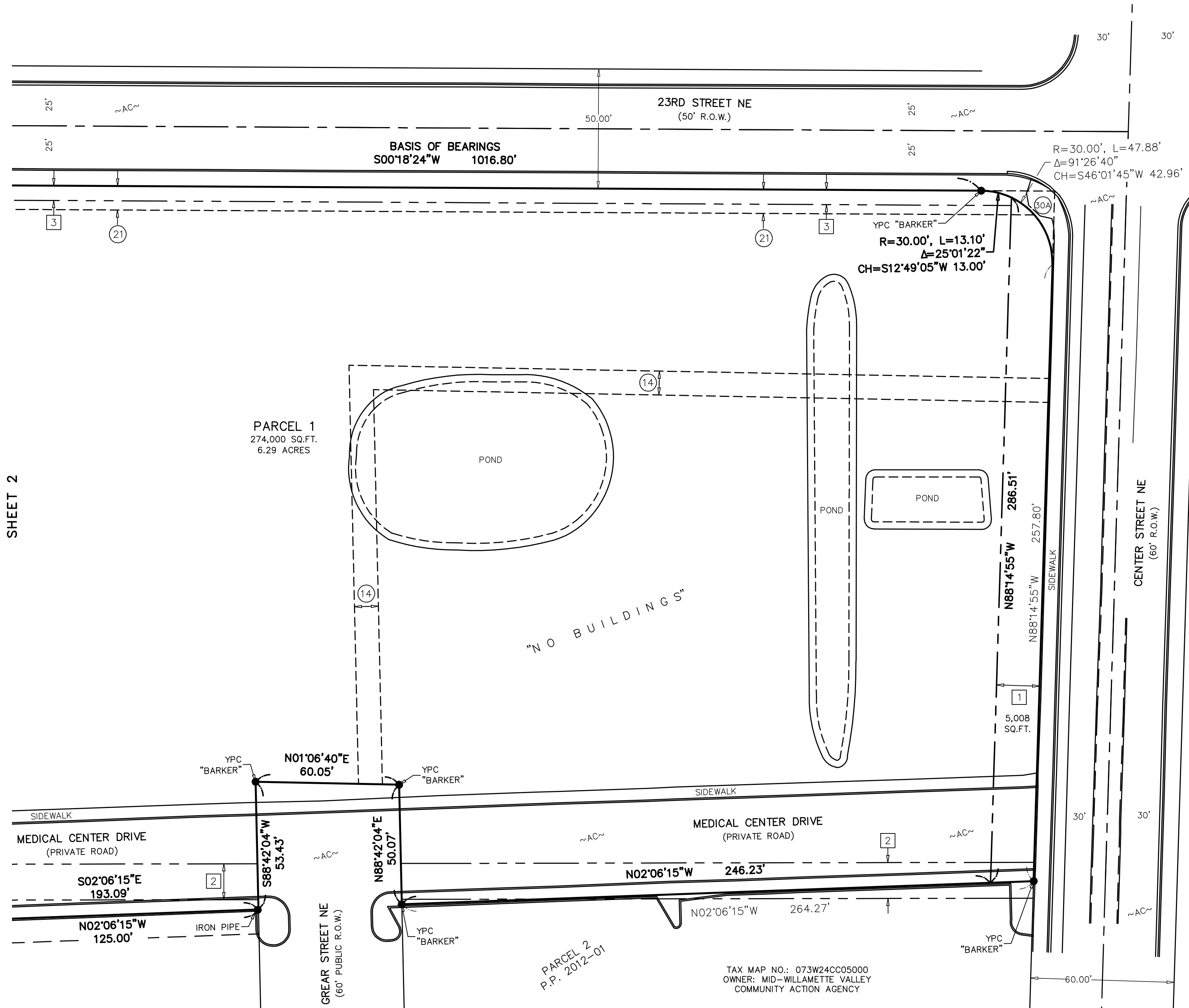
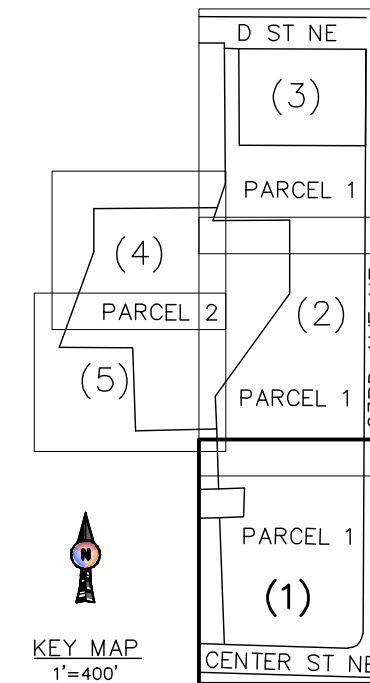
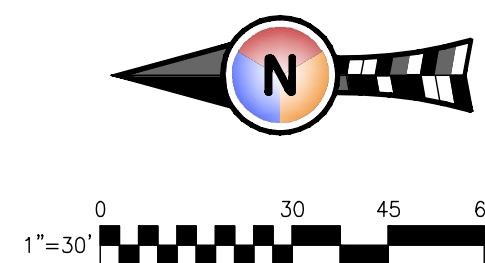


SHEET 2



* SEE SHEET 4 FOR LEGEND AND NOTES
* SEE SHEET 5 FOR EASEMENT NOTES



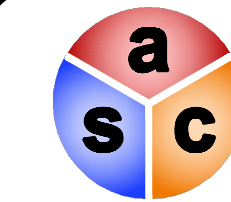
KEY MAP
1"=400'

FOR REVIEW ONLY

REGISTERED
PROFESSIONAL
LAND SURVEYOR

OREGON
JULY 13, 2021
RICHARD H. KENNEDY
96569

RENEW: 6/30/25



ASC SURVEYING LLC
8427 SW DAKOTA DRIVE
TUALATIN, OR 97062
971-224-5471

PARTITION TENTATIVE PLAN

SITUATED IN THE SW 1/4 OF SECTION 24, T. 7S, R. 3W., W.M.
CITY OF SALEM, MARION COUNTY, OREGON

PROJECT NO.

