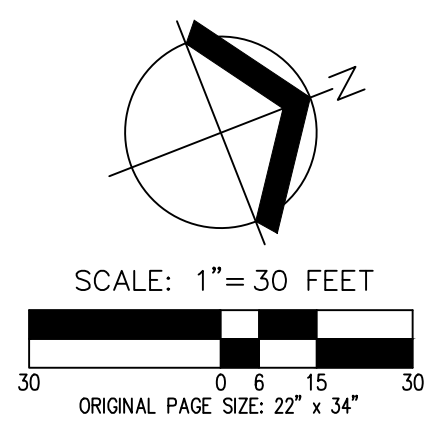
TREES REMOVED FOR GREENWAY TRAIL = 11

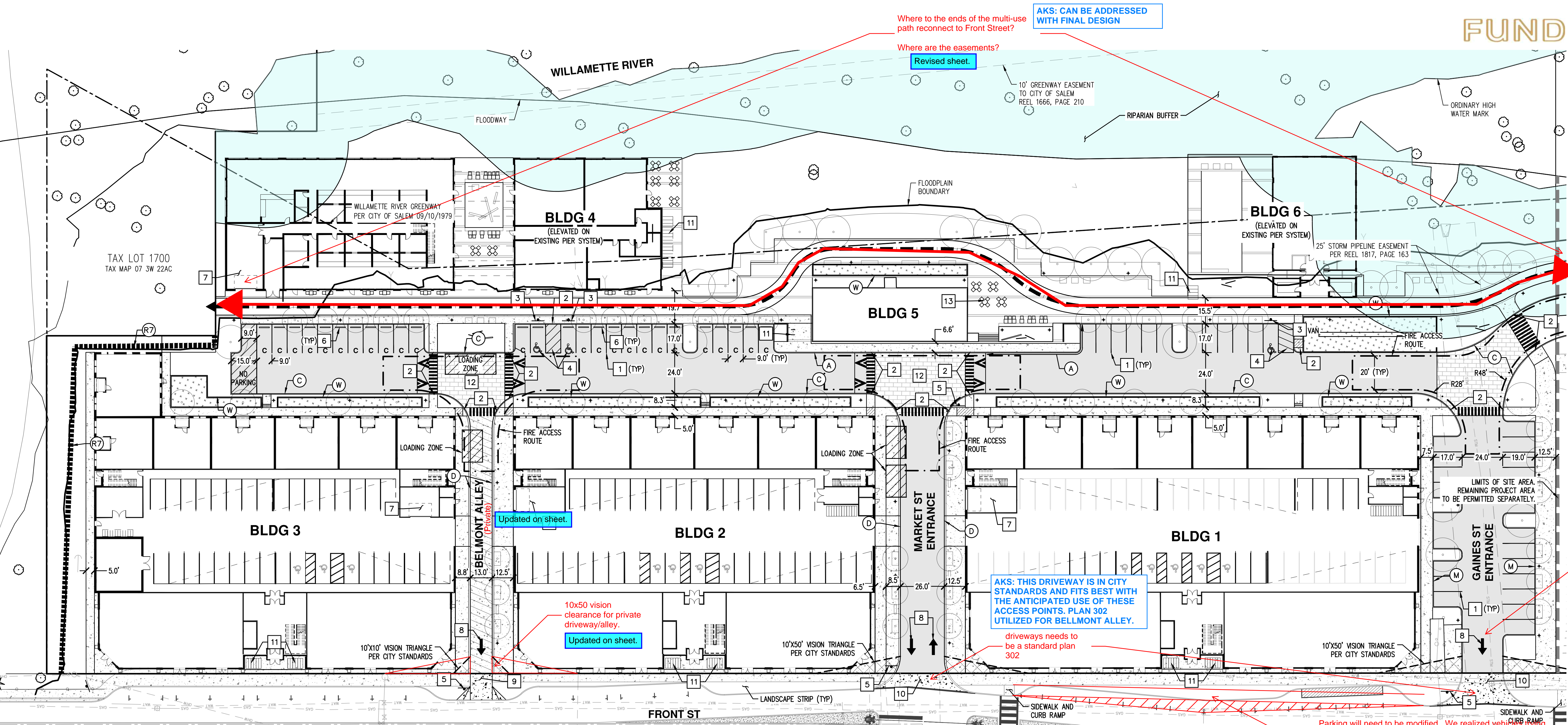
GENERAL NOTES:

1. CRITICAL ROOT ZONES SHOWN ARE FOR ANTICIPATED TREE IMPACTS ONLY.
2. TREES BELOW TOP OF BANK ARE NOT ANTICIPATED TO BE IMPACTED.
3. REFER TO ARBORIST LETTER FOR TREE SPECIES AND MORE INFORMATION REGARDING TREE REMOVAL.
4. NO SIGNIFICANT TREES PER CITY OF SALEM REQUIREMENTS ARE PROPOSED TO BE REMOVED.

LEGEND

EXISTING GROUND CONTOUR (1 FT)	---	149
EXISTING GROUND CONTOUR (5 FT)	---	150
FINISHED GRADE CONTOUR (1 FT)	---	149
FINISHED GRADE CONTOUR (5 FT)	---	150
EXISTING TREE TO REMAIN	○	
EXISTING TREE TO BE REMOVED	⊗	
CRITICAL TREE ROOT ZONE 1" DBH = 1'-0" RADIUS	○	
PLANNED TREE (REFER TO LANDSCAPE PLANS BY OTHERS)	●	





CURB KEYED NOTES: (TR)

- (A) TYPE 'A' CURB AND GUTTER
- (C) TYPE 'C' CURB
- (D) TYPE 'D' MOUNTABLE CURB
- (M) MONOLITHIC CURB AND SIDEWALK
- (W) PLANTER WALL
- (R7) EXISTING RETAINING WALL. STRUCTURAL IMPROVEMENTS REQUIRED TO BE DETERMINED AT TIME OF BUILDING PERMIT

SITE KEYED NOTES: #

1. PAINT 4-INCH WIDE WHITE STRIPE PER CITY STANDARDS.
2. ACCESSIBLE CURB RAMP AND DETECTABLE WARNING SURFACE.
3. ACCESSIBLE PARKING SIGN. "VAN" INDICATES VAN ACCESSIBLE SIGN.
4. ACCESSIBLE PARKING STALLS AND AISLE STRIPING.
5. INSTALL 30"x30" STOP SIGN AND STOP BAR. (36"x36" WHEN ENTERING PUBLIC ROW)
6. CONCRETE WHEEL STOP.
7. TRASH ENCLOSURE. SEE ARCHITECTURAL PLANS FOR DETAILS.
8. DIRECTIONAL ARROW STRIPE.
9. COMMERCIAL DRIVEWAY APPROACH PER CITY DETAIL NO.302.
10. COMMERCIAL DRIVEWAY APPROACH PER CITY DETAIL NO.315.
11. BIKE RACK, SEE ARCHITECTURAL PLANS FOR DETAILS.
12. RAISED SPEED TABLE PEDESTRIAN CROSSING.
13. OUTDOOR SEATING. SEE LANDSCAPE PLANS FOR DETAILS.

SITE PLAN DATA:

ZONING = MU-R
 SUBJECT PROPERTY AREA = ±593,899 SF (±13.6 ACRES)
 SITE AREA = ±333,110 SF (±7.6 ACRES)

DENSITY:
 MULTI-FAMILY = 371 UNITS
 *RETAIL = 12,149 SF
 *OFFICE = 5,880 SF
 *EATING/DRINKING ESTABLISHMENT = 30,859 SF

*DISTRIBUTION OF RETAIL, OFFICE, AND EATING/DRINKING ESTABLISHMENTS SQUARE FOOTAGE ARE SUBJECT TO CHANGE.

PARKING SUMMARY:

MAXIMUM VEHICLE PARKING:
 MULTI-FAMILY = 649 SPACES (1.75/UNIT)
 RETAIL = 61 SPACES (1/200 SF)
 OFFICE = 24 SPACES (1/250 SF)
 EATING/DRINKING ESTABLISHMENT = 176 SPACES (1/175 SF)

VEHICLE PARKING PROVIDED:
 GARAGE PARKING
 • AUTOMATED = 276 SPACES
 • SURFACE = 10 SPACES
 • ACCESSIBLE = 12 SPACES

OFF-STREET PARKING
 • STANDARD = 31 SPACES
 • COMPACT = 24 SPACES
 • ACCESSIBLE = 3 SPACES

TOTAL PARKING = 356 SPACES

BICYCLE PARKING REQUIRED:
 MULTI-FAMILY = 371 SPACES (1/UNIT)
 RETAIL = 4 SPACES (GREATER OF 4 OR 1/10,000 SF)
 OFFICE = 4 SPACES (GREATER OF 4 OR 1/3,500 SF)
 EATING/DRINKING ESTABLISHMENT = 31 SPACES (GREATER OF 4 OR 1/1,000 SF)

TOTAL REQUIRED = 410 SPACES

BICYCLE PARKING PROVIDED:
 SHORT-TERM = 59 SPACES
 LONG-TERM = 423 SPACES

TOTAL = 482 SPACES

LOADING ZONE REQUIRED/PROVIDED:
 MULTI-FAMILY REQUIRED = 3 SPACES (12'WX19'L)
 RETAIL SALES AND SERVICES REQUIRED = 1 SPACE (12'WX30'L)
 OFFICE REQUIRED = 1 SPACE (OFF-STREET PARKING AREA USED FOR LOADING PER SRC 806.075(a))

TOTAL REQUIRED = 4 SPACES

**TOTAL PROVIDED = 3 SPACES (12'WX19'L)
 1 SPACE (12'WX30'L)**

NOTE: SPACES TO BE SCHEDULED AND CONED OFF WITH SITE OPERATOR FOR LOADING AND UNLOADING.

