

CODE REVIEW

GENERAL INFORMATION

PROJECT:
KEYSTONE INDUSTRIAL PARK
AREA II PLUMBERS, TENANT IMPROVEMENT

PROPERTY INFORMATION:
ADDRESS: 1995 16th STREET NE, SUITE 105, SALEM, OR 97301
TAX LOT NUMBER: 073W23AA06701
AREA: 2.35 ACRES
ZONE: IG (GENERAL INDUSTRIAL)

SCOPE OF WORK:
REMODEL EXISTING SUITE 105 TO ACCOMMODATE OCCUPATIONAL TRAINING FACILITY FOR PLUMBERS

CODES:
2022 OREGON STRUCTURAL SPECIALTY CODE BASED ON 2018 IBC
2022 OREGON FIRE CODE

LAND USE - PARKING

VEHICLE PARKING: TABLE 806.1
TOTAL BUILDING AREAS: 1985 16th ST NE & 1995 16th ST NE: 26,941 SQ FT
BUILDING USES & MAX PARKING:
OFFICES & ADULT EDUCATION: 1 SPACE / 250 SQ FT: 14,356 / 250 = 58 SPACES
STORAGE: 1 SPACE / 1000 SQ FT: 12,585 / 1,000 = 13 SPACES
MAX. PARKING ALLOWED: 58 + 13 = 71 SPACES
EXISTING PARKING: 66 SPACES < 71 SPACES (COMPLIES)

BICYCLE PARKING:		BICYCLE PARKING CALCULATIONS				5/14/2024
	Address	Tenant	Total Area, sq ft	Offices sq ft	Storage sq ft	Adult Ed sq ft
1	1995 - Suite 101	AdaptHealth	2,100	1,050	1,050	
2	1995 - Suite 102	Vacant	4,000	2,000	2,000	
3	1995 - Suite 105	AREA II Plumbers	7,667			7,667
4	1985 - Suite 110	Keystone Mgmt	3,639	3,639		
5	1985 - Suite 130	Ideal Sushi Supply Co.	5,386		5,386	
6	1985 - Suite 170	Ideal Sushi Supply Co.	4,149		4,149	
Total Area			26,941	6,689	12,585	7,667
BICYCLE PARKING SPACES	Office	4 spaces or 1 / 3,500 sq ft, 1st 50,000 sq ft +1 / 7,000 sq ft for 50-100,000 sq ft		1.91		
	Storage	4 spaces or 1 / 10,000 sq ft, 1st 50,000 sq ft +1 / 20,000 sq ft for 50-100,000 sq ft			1.26	
	Adult Education	4 spaces or 1 / 3,500 sq ft, 1st 50,000 sq ft +1 / 7,000 sq ft for 50-100,000 sq ft				2.19
				Total		5.36
TOTAL BICYCLE PARKING SPACES REQUIRED						6

EXISTING BICYCLE PARKING: 2 SPACES
NEW BICYCLE PARKING REQUIRED: 4 SPACES

USE & OCCUPANCY - CHAPTER 3

OCCUPANCY: B OCCUPANCY SECT 304.1
NEW USE: EDUCATIONAL OCCUPANCY ABOVE 12th GRADE
PREVIOUS USE: OFFICES

GENERAL BUILDING HEIGHTS & AREAS - CHAPTER 5

EXISTING BUILDING: III-B, SPRINKLERED
BUILDING HEIGHT: 75 FT. 4-STORIES
ALLOWABLE HEIGHT: 28'-0", 1-STORY (COMPLIES)
BUILDING AREA: 76,000 SQ FT (BASIC)
ALLOWABLE AREAS: 70,000 SQ FT (BASIC)
EXISTING BUILDING (1995): 13,767 SQ FT < 70,000 SQ FT (COMPLIES)