23031

DATE

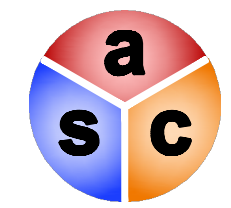
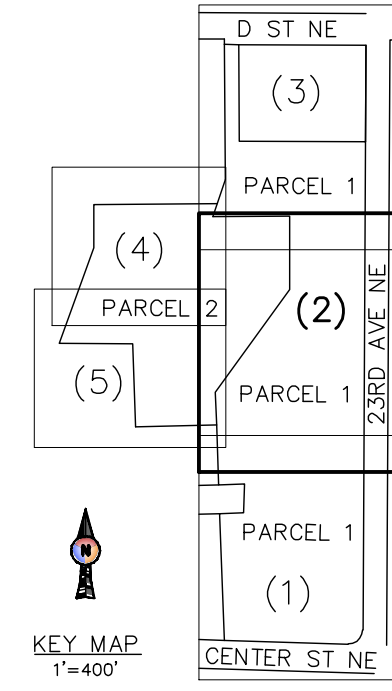
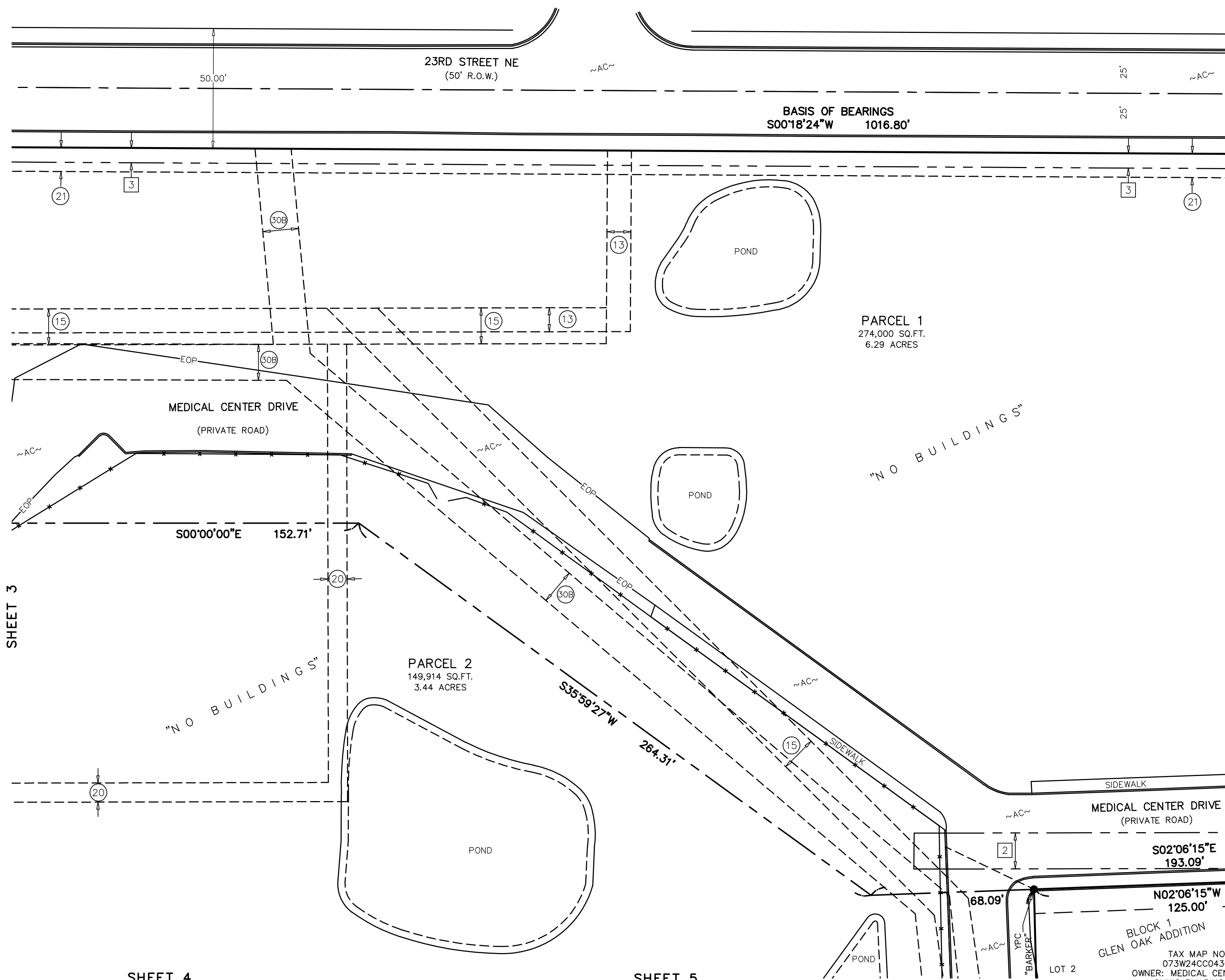
FEBRUARY 7, 2024

DRAWN BY

RK

SHEET

1 OF 5



ASC SURVEYING LLC
8427 SW DAKOTA DRIVE
TUALATIN, OR 97062
971-224-5471

PARTITION TENTATIVE PLAN

SITUATED IN THE SW 1/4 OF SECTION 24, T. 7S, R. 3W., W.M.
CITY OF SALEM, MARION COUNTY, OREGON

PROJECT NO.