SETBACKS:

ALONG FRONT ST
 BUILDINGS = 0 FT OR MAX 10 FT (IF SETBACK AREA IS USED FOR PEDESTRIAN AMENITIES)

VEHICLE USE AREA = 10 FT

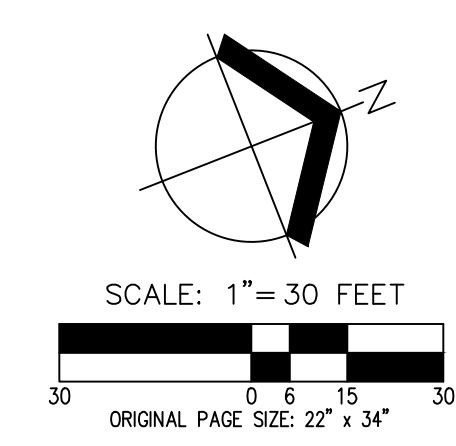
SIDE/REAR YARD
 BUILDINGS = NONE
 VEHICLE USE AREA = 5 FT (NOT REQUIRED ABUTTING AN ALLEY)

GENERAL NOTES:

1. BUILDINGS 1, 2, AND 3 ARE ON SEPARATE PROPERTIES REFER TO SHEET P4 FOR THE PROPOSED PROPERTY LINES.
2. THE FRONT STREET NE IMPROVEMENTS SHOWN ARE PRELIMINARY AND BASED ON CONCEPTUAL DESIGN WORK PROVIDED BY THE CITY'S RETAINED RAIL ENGINEER. REFINED FRONT STREET NE IMPROVEMENTS ARE ANTICIPATED AND WILL BE CONSTRUCTED IN ACCORDANCE WITH FEEDBACK RECEIVED FROM THE FINAL RAIL DIAGNOSTIC AND COORDINATION WITH THE CITY.

EV READY NOTE:

40% OF PARKING STALLS ARE REQUIRED TO BE EV READY PER STATE REQUIREMENTS. FINAL EV READY STALL LOCATION AND CONDUIT PLACEMENT WILL BE COORDINATED WITH PROJECT ELECTRICIAN AT THE TIME OF BUILDING PERMIT SUBMITTAL.



Parking will need to be modified. We realized vehicles trying to pull out of the southern spaces will not be able to see oncoming vehicles. The "hourglass" configuration can be maintained with a buffered area with hatching. ADA spaces will need to be modified or relocated to meet standards.

LEGEND

- 10' WILLAMETTE GREENWAY CONCRETE PATH (WITHIN 10' EASEMENT TO CITY OF SALEM)
- ASPHALT PAVEMENT SECTION
- CONCRETE SIDEWALK (4" MIN THICKNESS)
- CONCRETE PAVEMENT SECTION (8" MIN THICKNESS)
- CONCRETE PAVERS (REFER TO PLANS BY OTHERS)
- STORMWATER FACILITY
- PLANNED TREE (REFER TO LANDSCAPE PLANS BY OTHERS)

PRELIMINARY SITE PLAN
THE CANNERY
FUND
SALEM, OREGON

REGISTERED PROFESSIONAL ENGINEER
 NOT FOR CONSTRUCTION
 COVER D. ROTH
 RENEWS: DECEMBER 31, 2024
 JOB NUMBER: 5968-01
 DATE: 03/15/2024
 DESIGNED BY: TDR
 DRAWN BY: MJM
 CHECKED BY: TDR

AKS DRAWING FILE: 5968-01 PRELIM SITE PLANNING LAYOUT LAYOUT

ABBREVIATIONS:

- EXISTING:**
 (RIM): EXISTING RIM ELEVATION
- PROPOSED:**
 FFE: FINISHED FLOOR ELEVATION
 FG: FINISHED GRADE ELEVATION
 RIM: RIM ELEVATION
 AC: ASPHALT CONCRETE ELEVATION
 TC: TOP OF CURB ELEVATION
 BSE: BOTTOM OF STAIR ELEVATION
 TSE: TOP OF STAIR ELEVATION
 TW: TOP OF WALL ELEVATION
 BW: BOTTOM OF WALL ELEVATION
 SW: SIDEWALK ELEVATION
 TD: TRENCH DRAIN RIM ELEVATION
 GUT: GUTTER ELEVATION
- DOWNWARD SLOPE: \searrow X.X%

GENERAL NOTES:

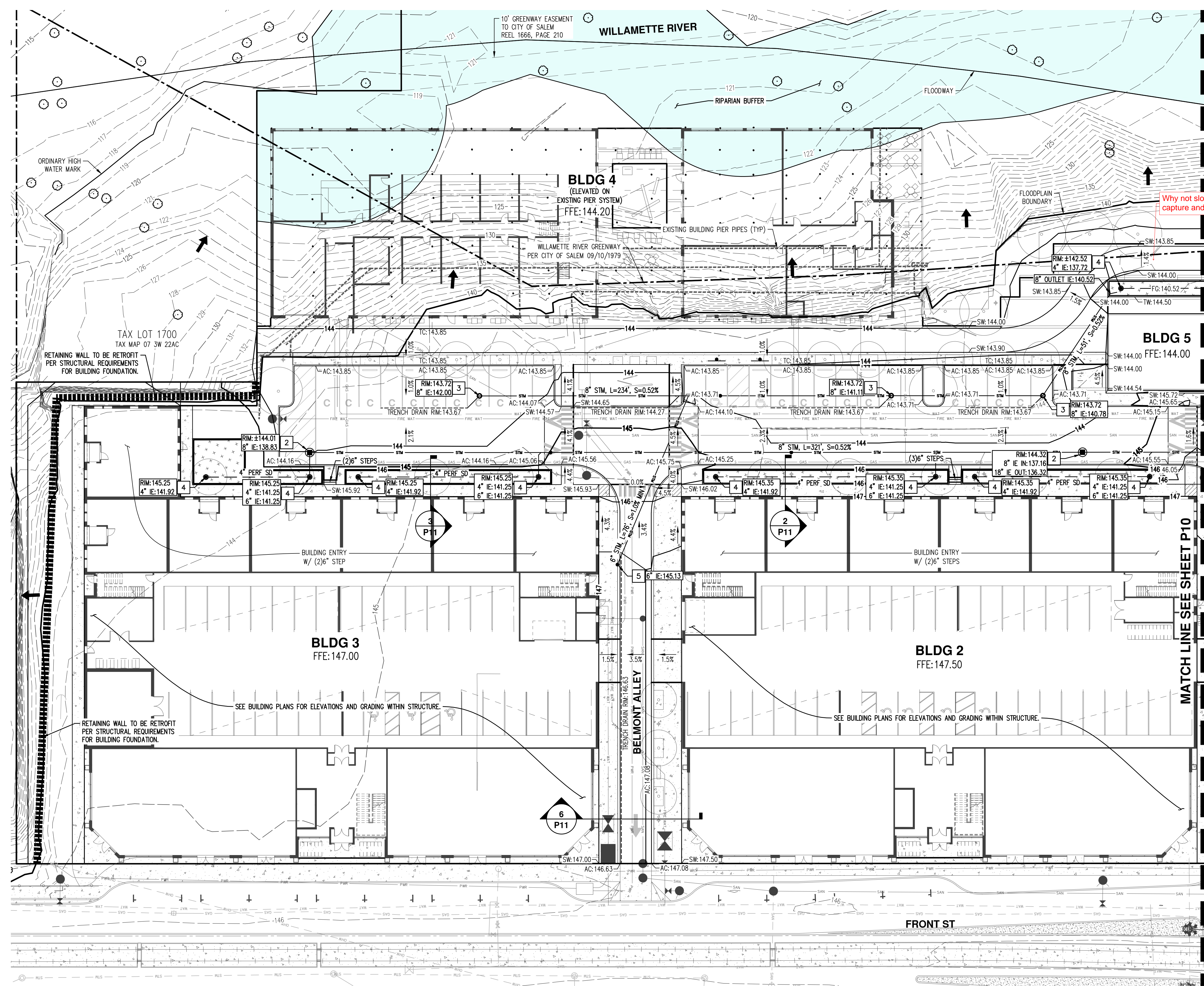
- (P) PRIOR TO CONSTRUCTION AND ORDERING PIPE MATERIALS, CONTRACTOR SHALL POTHOLE EXISTING UTILITIES TO VERIFY EXACT LOCATION, ALIGNMENT, DEPTH, AND SIZE. CONTACT ENGINEER IF ADJUSTMENT IS REQUIRED.

STORM DRAIN (SD) KEYED NOTES: #

- CONNECT TO EXISTING 34" CONCRETE PUBLIC STORM MAIN WITH NEW 48" MANHOLE. RIM AND INVERT ELEVATION (IE) PER PLANS.
- 48" SD MANHOLE. RIM AND IE PER PLAN.
- 24" SD MINI MANHOLE. RIM AND IE PER PLAN.
- SD BEEHIVE OVERFLOW.
- SD CLEANOUT (CO). IE PER PLAN.
- SD AREA DRAIN. RIM AND IE PER PLAN.
- ADJUST EXISTING MANHOLE RIM TO FINISHED GRADE ELEVATION.