CONSTRUCTION TYPES - CHAPTER 6

CONSTRUCTION TYPE III-B, NON-SPRINKLERED SECT. 602.5

MEANS OF EGRESS - CHAPTER 10

Area II Plumbers TI - Occupancy						TABLE 1004.5
#	Room	Occ. Group	Useable Area	Code SqFt/Occ	Occupant Calc	
103	On-line Teachers Room	B	490	150	3.27	
105	Classroom 1	B	637	20	31.85	
106	Classroom 2	B	718	20	35.90	
108	Shop	B	839	50	16.78	
109	Classroom 3	B	1073	20	53.65	
110	Open Office	B	679	150	4.53	
116	Open Office	B	573	150	3.82	
117	Kitchen	B	165	15	11.00	
118	Vending	B	177	15	11.80	
119	Multi-use Office	B	321	150	2.14	
120	Office	B	150	150	1.00	
Total Occupant Load:					175.73	176.00

EGRESS SIZING: EXITS 176 OCC x 0.2 IN/OCC = 35.2 IN WIDTH REQUIRED TYPICAL EXIT DOOR 36" WIDE > 35.2" (COMPLIES) SECT 1005.3.2

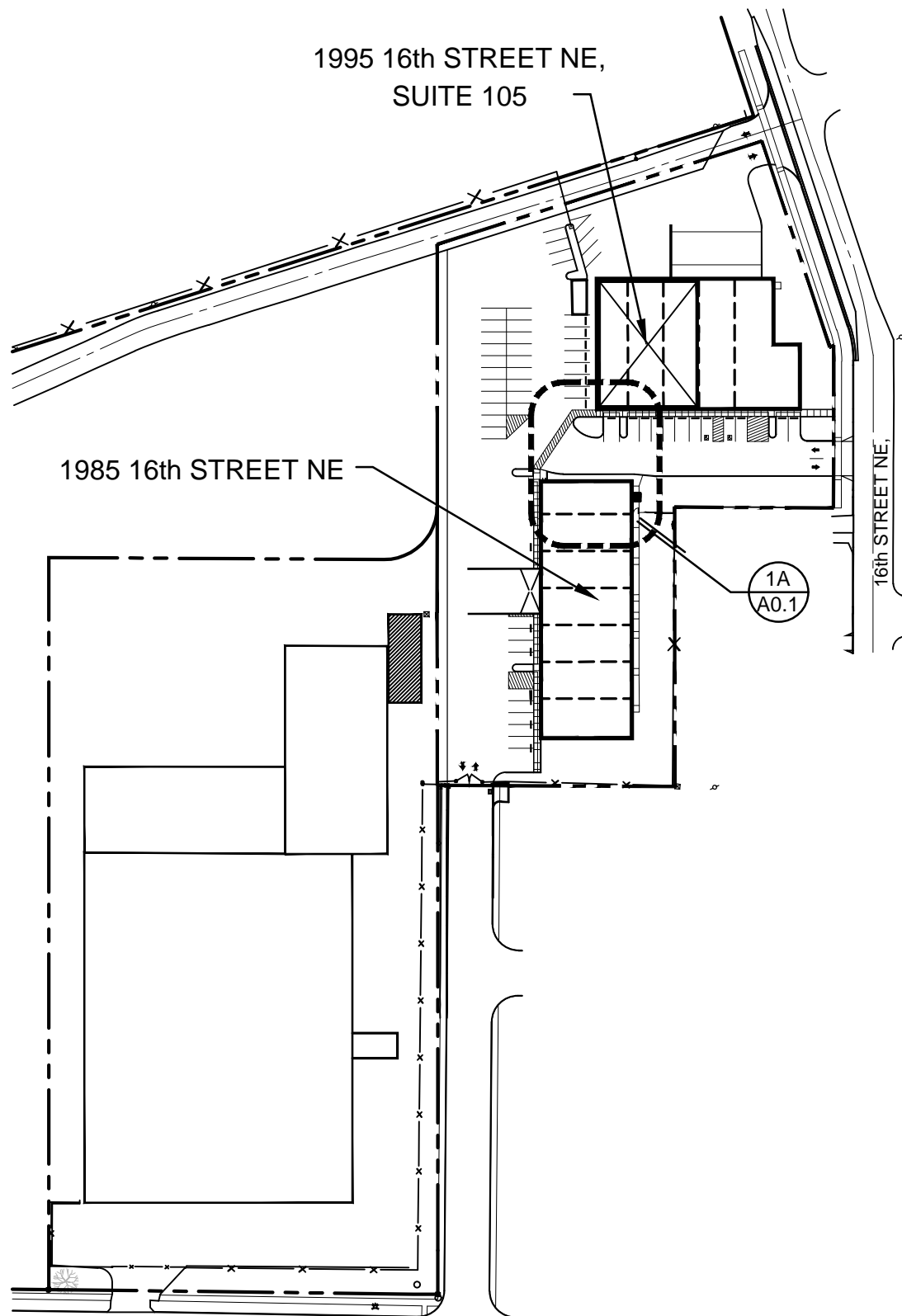
NUMBER OF EXITS: OCCUPANT LOAD = 176 > 49; TWO EXITS REQUIRED TABLE 1006.2.1

EXIT ACCESS TRAVEL DISTANCE: B OCC: 300 FT MAX ALLOWED WITH SPRINKLER SYSTEM 102 FT MAX. PROVIDED (COMPLIES) TABLE 1017.2

PLUMBING SYSTEMS - CHAPTER 29

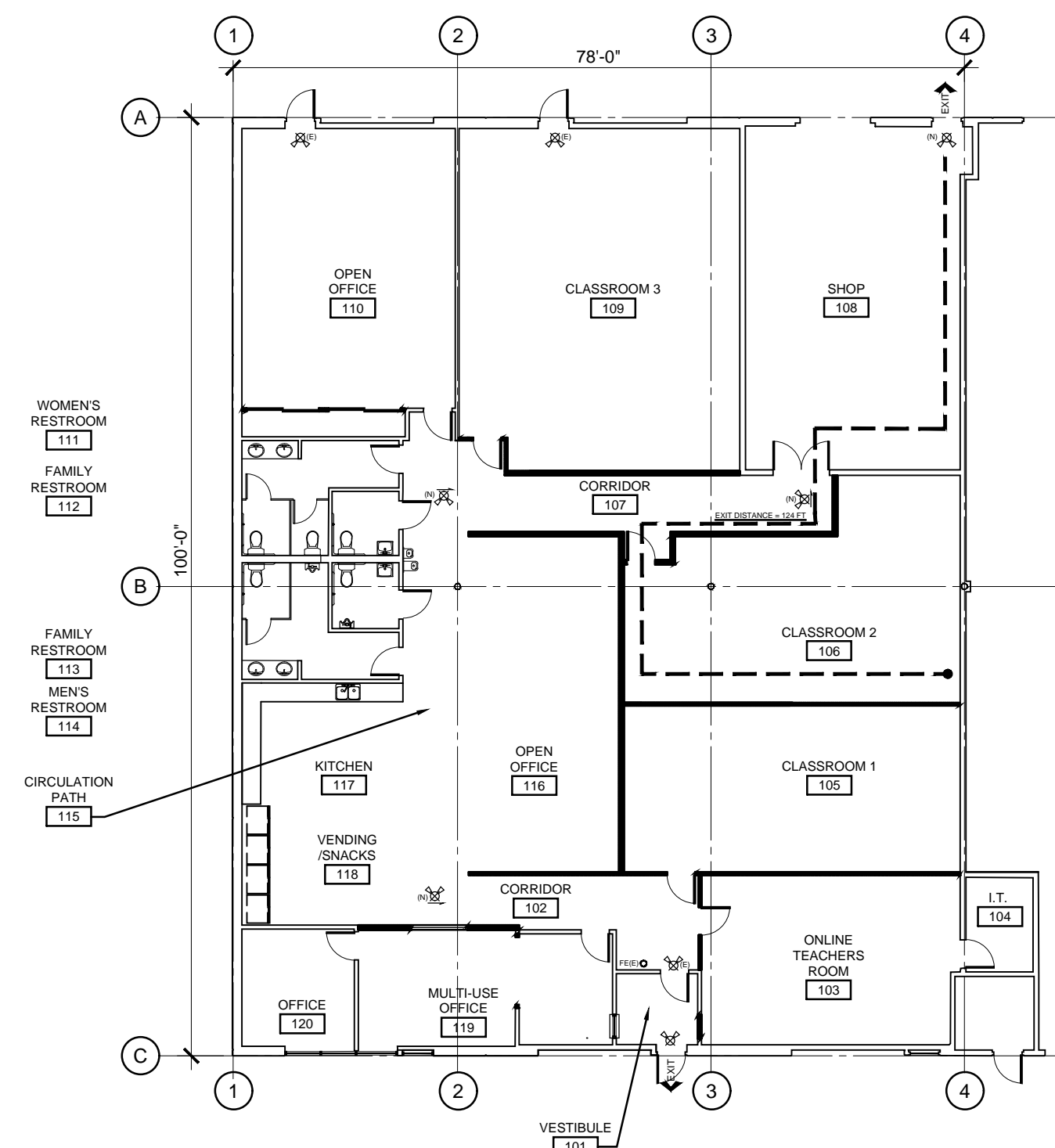
RESTROOMS
Area II Plumbers TI - Test Fit - Plumbing Fixtures Table 2902.1
Plumbing Reqmts for both men and women, Business Occupancy:
Water closets - 1 per 25 for the first 50 occ + 1 per 50 beyond 50 occ; Urinal = (2/3) WC value
Lavatories - 1 per 40 for the first 80 occ + 1 per 80 beyond 80 occ