23031

DATE

FEBRUARY 7, 2024

DRAWN BY

RK

SHEET

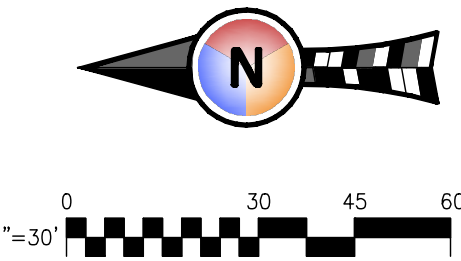
2 OF 5

SHEET 4

SHEET 5

SHEET 1

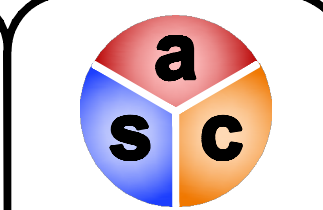
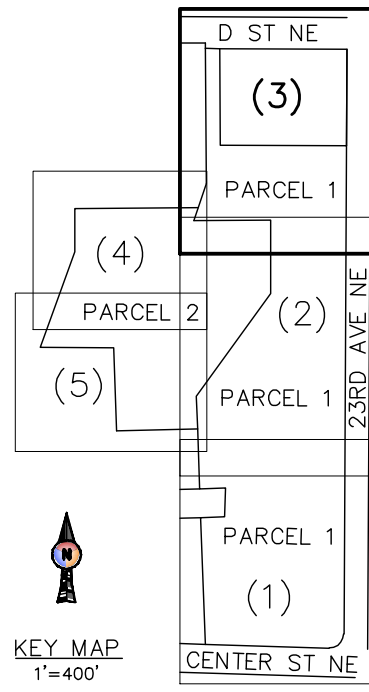
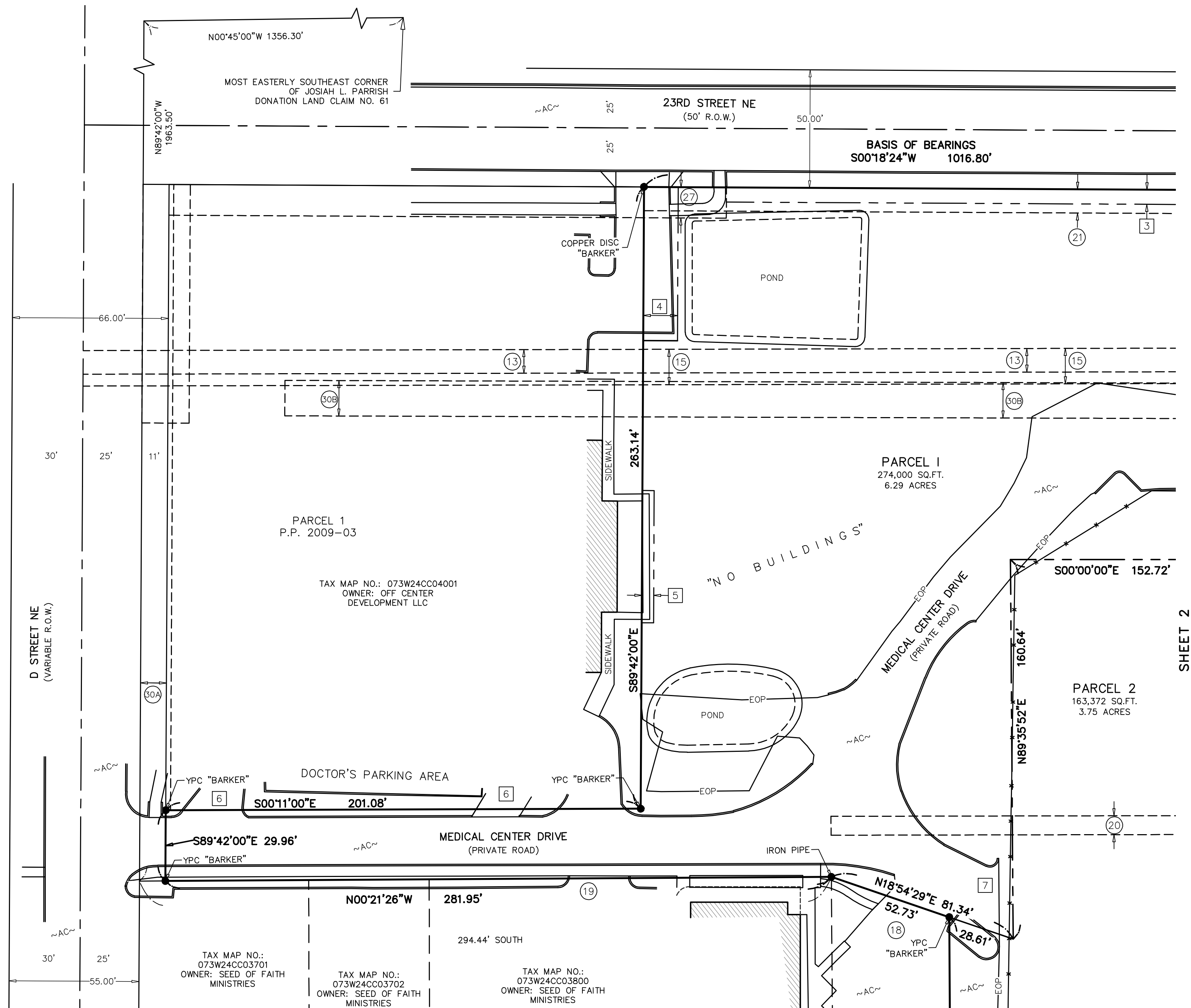
* SEE SHEET 4 FOR LEGEND AND NOTES
* SEE SHEET 5 FOR EASEMENT NOTES



FOR REVIEW ONLY
REGISTERED
PROFESSIONAL
LAND SURVEYOR
Richard H. Kennedy
OREGON
JULY 13, 2021
RICHARD H. KENNEDY
96569
RENEW: 6/30/25

BLOCK 1
GLEN OAK ADDITION

TAX MAP NO.:
073W24CC04300
OWNER: MEDICAL CENTER EYE
CLINIC BUILDING LLC



ASC SURVEYING LLC
8427 SW DAKOTA DRIVE
TUALATIN, OR 97062
971-224-5471

PARTITION TENTATIVE PLAN

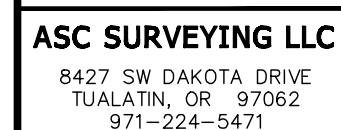
SITUATED IN THE SW 1/4 OF SECTION 24, T. 7S, R. 3W., W.M.
CITY OF SALEM, MARION COUNTY, OREGON