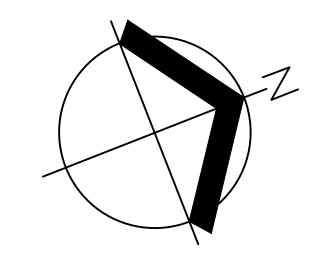
LEGEND

EXISTING GROUND CONTOUR (1 FT)	---	149
EXISTING GROUND CONTOUR (5 FT)	---	150
FINISHED GRADE CONTOUR (1 FT)	---	149
FINISHED GRADE CONTOUR (5 FT)	---	150
PROPOSED MANHOLE (MH)	●	
PROPOSED CLEANOUT (CO)/DOWNSPOUT (DS)	•	
PROPOSED CATCH BASIN (CB)	■	
BEEHIVE OVERFLOW DRAIN (BH)	○	
MINI MANHOLE (MMH)	○	
STORMWATER FACILITY	+	
ADA RAMP LANDING AREA (2% MAX ANY DIRECTION)	▨	
TRENCH DRAIN	—	
EXISTING SLOPE GREATER THAN 15%	→	



Why not slope path to allow for runoff capture and management? Updated sheet.

MATCH LINE SEE SHEET P10



SCALE: 1" = 20 FEET
 ORIGINAL PAGE SIZE: 22" x 34"

PRELIMINARY ONSITE GRADING AND DRAINAGE PLAN

THE CANNERY

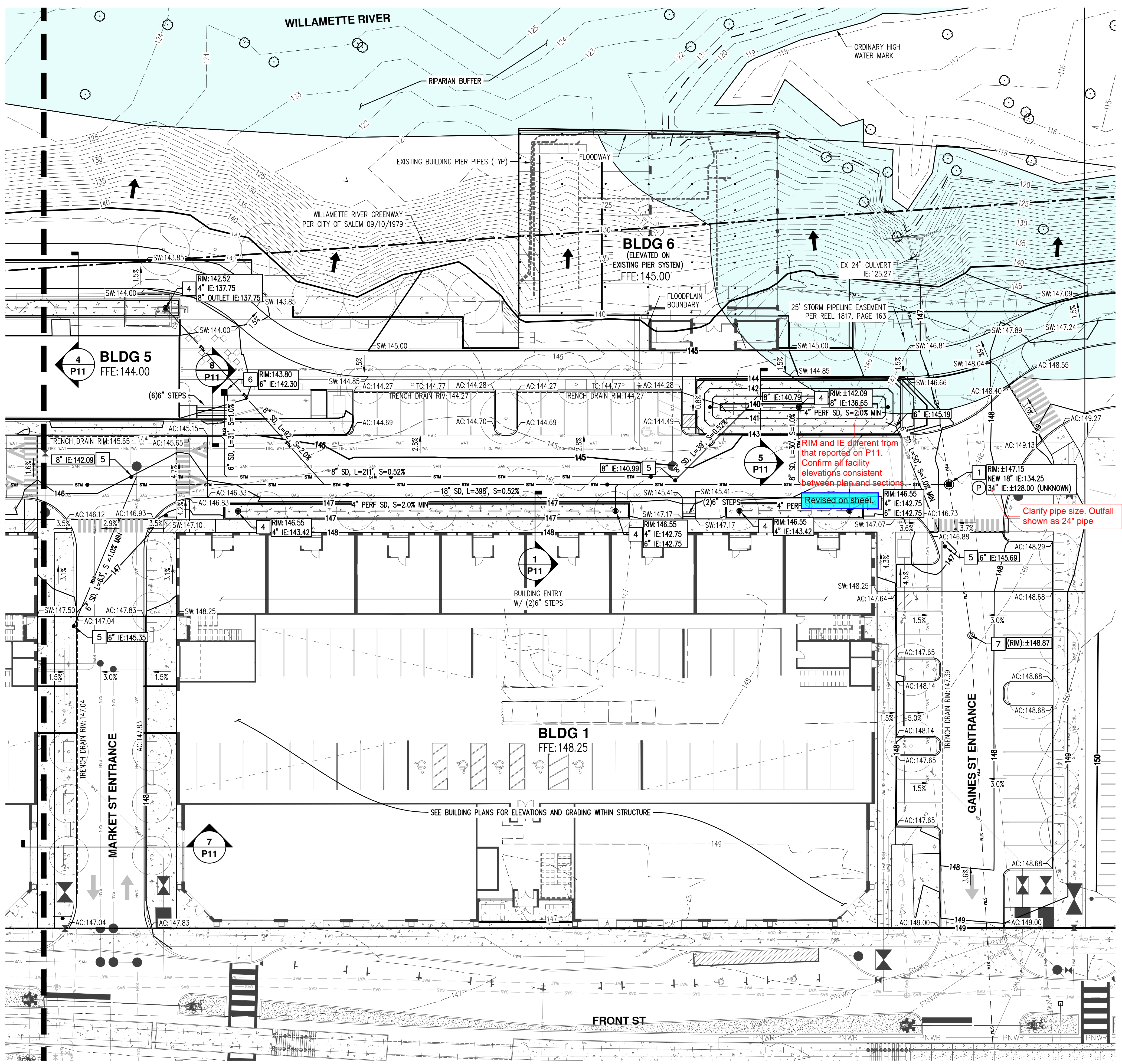


RENEWED: DECEMBER 31, 2024
 JOB NUMBER: 5988-01
 DATE: 03/15/2024
 DESIGNED BY: TDR
 DRAWN BY: MJM
 CHECKED BY: TDR

**PRELIMINARY ONSITE GRADING AND DRAINAGE PLAN
 THE CANNERY
 FUND
 SALEM, OREGON**



RENEWALS: DECEMBER 31, 2024
 JOB NUMBER: 5968-01
 DATE: 03/15/2024
 DESIGNED BY: TDR
 DRAWN BY: MJM
 CHECKED BY: TDR



ABBREVIATIONS:

- EXISTING:**
 (RM): EXISTING RIM ELEVATION
- PROPOSED:**
 FFE: FINISHED FLOOR ELEVATION
 FG: FINISHED GRADE ELEVATION
 RM: RIM ELEVATION
 AC: ASPHALT CONCRETE ELEVATION
 TC: TOP OF CURB ELEVATION
 BSE: BOTTOM OF STAIR ELEVATION
 TSE: TOP OF STAIR ELEVATION
 TW: TOP OF WALL ELEVATION
 BW: BOTTOM OF WALL ELEVATION
 SW: SIDEWALK ELEVATION
 TD: TRENCH DRAIN RIM ELEVATION
 GUT: GUTTER ELEVATION
- DOWNWARD SLOPE: X.X%

GENERAL NOTES:

(P) PRIOR TO CONSTRUCTION AND ORDERING PIPE MATERIALS, CONTRACTOR SHALL POTHOLE EXISTING UTILITIES TO VERIFY EXACT LOCATION, ALIGNMENT, DEPTH, AND SIZE. CONTACT ENGINEER IF ADJUSTMENT IS REQUIRED.

STORM DRAIN (SD) KEYED NOTES: #

- CONNECT TO EXISTING 34" CONCRETE PUBLIC STORM MAIN WITH NEW 48" MANHOLE. RIM AND INVERT ELEVATION (IE) PER PLANS.
- 48" SD MANHOLE. RIM AND IE PER PLAN. Confirm adequate structure size for connecting pipes.
- 24" SD MINI MANHOLE. RIM AND IE PER PLAN. To be confirmed with final design.
- SD BEEHIVE OVERFLOW.
- SD CLEANOUT (CO). IE PER PLAN.
- SD AREA DRAIN. RIM AND IE PER PLAN.
- ADJUST EXISTING MANHOLE RIM TO FINISHED GRADE ELEVATION.

Revised on sheet.

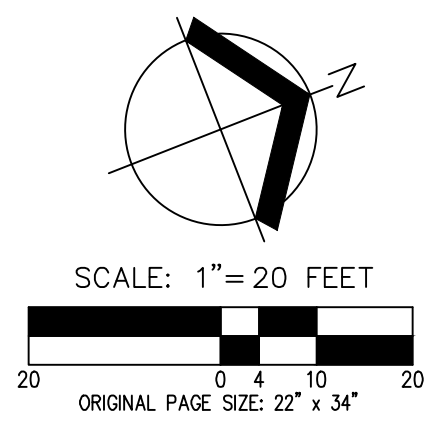
Clarify pipe size. Outfall shown as 24" pipe

RIM and IE different from that reported on P11. Confirm all facility elevations consistent between plan and sections.

Revised on sheet.