176 Occupants total		Urinals		Water Closets		Lavatories		Unisex		
88 occ each, men & women		Men	Men	Women	Men	Women	Urinal	WC	Lav	
FIXTURES REQ'D	MEN	88		3	3					
	WOMEN	88		3						
FIXTURES PROVIDED	MEN		1	1	2	2	1	1	1	
	WOMEN				2	2		1	1	



1 SITE PLAN

SCALE: 1" = 120'-0"



2 FLOOR PLAN - NEW CONSTRUCTION

SCALE: 1/16" = 1'-0"

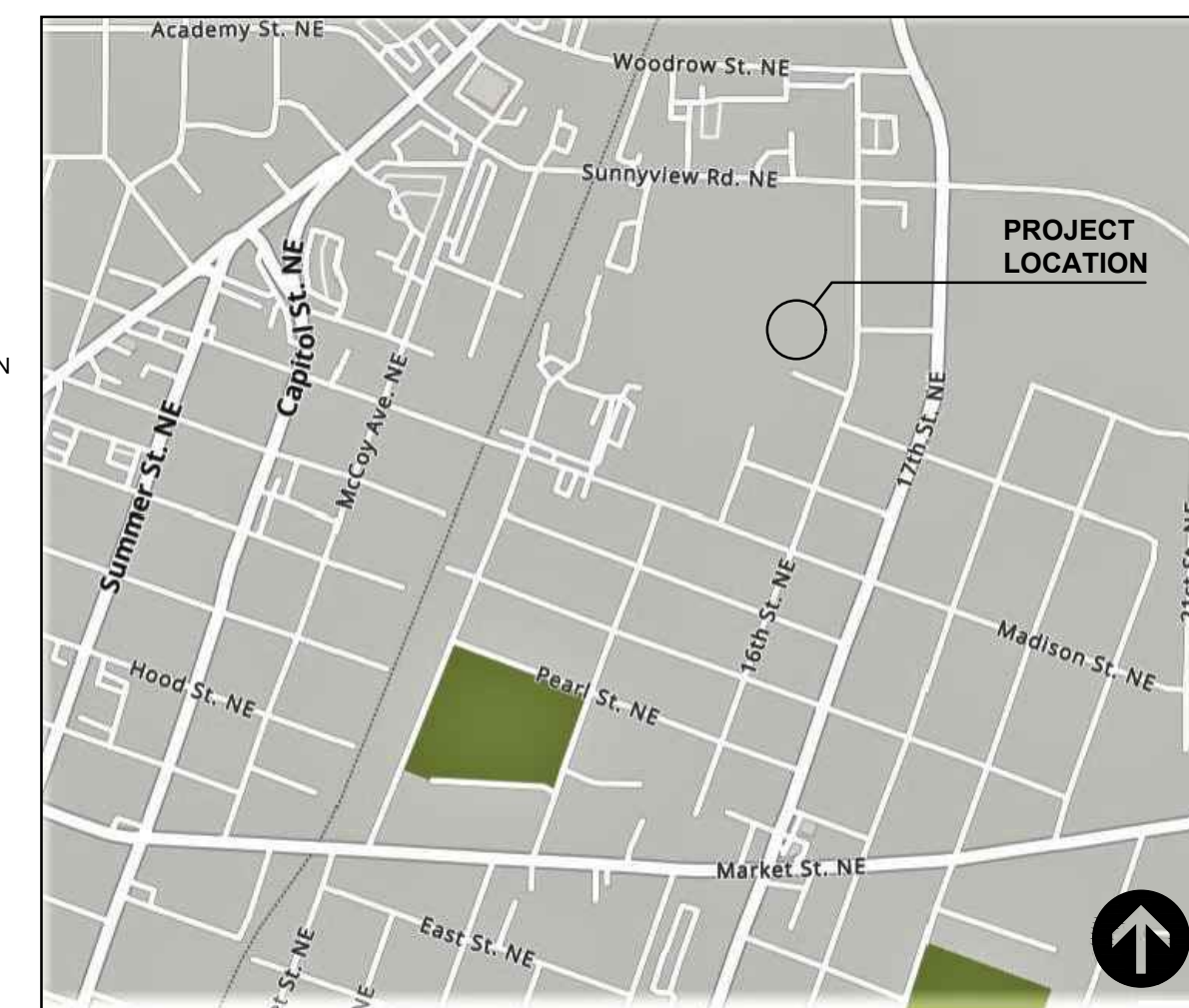
LEGEND

- EXISTING WALL TO REMAIN
NEW INTERIOR WALL AND INTERIOR WALL INFILL:
• NEW 4" METAL STUDS AT 16" OC
• NEW 3" ACOUSTICAL INSULATION
• NEW 5/8" GYPSUM WALLBOARD EACH SIDE, OR ONE SIDE IF USED AS FURRING; PAINT
FUNCTION DEMARCATION LINE IN OPEN AREA
(E) = EXISTING TO REMAIN
(N) = NEW
(D) = DEMOLISH
(R) = RELOCATE, OR RELOCATED FROM EXIST. LOCATION
FLOOR DRAIN; REFER TO DESIGN-BUILD PLUMBING DRAWINGS
FIRE EXTINGUISHER
EXIT SIGN WITH BATTERY BACKUP
EXIT SIGN WITH BATTERY-POWERED EMERGENCY LIGHTING
ELECTRICAL PANEL; EXISTING TO REMAIN; REFER TO ELECTRICAL DESIGN-BUILD DRAWINGS
EXISTING COLUMN TO REMAIN