FOR REVIEW ONLY

REGISTERED
PROFESSIONAL
LAND SURVEYOR
Richard H. Kennedy
OREGON
JULY 13, 2021
RICHARD H. KENNEDY
96569
RENEWS: 6/30/25

PROJECT NO.
23031
DATE
FEBRUARY 7, 2024
DRAWN BY
RK
SHEET
3 OF 5

* SEE SHEET 4 FOR LEGEND AND NOTES
* SEE SHEET 5 FOR EASEMENT NOTES



SITUATED IN THE SW 1/4 OF SECTION 24, T. 7S, R. 3W., W.M.
CITY OF SALEM, MARION COUNTY, OREGON

4 OF 5

REGISTERED
PROFESSIONAL
LAND SURVEYOR

R. H. Kennedy

OREGON
JULY 13, 2021
RICHARD H. KENNEDY
96569

RENEW: 6/30/25

SHEET 5



1. THE BASIS OF BEARING FOR THIS SURVEY IS THE EAST LINE OF PARCEL 2, PARTITION PLAT NO. 2009-03, MARION COUNTY PLAT RECORDS. THE BEARING OF SAID EAST LINE BEING SOUTH 00°18'24" WEST.
2. THE PROPERTY IS DESIGNATED BY MARION COUNTY, OREGON AS TAX MAP NO. 073W24CC-4000, 073W24CC-3900, AND 073W24CC-4100.
3. THE TOTAL AREA OF THE PROPERTY IS 462,385 SQUARE FEET OR 10.61 ACRES, MORE OR LESS.
4. BOUNDARY LINES SHOWN HEREON IS BASED ON MONUMENTS FOUND OR SET IN PARTITION PLAT NO. 2009-03, MARION COUNTY PLAT RECORDS. NO MONUMENTS WERE OR ARE TO BE SET PER THIS MAP.
5. CURRENTLY THERE ARE ZERO (0) BUILDINGS ON THE PROPERTY.
6. PROPOSED EASEMENT, PROPERTY LINES AND DETENTION PONDS ARE BASED ON DRAWINGS PROVIDED BY HUMBER DESIGN GROUP, LLC.

●	FOUND MONUMENT
~AC~	PAVED SURFACE
SQ.FT.	SQUARE FEET
YPC	YELLOW PLASTIC CAP
R.O.W.	RIGHT-OF-WAY
(21)	EXISTING EASEMENTS NOTE
[3]	PROPOSED EASEMENT NOTE
=====	PROPERTY LINE
— — — — —	ORIGINAL PROPERTY LINES
=====	CURB LINE
=====	EDGE OF PAVING
* — — — —	FENCE LINE
- - - - -	EXISTING EASEMENT LINE
— — — — —	CENTERLINE

TAX MAP NO.: 073W24CC035000
OWNER: LEE MISSION CEMETERY



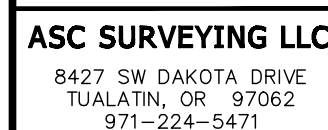
POND

"NO BUILDINGS

POND

N20°00'32"E

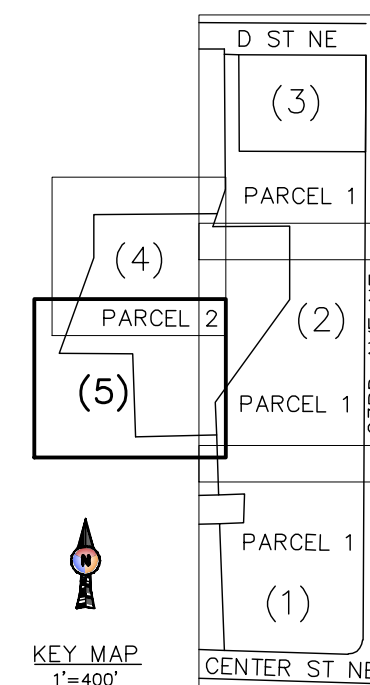
212.26



EXISTING

- PROPOSED

-
- SHEET 4**
- PARCEL 1**
- PARCEL 2**
149,914 SQ.FT.
3.44 ACRES
- FRANZEN STREET NE**
(PRIVATE ROAD)
- LOT 1**
LOT 2
LOT 3
LOT 4
LOT 5
LOT 6
LOT 7
LOT 8
- BLOCK 1**
GLEN OAK ADDITION
- "NO BUILDINGS"**
- POND**
- IRON ROD, BENT**
- B.S. & WASHER**
IRON PIPE
- YPC "BARKER"**
- TAX MAP NO.: 073W24CC04400**
OWNER: HAWKEYE REAL ESTATE LLC
- PARCEL 1**
P.P. 1993-57
- BOUNDARY BEARINGS AND DISTANCES:**
 - S35°59'27"W 264.31'
 - N02°06'15"W 125.00'
 - 68.09'
 - 168.44'
 - S88°42'04"W
 - 39.29'
 - S02°07'02"E 172.29'
 - S02°07'02"E 133.00' (S2°19'E 133')
 - N89°37'24"W 152.90' (N89°25'W 150.95')
 - N20°00'32"E 212.26'
 - (S19°0'W 112.65') (N19°0'E 112.65')
 - N20°00'32"E 112.65'
- OTHER NOTATIONS:**
 - ~AC~
 - (11)
 - (12)
 - (13)
 - (15)
 - (16)
 - (17)
 - (23)



0 30 45
1"=30'

FOR REVIEW ONLY

REGISTERED
PROFESSIONAL
LAND SURVEYOR

R. H. K.

OREGON
JULY 13, 2021
RICHARD H. KENNEDY
96569

RENEWS: 6/30/25

* SEE SHEET 4 FOR LEGEND AND NOTES

PARTITION TENTATIVE PLAN

SITUATED IN THE SW 1/4 OF SECTION 24, T. 7S, R. 3W., W.M.
CITY OF SALEM, MARION COUNTY, OREGON

PROJECT NO.