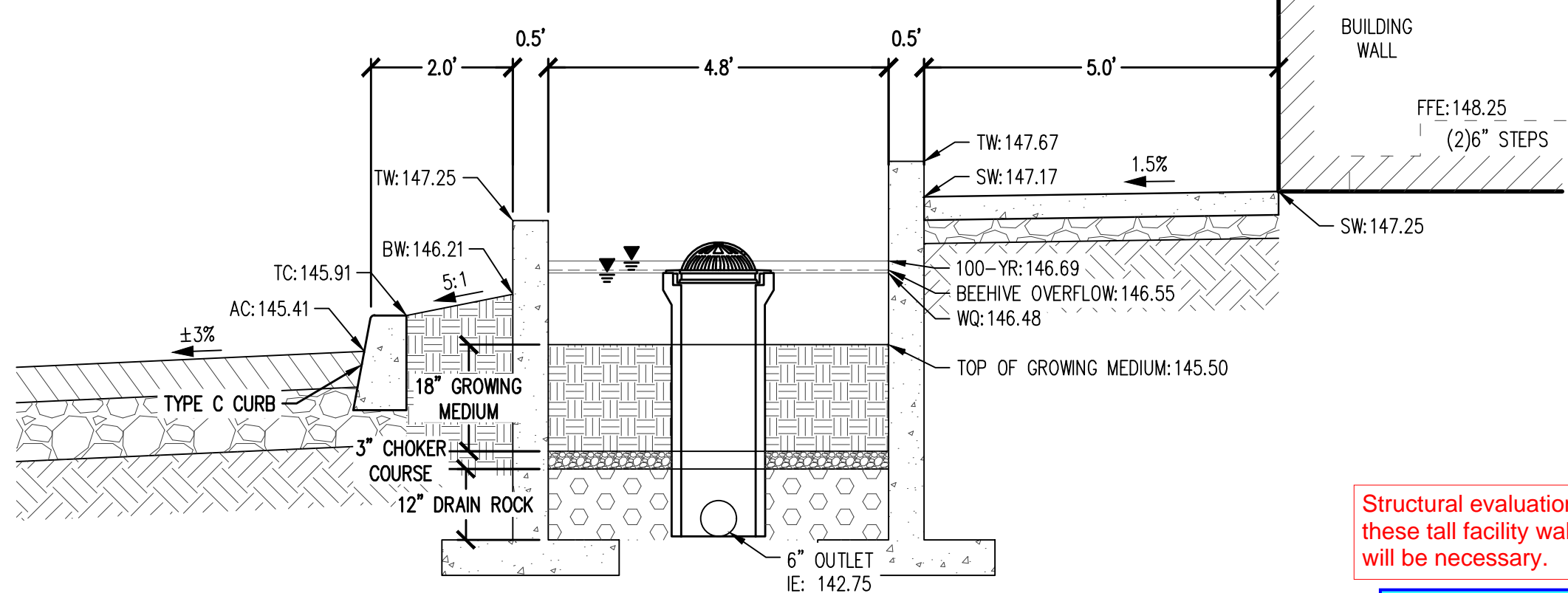
LEGEND

EXISTING GROUND CONTOUR (1 FT)	---	149
EXISTING GROUND CONTOUR (5 FT)	---	150
FINISHED GRADE CONTOUR (1 FT)	---	149
FINISHED GRADE CONTOUR (5 FT)	---	150
PROPOSED MANHOLE (MH)	⊙	
PROPOSED CLEANOUT (CO)\DOWNSPOUT (DS)	•	
PROPOSED CATCH BASIN (CB)	■	
BEEHIVE OVERFLOW DRAIN (BH)	⊙	
MINI MANHOLE (MMH)	○	
STORMWATER FACILITY	+	
ADA RAMP LANDING AREA (2% MAX ANY DIRECTION)	▨	
TRENCH DRAIN	---	
EXISTING SLOPE GREATER THAN 15%	→	



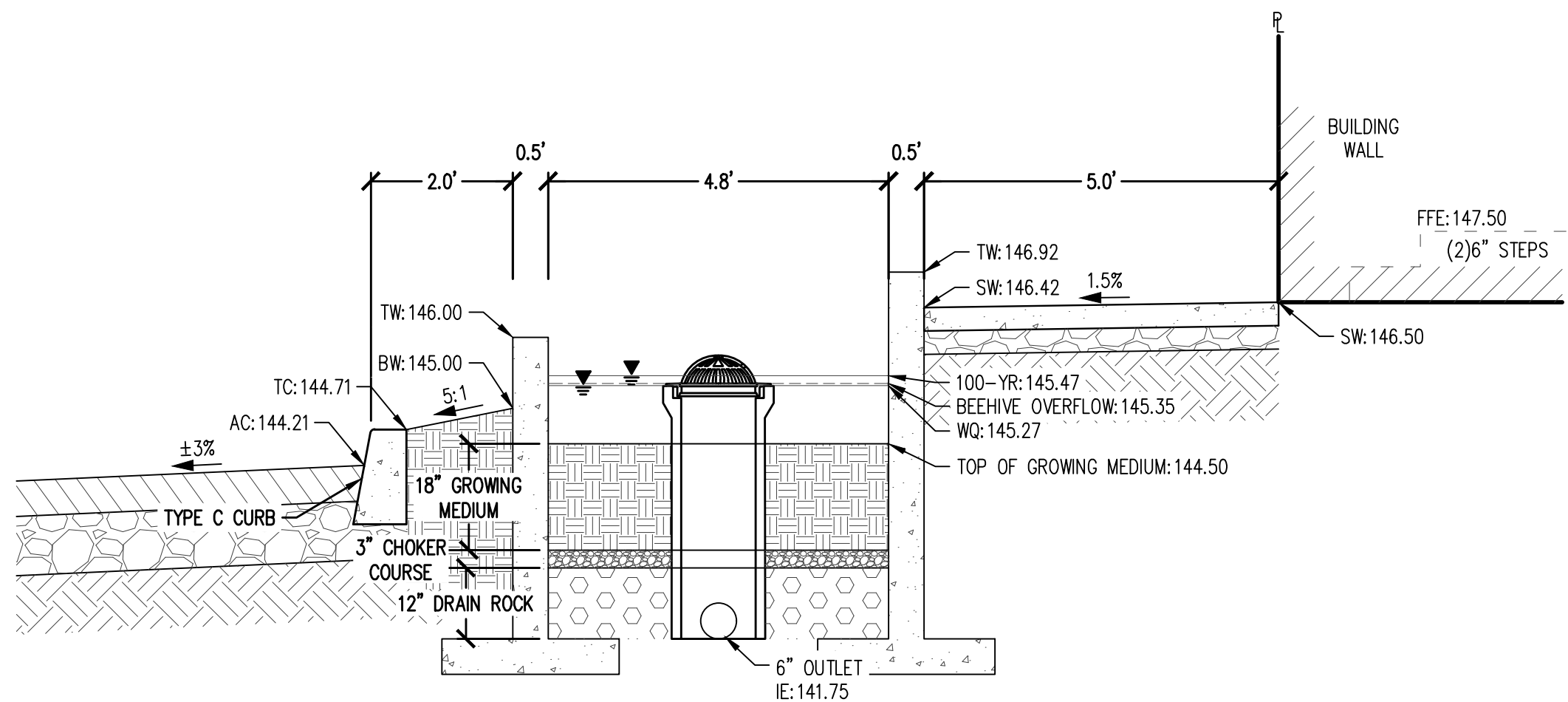
Final design item. Most likely will have liner along building footing.

Infiltrating facilities must be set back at least 10ft from building foundations. Include concrete bottom and/or waterproof liner or increase setback.