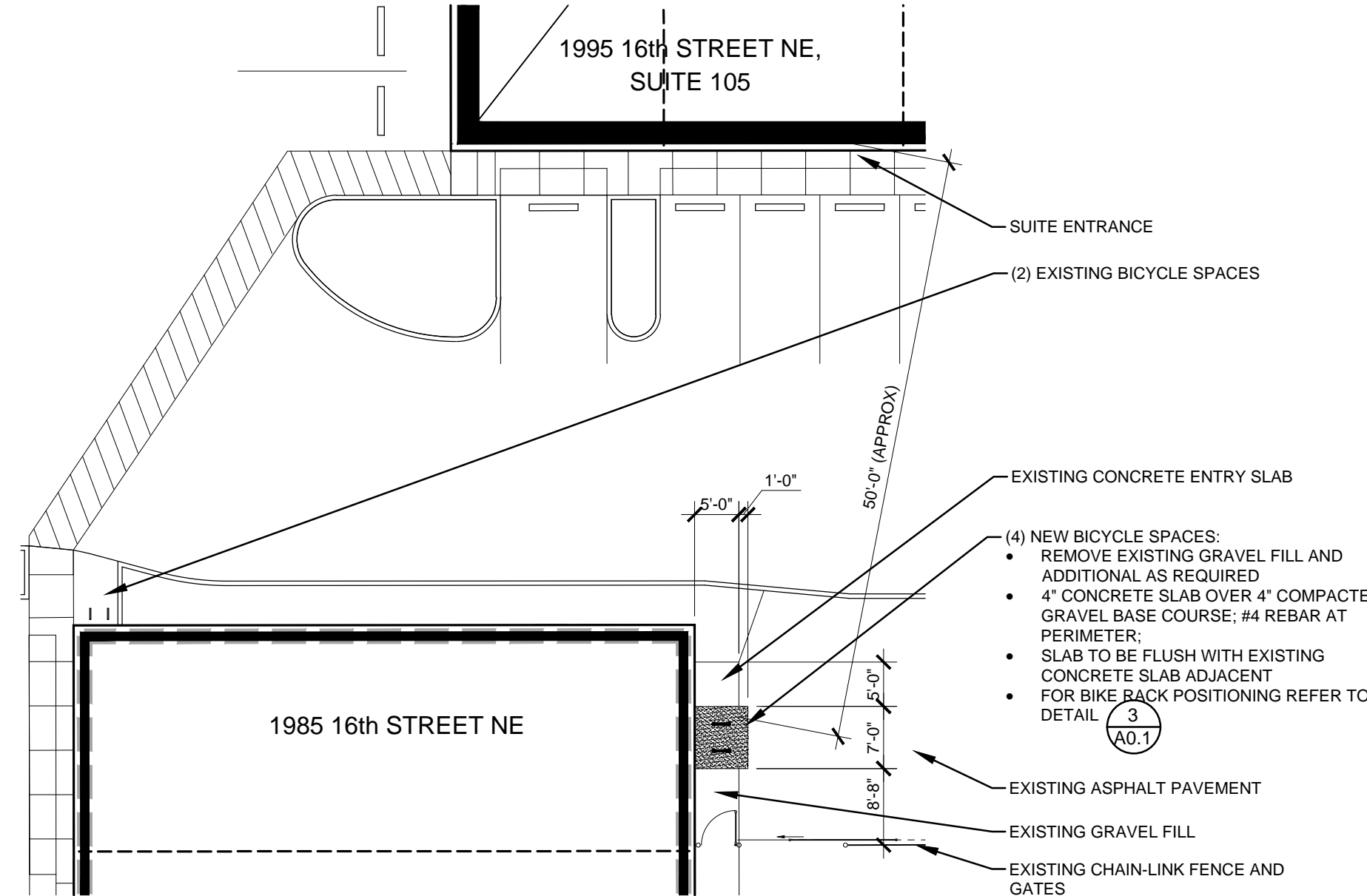
ABBREVIATIONS USED WITH SYMBOLS:

- FD
FE
FD
EP(E)
COL(E)

LOCATION MAP