23031

DATE _____

FEBRUARY 7, 2024

DRAWN BY

RK

SHEET

5 OF 5

RECORD OF SURVEY
FOR A PROPERTY LINE ADJUSTMENT

SOUTHWEST QUARTER OF SECTION 24, T. 7S, R. 3W., W.M.
CITY OF SALEM, MARION COUNTY, OREGON
JANUARY 2024
SHEET 1 OF 1

CITY OF SALEM PROPERTY LINE ADJUSTMENT CASE NO. _____

NARRATIVE: _____

THE PURPOSE OF THIS SURVEY IS TO ADJUST THE PROPERTY LINE BETWEEN PARCEL 2 OF PARTITION PLAT NO. _____, MARION COUNTY PLAT RECORDS, AND PARCEL 13 OF DEED DOCUMENT 2021-00036010, MARION COUNTY DEED RECORDS, AS APPROVED PER CITY OF SALEM PROPERTY LINE ADJUSTMENT CASE NO. _____.

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE MOST NORTHERLY LINE OF SAID PARCEL 2 BETWEEN MONUMENTS "A" AND "B", THE BEARING OF SAID LINE BEING NORTH 89°35'52" EAST AS SHOWN ON SAID PARTITION PLAT NO. _____.

MONUMENTS FOR PARCEL 2 WERE FOUND PER PARTITION PLAT NO. _____ TO INCLUDE THE SOUTH LINE OF SAID PARCEL 13. THE NORTH LINE OF SAID PARCEL 13 WAS ESTABLISHED AS BEING PARALLEL TO SAID SOUTH LINE OF PARCEL 13 AND HELD AT MONUMENT "C" HEADING WESTERLY THEREFROM TO INTERSECT WITH THE NORTHERLY EXTENSION OF THE WEST LINE OF SAID PARCEL 2.

LEGEND: _____

- FOUND MONUMENT AS NOTED
- SET 5/8" IR W/YPC STAMPED "ASC SURVEYING LS 96569" SET ON _____
- YPC ASC YPC "ASC SURVEYING LS 96569" (R1)
- YPC BARKER YPC "BARKER PLS 636" (R2)
- IP IRON PIPE
- IR IRON ROD
- YPC YELLOW PLASTIC CAP
- MCSR MARION COUNTY SURVEY RECORDS
- DOC. NO. DEED DOCUMENT NUMBER, MARION COUNTY DEED RECORDS
- (R#) REFERENCE SURVEY NUMBER OR PLAT
- XXXX(R#) RECORD AND MEASURED DATA
- REF REFERENCED IN