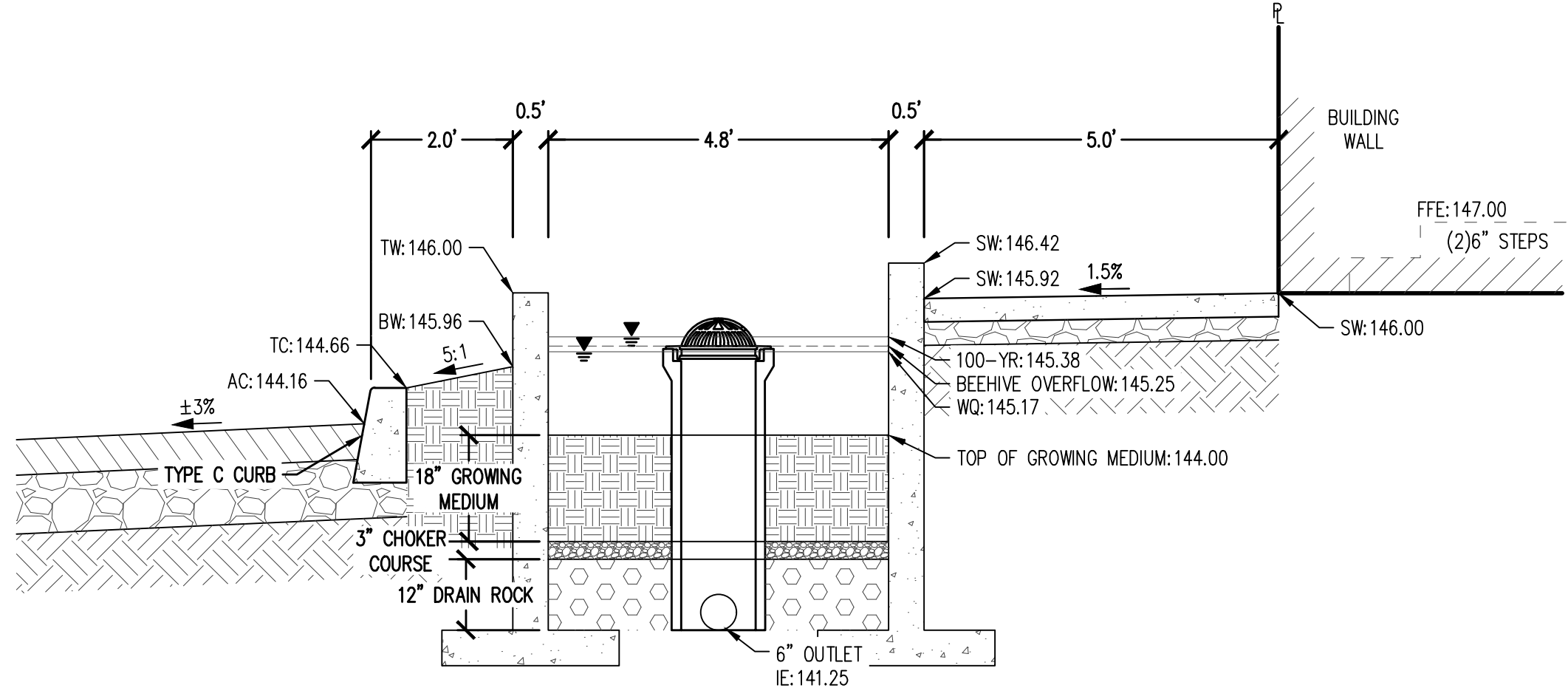


1 BUILDING 1 PLANTER CROSS-SECTION
 1" = 2'

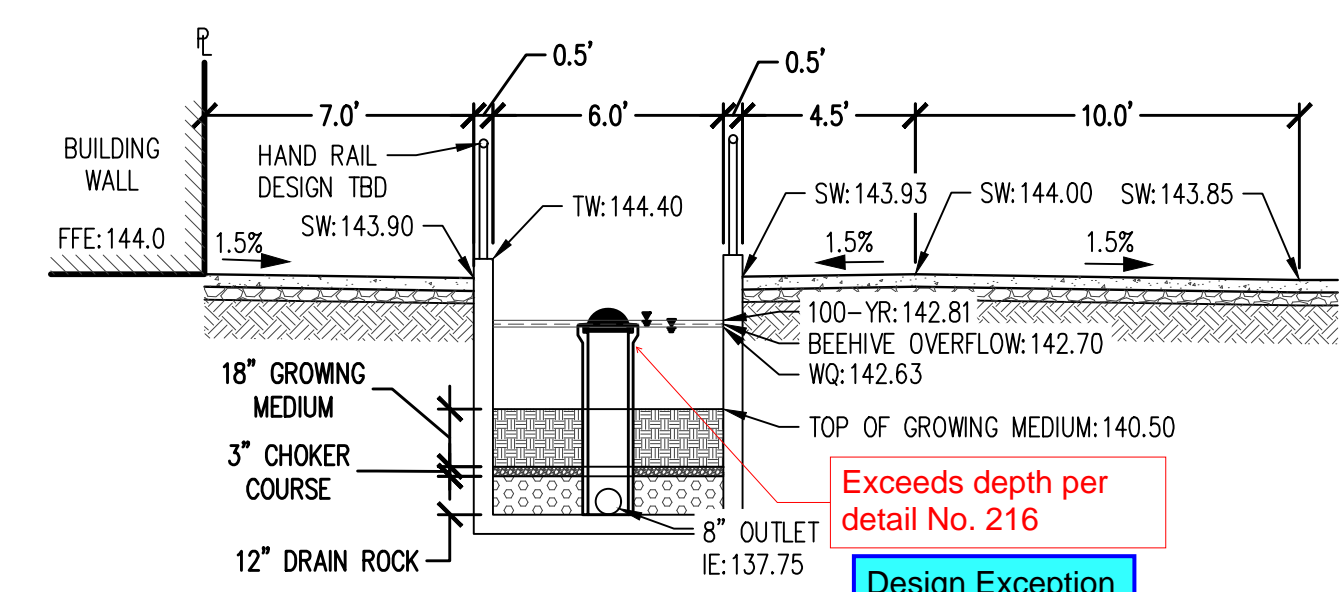
Structural evaluation of these tall facility walls will be necessary.
 Final design item.



2 BUILDING 2 PLANTER CROSS-SECTION
 1" = 2'



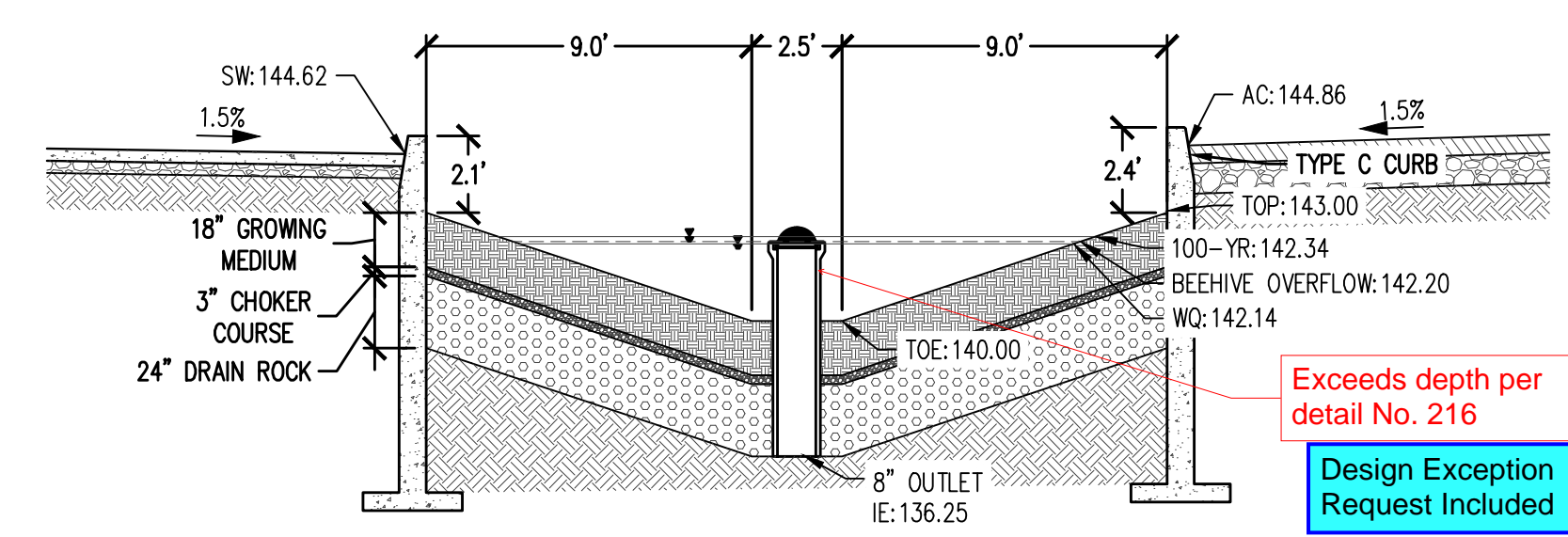
3 BUILDING 3 PLANTER CROSS-SECTION
 1" = 2'