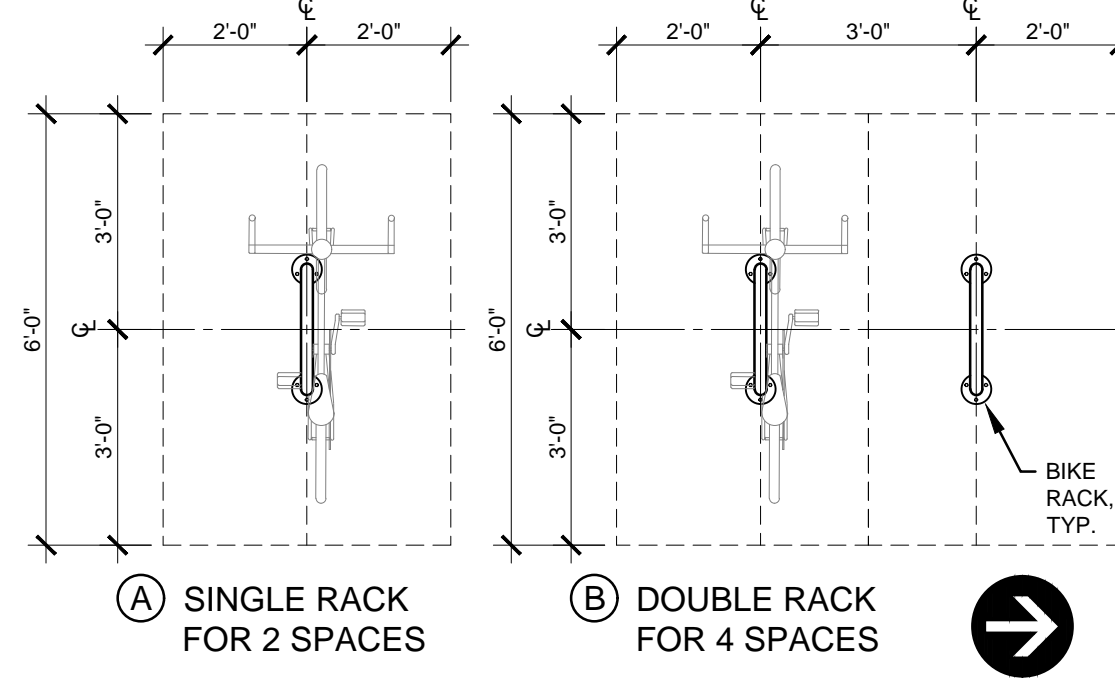


SALEM, OREGON



1A BICYCLE PARKING

SCALE: 1/16" = 1'-0"