REFERENCES: _____

- (R1) PARTITION PLAT NO. _____
(R2) PARTITION PLAT NO. 2009-3

SURVEYED FOR: _____

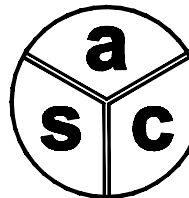
GREEN LIGHT DEVELOPMENT
3462 NE SANDY BLVD.
PORTLAND, OR 97232

FOR REVIEW ONLY

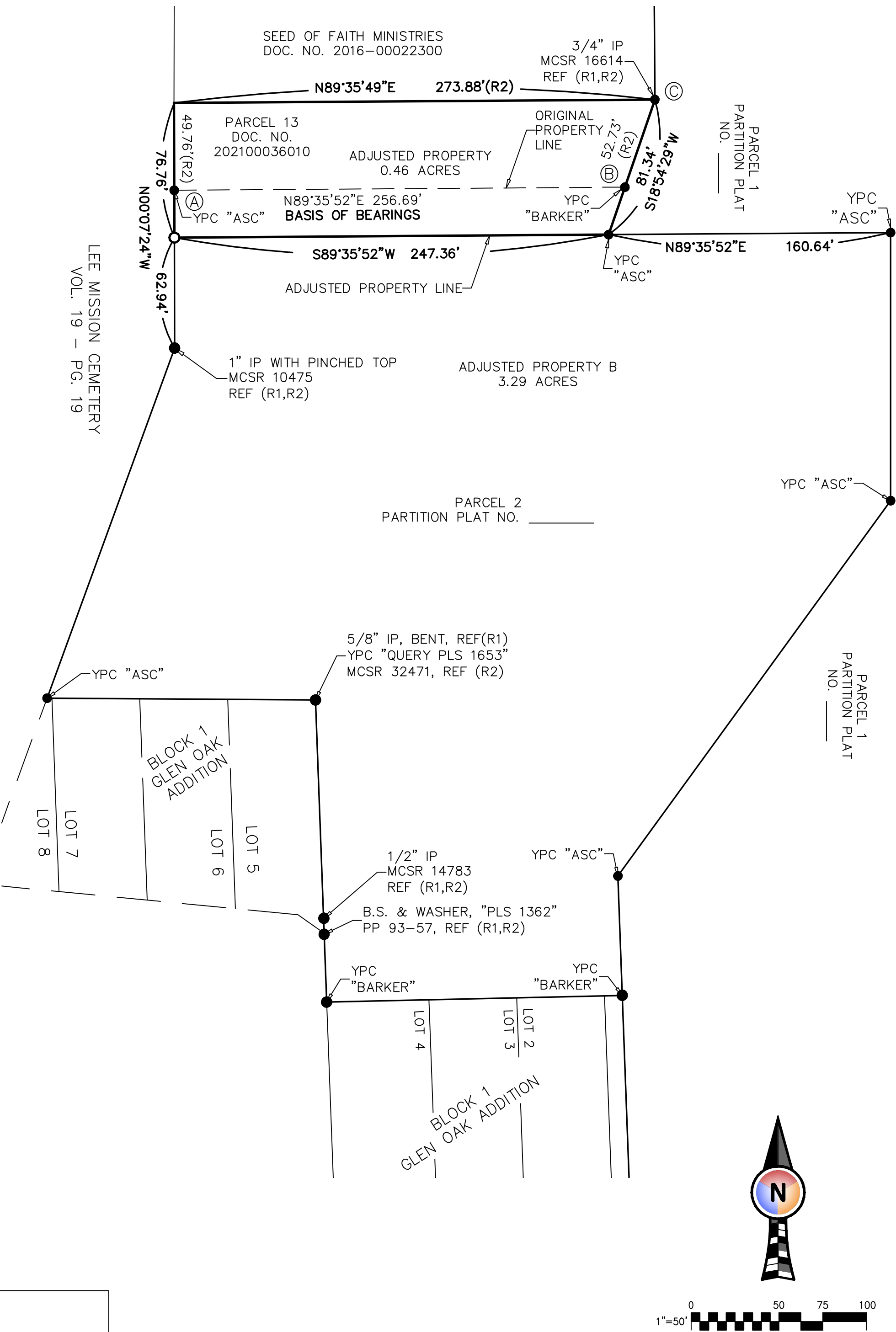
REGISTERED
PROFESSIONAL
LAND SURVEYOR

OREGON
JULY 13, 2021
RICHARD H. KENNEDY
96569

RENEWS: 6/30/25



ASC SURVEYING LLC
8427 SW DAKOTA DRIVE
TUALATIN, OR 97062
971-224-5471



DRAWING INDEX

CIVIL

C10	EXISTING CONDITIONS PLAN
C11	EXISTING CONDITIONS PLAN
C12	EXISTING CONDITIONS PLAN
C20	GRADING PLAN
C21	GRADING PLAN
C22	GRADING PLAN
C30	UTILITY PLAN
C31	UTILITY PLAN
C32	UTILITY PLAN

LANDSCAPE

L10	TREE PROTECTION & REMOVAL PLAN
L11	TREE PROTECTION & REMOVAL PLAN
L20	PRELIMINARY PLANTING PLAN
L21	PRELIMINARY PLANTING PLAN
L22	PRELIMINARY PLANTING PLAN
L23	PRELIMINARY PLANTING PLAN

ARCHITECTURE

A10	SITE PLAN
A11	SITE PLAN
A20	COMMUNITY BLDG PLANS
A22	FLOOR PLANS - BUILDING TYPE 1 & 2
A23	FLOOR PLANS - BUILDING TYPE 3 & 4
A30	ELEVATIONS - COMMUNITY BUILDING
A31	ELEVATIONS - BLDG TYPE 1
A32	ELEVATIONS - BLDG TYPE 2
A33	ELEVATIONS - BLDG TYPE 3
A34	ELEVATIONS - BLDG TYPE 4
A40	ACCESSORY STRUCTURES
A41	ACCESSORY STRUCTURES
A60	STAIR SECTIONS & DETAILS
A110	CLUBHOUSE - FOUNDATION PLAN
A111	CLUBHOUSE - FLOOR PLAN
A112	CLUBHOUSE - ROOF PLAN
A200	CLUBHOUSE - RCP
A300	CLUBHOUSE ELEVATIONS
A500	CLUBHOUSE SECTIONS

PROJECT TEAM

OWNER / DEVELOPER

TIM LAWLER
GREEN LIGHT DEVELOPMENT
3462 NE SANDY BLVD.
PORTLAND, OR 97232
CELL : 503.528.6129
GREENLIGHTHOUSING.COM

HOME FIRST DEVELOPMENT
4351 SE HAWTHORNE BLVD.
PORTLAND, OR 97215
360.530.9914
HFDPARTNERS.COM

ARBORIST

MORGAN HOLEN
MORGAN HOLEN & ASSOCIATES
3 MONROE PARKWAY, SUITE P220
LAKE OSWEGO, OR 97035
971.409.9354
MORGAN.HOLEN@COMCAST.NET

ARCHITECT

SCHUYLER SMITH
POLYPHON ARCHITECTURE & DESIGN, LLC.
4103 NE TILLAMOOK STREET
PORTLAND, OR 97212
503.327.8679
POLYPHON.COM

CIVIL

KRISTIAN MCCOMBS, PE
HUMBER DESIGN GROUP, INC.
D. 503.946.5358 | O. 503.946.6690
110 SE MAIN STREET, SUITE 200, PORTLAND, OR 97214
HDGPDX.COM

CONTRACTOR

CALEB BEAUDIN
BEAUDIN CONSTRUCTION
PO BOX 2788
OREGON CITY, OR 97045
971.271.0375
CBEAUDIN@CONSTRUCTIVENW.COM
CCB# 213796

ENVIRONMENTAL

ANDREW S. BLAKE, RG, LG
SUCCEED ENVIRONMENTAL CONSULTING, LLC.
1631 NE BROADWAY #211
PORTLAND, OR 97232
971.371.0404
SUCCEED-ENV.COM

GEOTECH

JULIO C. VELA, PHD, PE, GE
GEOENGINEERS, INC.
333 HIGH STREET NE, SUITE 102
SALEM, OR 97301
971.304.3078

LANDSCAPE

LAURA A. ANTONSON, RLA, ASLA
LAURUS DESIGNS, LLC.
1012 PINE STREET
SILVERTON, OR 97381
503.784.6494
LAURA@LAURUSDESIGNS.COM

LAND USE CONSULTANT

STEVE KAY
CASCADIA PLANNING + DEVELOPMENT SERVICES
503.804.1069
STEVE@CASCADIAPD.COM
CASCADIAPD.COM

STRUCTURAL

GABY MASSAAD PE, SE
MASSAAD ENGINEERING GROUP, LLC.
6775 SW 111TH AVENUE
BEAVERTON, OR 97008
503.486.5387
MGROUPENGINEERING.COM