4 WINERY PLANTER CROSS-SECTION
 1" = 5'

Design Exception Request Included

Exceeds depth per detail No. 216



5 RAIN GARDEN CROSS-SECTION
 1" = 5'

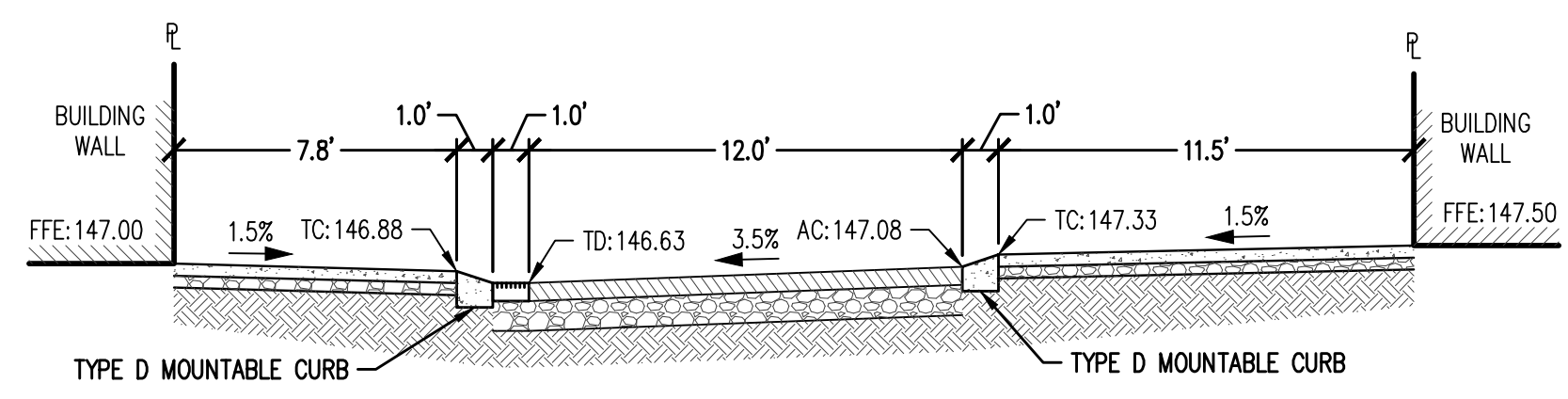
Design Exception Request Included

Exceeds depth per detail No. 216

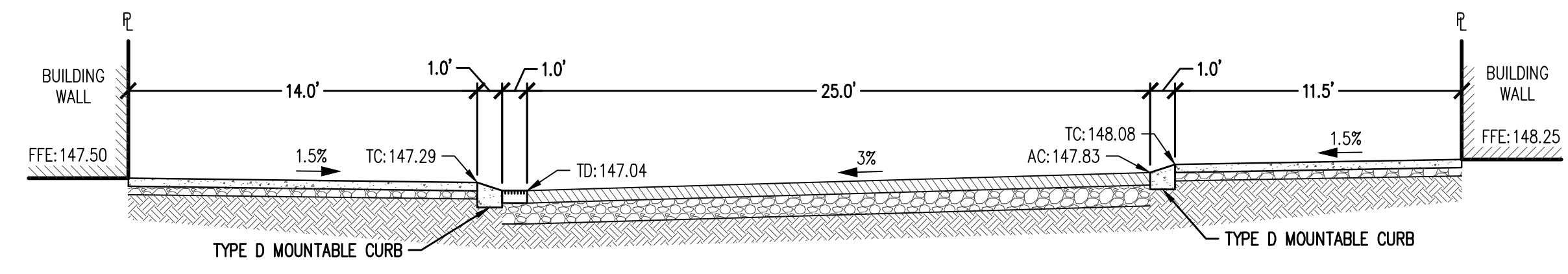
ABBREVIATIONS:
 EXISTING:
 (RIM): EXISTING RIM ELEVATION
 PROPOSED:
 FFE: FINISHED FLOOR ELEVATION
 FG: FINISHED GRADE ELEVATION
 RIM: RIM ELEVATION
 AC: ASPHALT CONCRETE ELEVATION
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 BW: BOTTOM OF WALL ELEVATION
 SW: SIDEWALK ELEVATION
 TD: TRENCH DRAIN RIM ELEVATION
 GUT: GUTTER ELEVATION
 DOWNWARD SLOPE: X.X%

For final design, PWDS 2.12 require profiles of stormwater facilities.

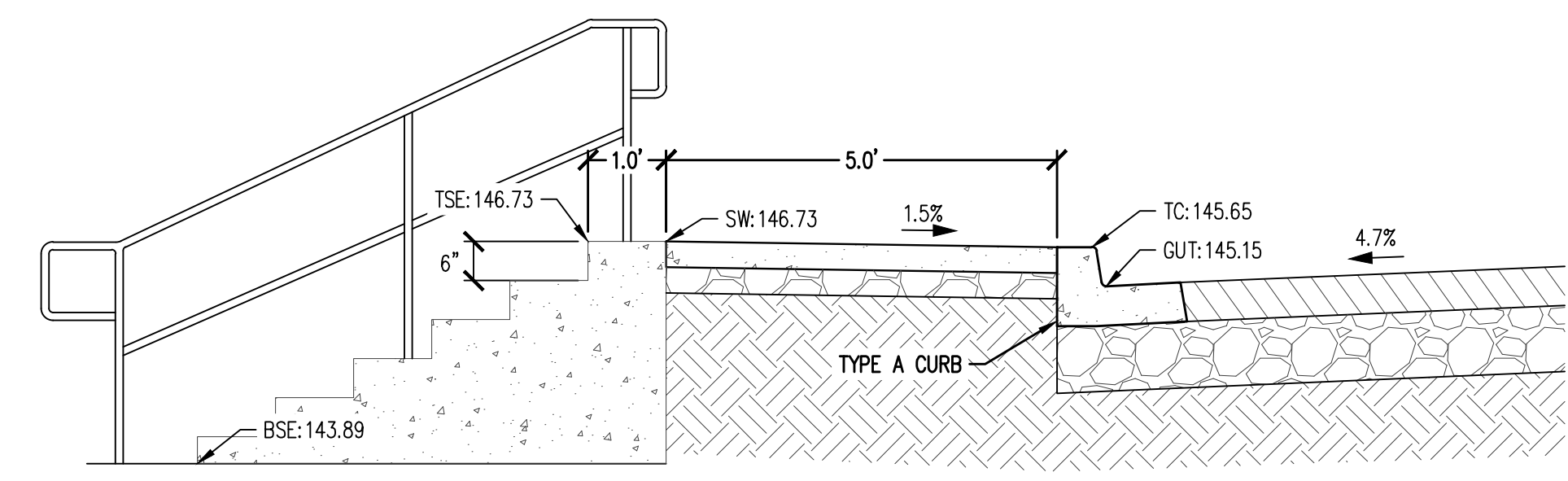
Final design item.



6 BELMONT ALLEY CROSS-SECTION
 1" = 5'



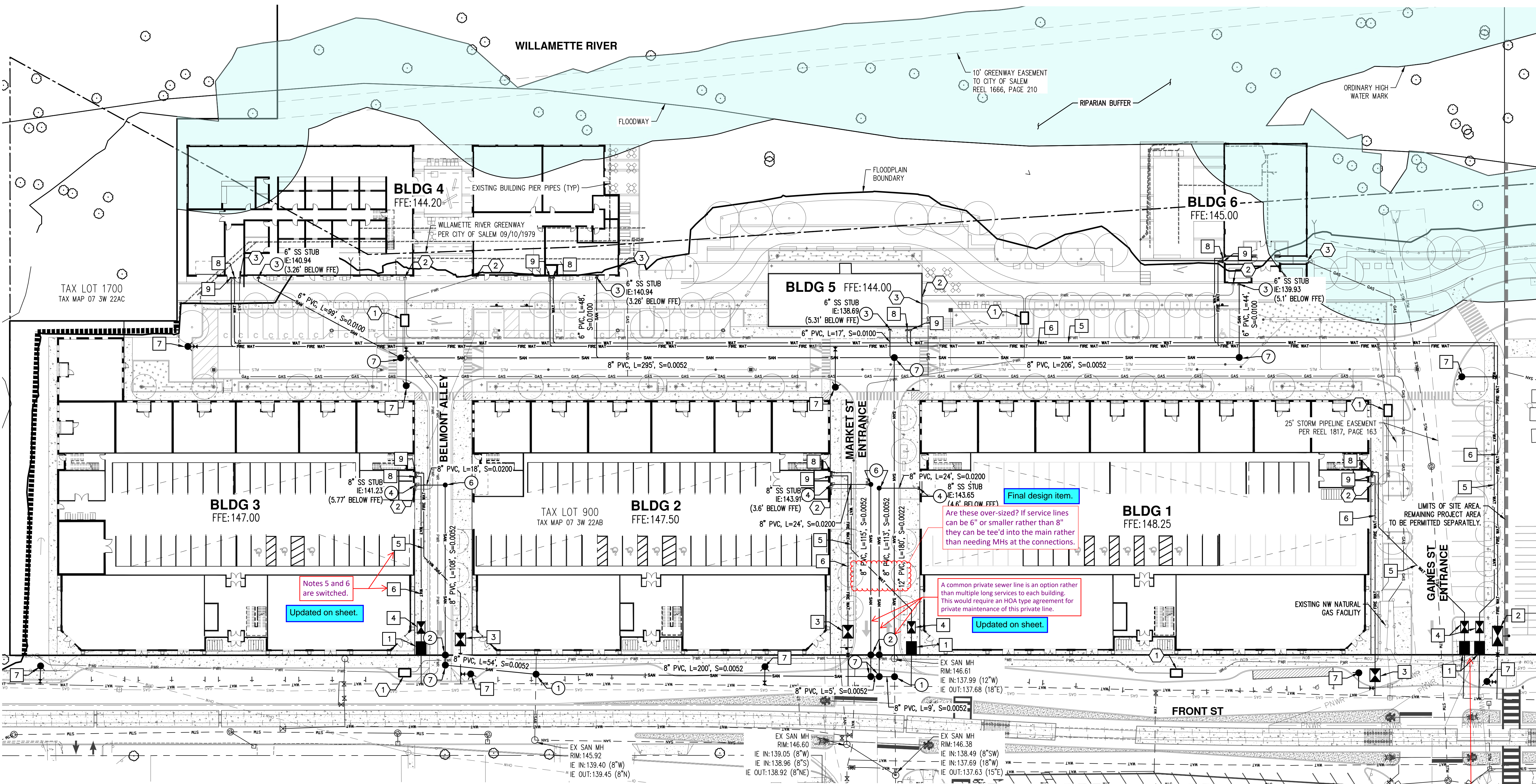
7 MARKET ST ENTRANCE CROSS-SECTION
 1" = 5'



8 WINERY BUILDING STAIR STEP CONCEPT
 1" = 2'



JOB NUMBER:	5968-01
DATE:	03/15/2024
DESIGNED BY:	TDR
DRAWN BY:	MJM
CHECKED BY:	TDR



AKS: PLANS UPDATED ACCORDINGLY. DESIGN EXCEPTION INCLUDED FOR RP WITHIN BUILDINGS.

Updated on sheet. Fire service is 8", is this supposed to be 8" also to match rather than being 6"?

WATER AND FIRE KEYED NOTES: #

- 3" WATER METER PER CITY STANDARDS.
- 8" DOUBLE CHECK DETECTOR ASSEMBLY (DCDA) WITH FDC.
- 6" DCDA.
- 4" DOUBLE CHECK ASSEMBLY.
- 4" DOMESTIC WATER SERVICE.
- 8" FIRE SERVICE.
- FIRE HYDRANT ASSEMBLY.
- 4" DOMESTIC WATER SERVICE TO BUILDING. REFER TO PLANS BY OTHERS.
- 6" FIRE SERVICE TO BUILDING WITH FDC MOUNTED ON FACE OF BUILDING. REFER TO PLANS BY OTHERS.