NOTES:
1. ONLY ONE BIKE SHOWN FOR CLARITY
2. FOR BIKE RACK DESIGN AND ANCHORAGE, REFER TO DETAIL 4 A0.1

3 BIKE RACK PLAN DETAIL

SCALE: 3/8" = 1'-0"

KEYSTONE INDUSTRIAL PARK

AREA II PLUMBERS TENANT IMPROVEMENT

1995 16th STREET NE, SUITE 105
SALEM, OREGON 97301

DRAWINGS

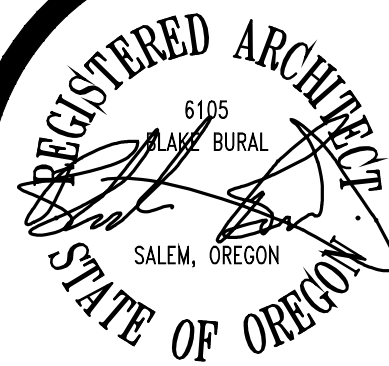
A0.1 TITLE, GENERAL INFORMATION, CODE REVIEW, SITE PLAN
A2.1 FLOOR PLANS - DEMO, NEW CONST., DOOR SCHEDULE, DETAILS
A2.2 DETAILS, KITCHEN - CASEWORK ELEVATIONS

SEPARATE PERMITS

MECHANICAL
PLUMBING
ELECTRICAL
FIRE SPRINKLERS

GENERAL NOTES

- GENERAL NOTES APPLY TO ALL DRAWINGS.
- DIMENSIONS ARE TO EXISTING FACE OF WALL, FACE OF NEW STUDS, AND FACE OF MASONRY AND/OR CONCRETE, UNLESS OTHERWISE NOTED. ("CLEAR" DIMENSION IS TO FACE OF FINISHED SURFACE).
- DRAWINGS ARE DIAGRAMMATIC ONLY AND SHOULD NOT BE SCALED.
- NOTIFY ARCHITECT OF ANY DISCREPANCIES OR QUESTIONABLE DIMENSIONS FOR CLARIFICATION PRIOR TO PROCEEDING WITH AREA OF WORK IN QUESTION.
- "AS REQUIRED" MEANS AS REQUIRED BY THESE DOCUMENTS, APPLICABLE CODES AND ORDINANCES, AND/OR THE ARCHITECT.
- ALL DETAILS SHOWN ARE TYPICAL UNLESS OTHERWISE NOTED. ANY DETAIL SHOWN OF ONE AREA OR CONDITION IS APPLICABLE TO ALL AREAS AND SIMILAR CONDITIONS.
- REFER TO MECHANICAL, PLUMBING AND/OR ELECTRICAL DESIGN-BUILD DRAWINGS FOR ADDITIONAL INFORMATION.
- REFER TO OWNER OR TENANT FOR ALL FINISHES



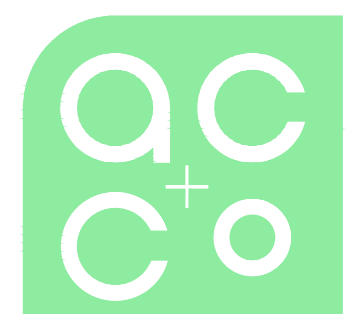
In the event conflicts are discovered between the original signed and sealed documents prepared by the Architect and/or their Consultants, and any copy of the documents transmitted by mail, fax, electronically or otherwise, the original signed and sealed documents shall govern.

JOB NO. 2024.0023

DATE MAY 21, 2024

DRAWN RG

REVISIONS



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TITLE SHEET -
PROJECT INFORMATION,
CODE REVIEW,
SITE PLAN

SHEET

A0.1