SANITARY SEWER (SS) KEYED NOTES: #

- CONNECT TO EXISTING SS MAIN WITH NEW MANHOLE (MH).
- 48" SS MONITORING MH.
- 6" SS LATERAL TO BUILDING. REFER TO PLANS BY OTHERS.
- 8" SS LATERAL TO BUILDING. REFER TO PLANS BY OTHERS.
- 24" MONITORING MH.
- 24" MINI MH.
- 48" SS STANDARD MH.

FRANCHISE UTILITY KEYED NOTES: #

- CONCEPTUAL TRANSFORMER LOCATION.
- POWER CONDUIT TO PROPOSED BUILDINGS.
- GAS SERVICE TO BUILDINGS. COORDINATE WITH NORTHWEST NATURAL FOR FINAL SERVICE PLAN.

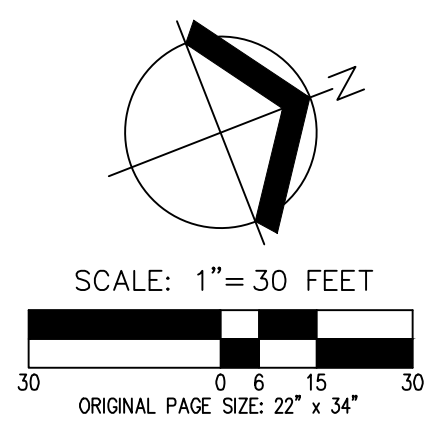
Final design item. Are these over-sized? If service lines can be 6" or smaller rather than 8" they can be tee'd into the main rather than needing MHs at the connections.

A common private sewer line is an option rather than multiple long services to each building. This would require an HOA type agreement for private maintenance of this private line.

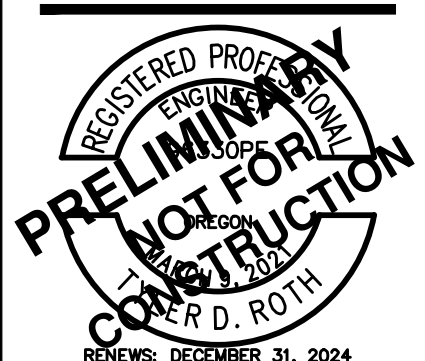
Water meters are required to be in ROW (typical all locations)

Easements added around meters.

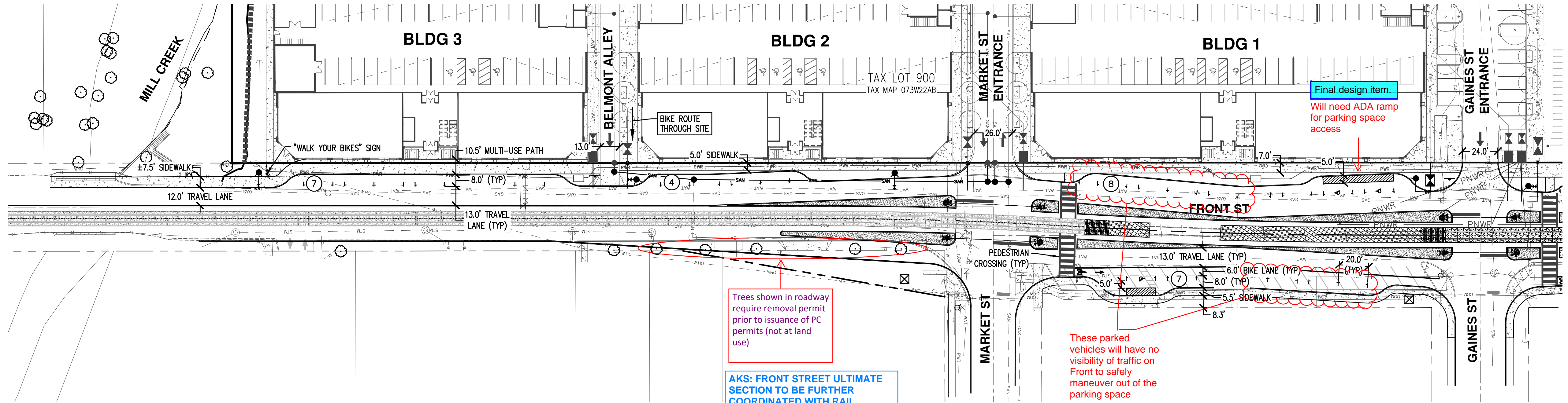
IS THIS KEYNOTE USED? IF NOT, PLEASE REMOVE. Updated on sheet.



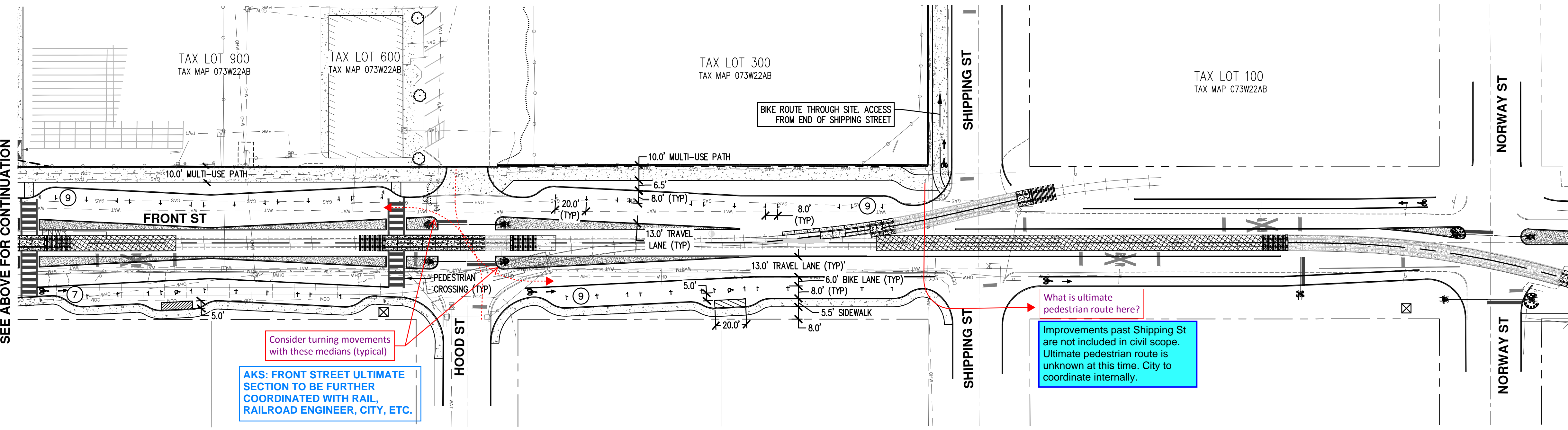
**PRELIMINARY COMPOSITE UTILITY PLAN
 THE CANNERY FUND
 SALEM, OREGON**



RENEWED: DECEMBER 31, 2024
 JOB NUMBER: 5968-01
 DATE: 03/15/2024
 DESIGNED BY: TDR
 DRAWN BY: MJM
 CHECKED BY: TDR



SEE BELOW FOR CONTINUATION



SEE ABOVE FOR CONTINUATION

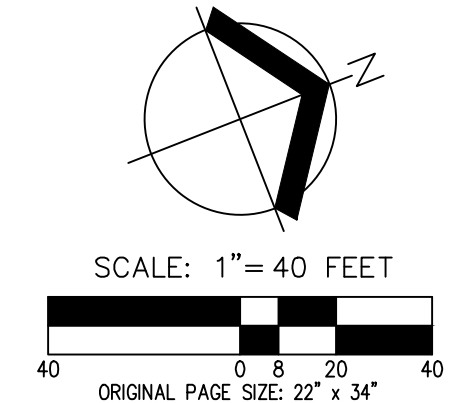
Trees shown in roadway require removal permit prior to issuance of PC permits (not at land use)

AKS: FRONT STREET ULTIMATE SECTION TO BE FURTHER COORDINATED WITH RAIL, RAILROAD ENGINEER, CITY, ETC.

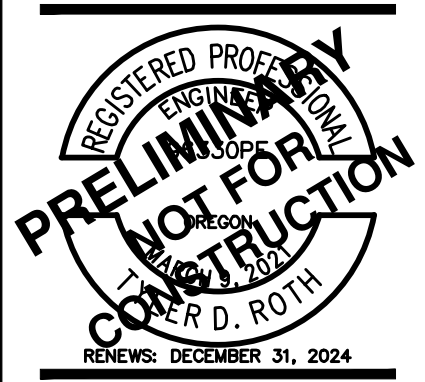
AKS: FRONT STREET ULTIMATE SECTION TO BE FURTHER COORDINATED WITH RAIL, RAILROAD ENGINEER, CITY, ETC.

LEGEND:
NUMBER OF PARKING STALLS IN ROW

GENERAL NOTE:
PROPOSED FRONT STREET IMPROVEMENTS ARE SUBJECT TO CHANGE BASED ON RAIL AND CITY FEEDBACK. INFORMATION SHOWN IS BASED ON LATEST COORDINATION EFFORTS WITH THE CITY OF SALEM AND RAILROAD ENGINEER.

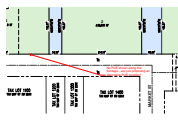


PRELIMINARY FRONT ST IMPROVEMENTS
THE CANNERY
FUND
SALEM, OREGON



RENEWS: DECEMBER 31, 2024

JOB NUMBER:	5968-01
DATE:	03/15/2024
DESIGNED BY:	TDR
DRAWN BY:	MJM
CHECKED BY:	TDR

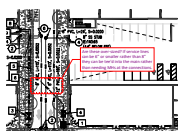


Subject: Callout
Page Label: [4] P4 TENTATIVE PLAT
Author: LChristian
Date: 4/24/2024 8:22:28 AM
Status: Accepted set by LChristian on 4/24/2024 at 8:22:38 AM
Color: ■
Layer:
Space:

No PUE shown along the frontage - are you proposing an alternative PUE location?

AKS: DRY UTILITIES TO BE LOCATED WITHIN STREET ROW PER UTILITY PLAN.

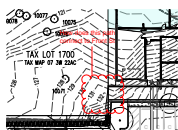
Cloud+ (4)



Subject: Cloud+
Page Label: [12] P12 PRELIMINARY COMPOSITE UTILITY PLAN
Author: Kyle Cochran
Date: 4/12/2024 10:05:14 AM
Status: Accepted set by LChristian on 4/19/2024 at 10:10:26 AM
Color: ■
Layer:
Space:

Are these over-sized? If service lines can be 6" or smaller rather than 8" they can be tee'd into the main rather than needing MHs at the connections.

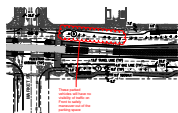
AKS: FINAL DESIGN ITEM.



Subject: Cloud+
Page Label: [6] P6 PRELIMINARY TREE PRESERVATION AND REMOVAL PLAN
Author: khottmann
Date: 3/28/2024 4:14:04 PM
Status: Accepted set by LChristian on 4/19/2024 at 10:11:24 AM
Color: ■
Layer:
Space:

How does this path connect to Front St

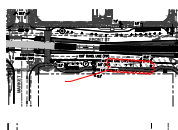
AKS: OUT BELLMONT ALLEY FOR INTERMEDIATE SOLUTION UNTIL CITY PATHWAY THROUGH CITY PARK IS COMPLETED PER TSP.



Subject: Cloud+
Page Label: [13] P13 PRELIMINARY FRONT ST IMPROVEMENTS
Author: khottmann
Date: 3/28/2024 4:33:15 PM
Status: Accepted set by LChristian on 4/19/2024 at 10:11:55 AM
Color: ■
Layer:
Space:

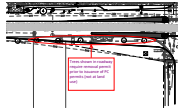
These parked vehicles will have no visibility of traffic on Front to safely maneuver out of the parking space

AKS: FRONT STREET ULTIMATE SECTION TO BE FURTHER COORDINATED WITH RAIL, RAILROAD ENGINEER, CITY, ETC.



Subject: Cloud+
Page Label: [13] P13 PRELIMINARY FRONT ST IMPROVEMENTS
Author: khottmann
Date: 3/28/2024 4:31:27 PM
Status:
Color: ■
Layer:
Space:

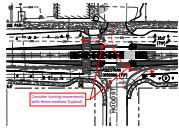
Group (6)



Subject: Group
Page Label: [13] P13 PRELIMINARY FRONT ST IMPROVEMENTS
Author: Kyle Cochran
Date: 4/19/2024 10:11:00 AM
Status: Accepted set by LChristian on 4/19/2024 at 10:11:02 AM
Color: ■
Layer:
Space:

Trees shown in roadway require removal permit prior to issuance of PC permits (not at land use)

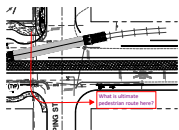
AKS: FRONT STREET ULTIMATE SECTION TO BE FURTHER COORDINATED WITH RAIL, RAILROAD ENGINEER, CITY, ETC.



Subject: Group
Page Label: [13] P13 PRELIMINARY FRONT ST IMPROVEMENTS
Author: Kyle Cochran
Date: 3/26/2024 6:42:01 AM
Status: Accepted set by LChristian on 4/19/2024 at 10:11:10 AM
Color: ■
Layer:
Space:

Consider turning movements with these medians (typical)

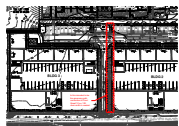
AKS: FRONT STREET ULTIMATE SECTION TO BE FURTHER COORDINATED WITH RAIL, RAILROAD ENGINEER, CITY, ETC.



Subject: Group
Page Label: [13] P13 PRELIMINARY FRONT ST IMPROVEMENTS
Author: Kyle Cochran
Date: 3/26/2024 6:52:53 AM
Status: Accepted set by LChristian on 4/19/2024 at 10:11:15 AM
Color: ■
Layer:
Space:

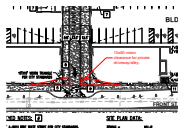
What is ultimate pedestrian route here?

AKS: FRONT STREET ULTIMATE SECTION TO BE FURTHER COORDINATED WITH RAIL, RAILROAD ENGINEER, CITY, ETC.



Subject: Group
Page Label: [6] P6 PRELIMINARY TREE PRESERVATION AND REMOVAL PLAN
Author: Rob Romanek
Date: 4/19/2024 10:12:07 AM
Status: Accepted set by LChristian on 4/19/2024 at 10:12:09 AM
Color: ■
Layer:
Space:

AKS: PER MEETING WITH CITY STAFF 5/7 10' CLEAR NOT REQUIRED IF INTERMEDIATE SOLUTION UNTIL PATHWAY IS CONSTRUCTED THROUGH CITY PARKS PROPERTY PER TSP. BELLMONT ADJUSTED TO BE A SHARROW FOR BIKERS AND THE PATHWAY CAN THEN BE JUST PEDESTRIAN FOOT TRAFFIC ONLY.



Subject: Group
Page Label: [8] P8 PRELIMINARY SITE PLAN
Author: tmartin
Date: 4/19/2024 10:12:50 AM
Status: Accepted set by LChristian on 4/19/2024 at 10:12:57 AM
Color: ■
Layer:
Space:

10x50 vision clearance for private driveway/alley.

AKS: PLANS UPDATED ACCORDINGLY



Subject: Group
Page Label: [8] P8 PRELIMINARY SITE PLAN
Author: tmartin
Date: 4/19/2024 10:13:35 AM
Status: Accepted set by LChristian on 4/19/2024 at 10:13:50 AM
Color: ■
Layer:
Space:

Note (1)



Subject: Note
Page Label: [12] P12 PRELIMINARY COMPOSITE UTILITY PLAN
Author: sruyle
Date: 3/26/2024 1:19:30 PM
Status: Accepted set by LChristian on 4/19/2024 at 10:11:19 AM
Color: ■
Layer:
Space:

Due to the mixed use an RP Backflow assembly will be required on the domestic water

AKS: PLANS UPDATED ACCORDINGLY. DESIGN EXCEPTION INCLUDED FOR RP WITHIN BUILDINGS.

PolyLine (1)



Subject: PolyLine
Page Label: [8] P8 PRELIMINARY SITE PLAN
Author: tmartin
Date: 4/11/2024 11:57:44 AM
Status:
Color: ■
Layer:
Space:

q (1)

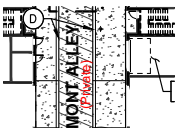


Subject: q
Page Label: [12] P12 PRELIMINARY COMPOSITE UTILITY PLAN
Author: Jerry Casteel
Date: 4/12/2024 8:40:41 AM
Status: Accepted set by LChristian on 4/19/2024 at 10:13:55 AM
Color: ■
Layer:
Space:

IS THIS KEYNOTE USED? IF NOT, PLEASE REMOVE.

AKS: PLANS UPDATED ACCORDINGLY

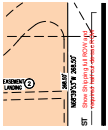
Text Box (4)



Subject: Text Box
Page Label: [8] P8 PRELIMINARY SITE PLAN
Author: LChristian
Date: 3/25/2024 1:56:31 PM
Status: Accepted set by LChristian on 4/19/2024 at 10:09:24 AM
Color: ■
Layer:
Space:

(Private)

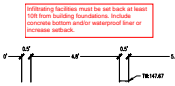
AKS: PLANS UPDATED ACCORDINGLY



Subject: Text Box
Page Label: [4] P4 TENTATIVE PLAT
Author: LChristian
Date: 4/19/2024 10:09:40 AM
Status: Accepted set by LChristian on 4/19/2024 at 10:09:43 AM
Color: ■
Layer:
Space:

Show Shipping full ROW and required half cul-de-sac ROW

AKS: PER DISCUSSIONS WITH CITY STAFF SHIPPING STREET ROW DEDICATION AND IMPROVEMENTS TO BE A PART OF PHASE 2.



Subject: Text Box
Page Label: [11] P11 PRELIMINARY GRADING AND DRAINAGE SECTIONS
Author: roseh
Date: 4/5/2024 10:19:37 AM
Status: Accepted set by LChristian on 4/19/2024 at 10:12:28 AM
Color: ■
Layer:
Space:

Infiltrating facilities must be set back at least 10ft from building foundations. Include concrete bottom and/or waterproof liner or increase setback.

AKS: FINAL DESIGN ITEM. BUILDING FOUNDATION TO INCLUDE WATERPROOF LINER.



Subject: Text Box
Page Label: [11] P11 PRELIMINARY GRADING AND DRAINAGE SECTIONS
Author: roseh
Date: 4/5/2024 10:23:07 AM
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Color: ■
Layer:
Space:

For final design, PWDS 2.12 require profiles of stormwater facilities.

AKS: TO BE INCLUDED WITH FINAL DESIGN