SURVEY

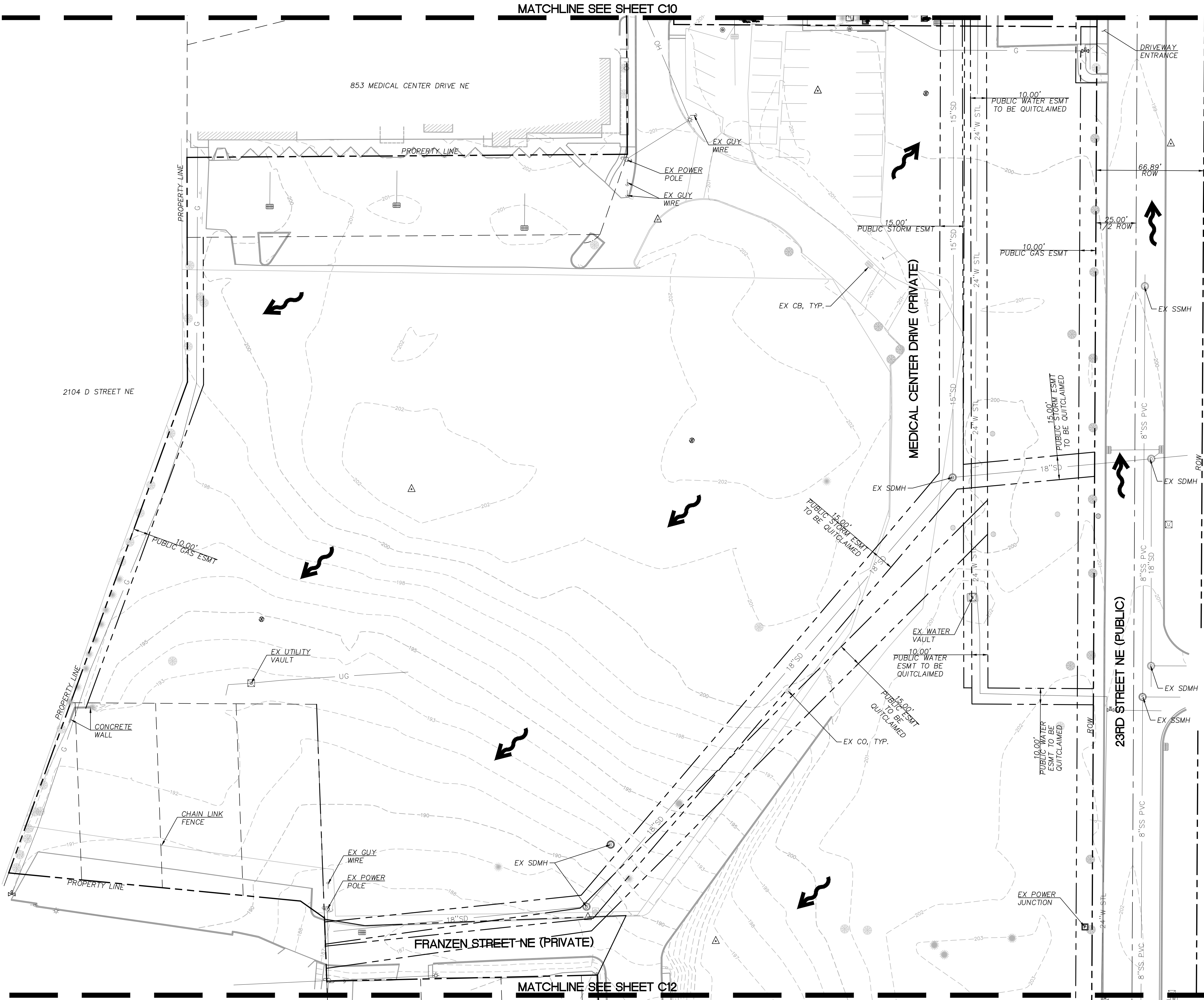
RICHARD H. KENNEDY
ASO SURVEYING, LLC.
8427 SW DAKOTA DRIVE
TUALATIN, OR 97062
971.224.5471



SALEM APARTMENTS

CD PROGRESS SET - ALL BUILDING TYPES

04/29/24



SHEET LEGEND		
ITEM	DESCRIPTION	REFERENCE
---	EXISTING CONTOUR	
→	DRAINAGE FLOW DIRECTION	

SHEET NOTES	
1.	EXISTING SITE AREA= 462,385 SF
2.	SITE IS NOT WITHIN 100-YEAR FLOOD BOUNDARY.

SALEM APARTMENTS
891 23RD ST. NE SALEM, OR

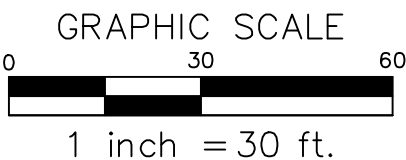
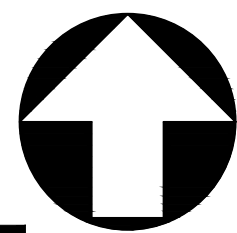
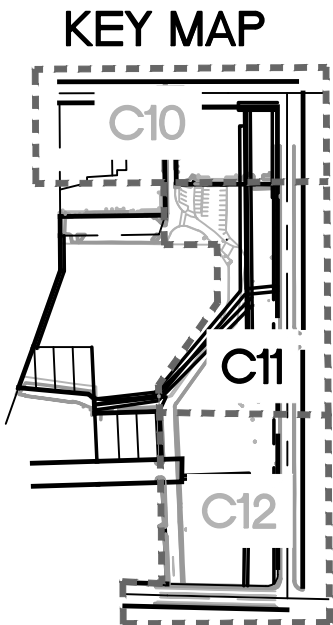
CLIENT :
HOME FIRST
DEVELOPMENT/
GREEN LIGHT
DEVELOPMENT

ISSUE DATES:

JOB #: 2248
STATUS: LUR
PRINTED: 10/26/2023 12:19:05 PM

EXISTING
CONDITIONS PLAN

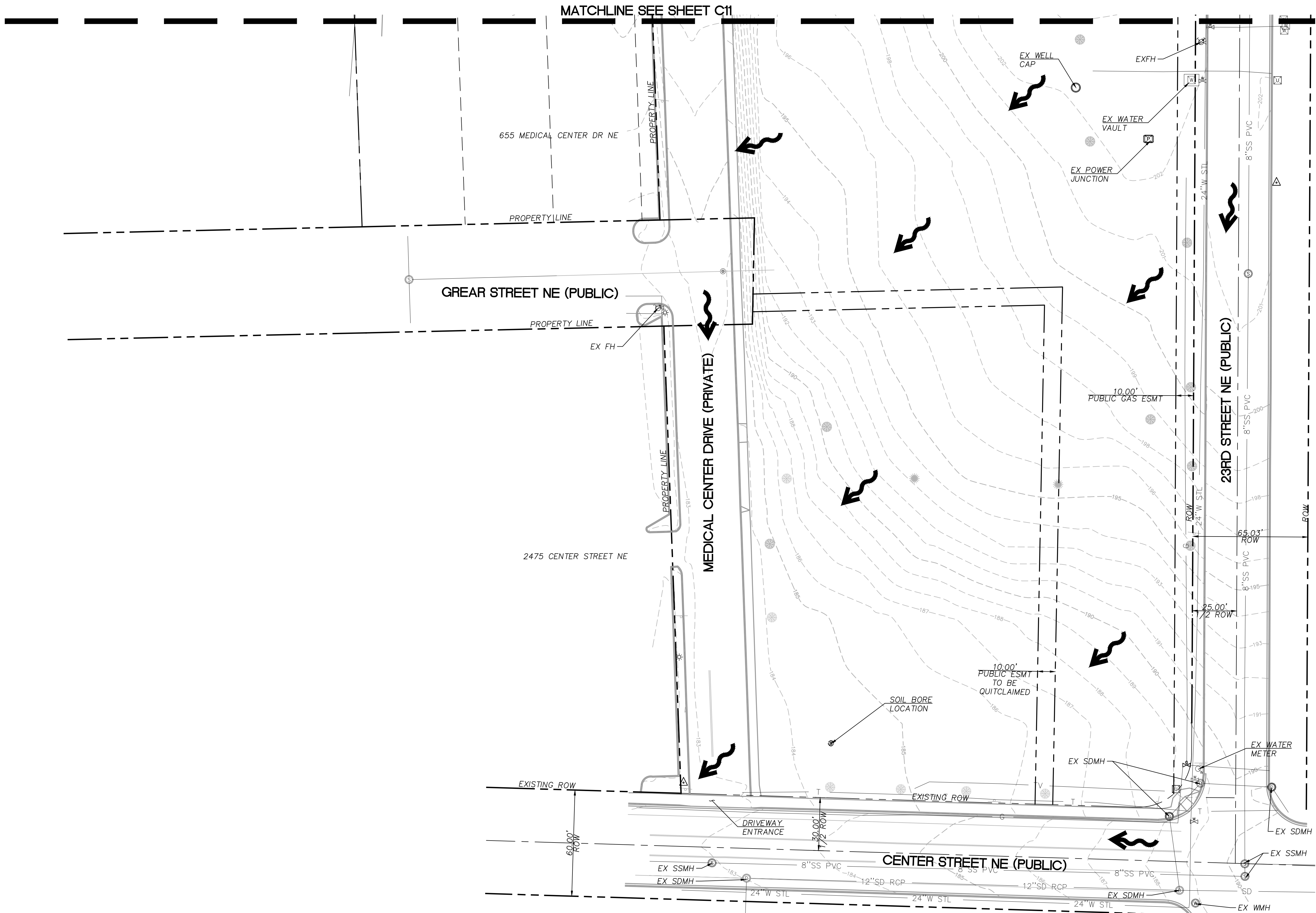
C11
ORIGINAL SHEET SIZE: 22"x34"



NOT FOR
CONSTRUCTION

MATCHLINE SEE SHEET C12
EXISTING CONDITIONS PLAN
SCALE: 1"=30'

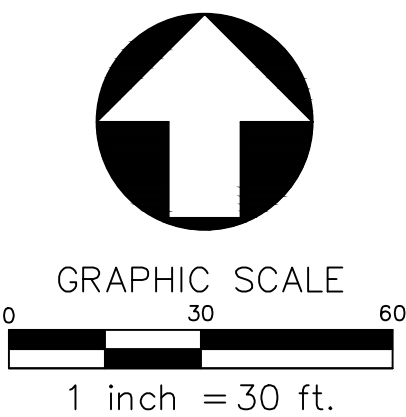
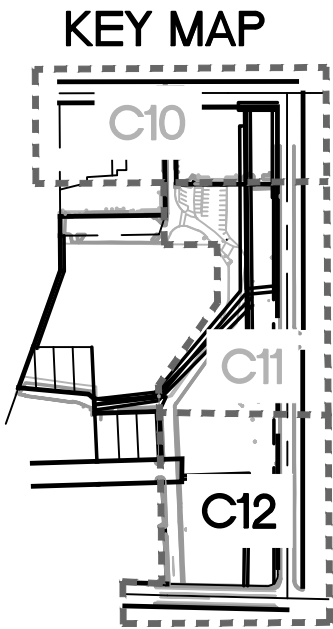
MATCHLINE SEE SHEET C10



EXISTING CONDITIONS PLAN
SCALE: 1"=30'

SHEET LEGEND		
ITEM	DESCRIPTION	REFERENCE
---	EXISTING CONTOUR	
~	DRAINAGE FLOW DIRECTION	

- SHEET NOTES
- EXISTING SITE AREA= 462,385 SF
 - SITE IS NOT WITHIN 100-YEAR FLOOD BOUNDARY.



NOT FOR
CONSTRUCTION

SALEM APARTMENTS
891 23RD ST. NE SALEM, OR

CLIENT :
HOME FIRST
DEVELOPMENT/
GREEN LIGHT
DEVELOPMENT

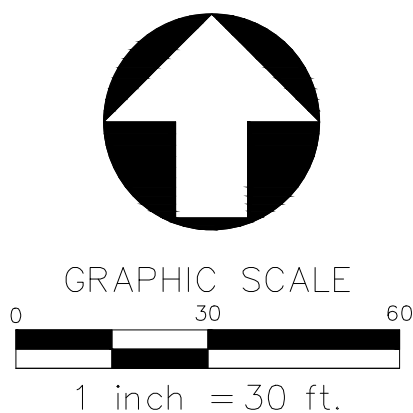
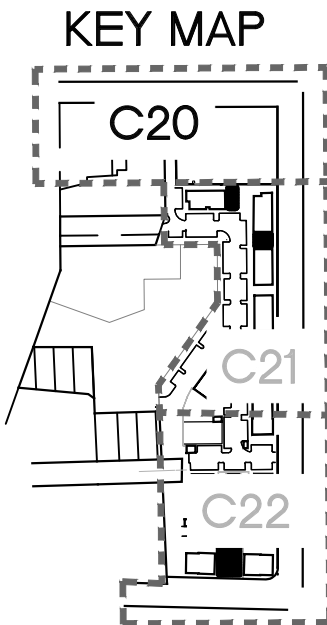
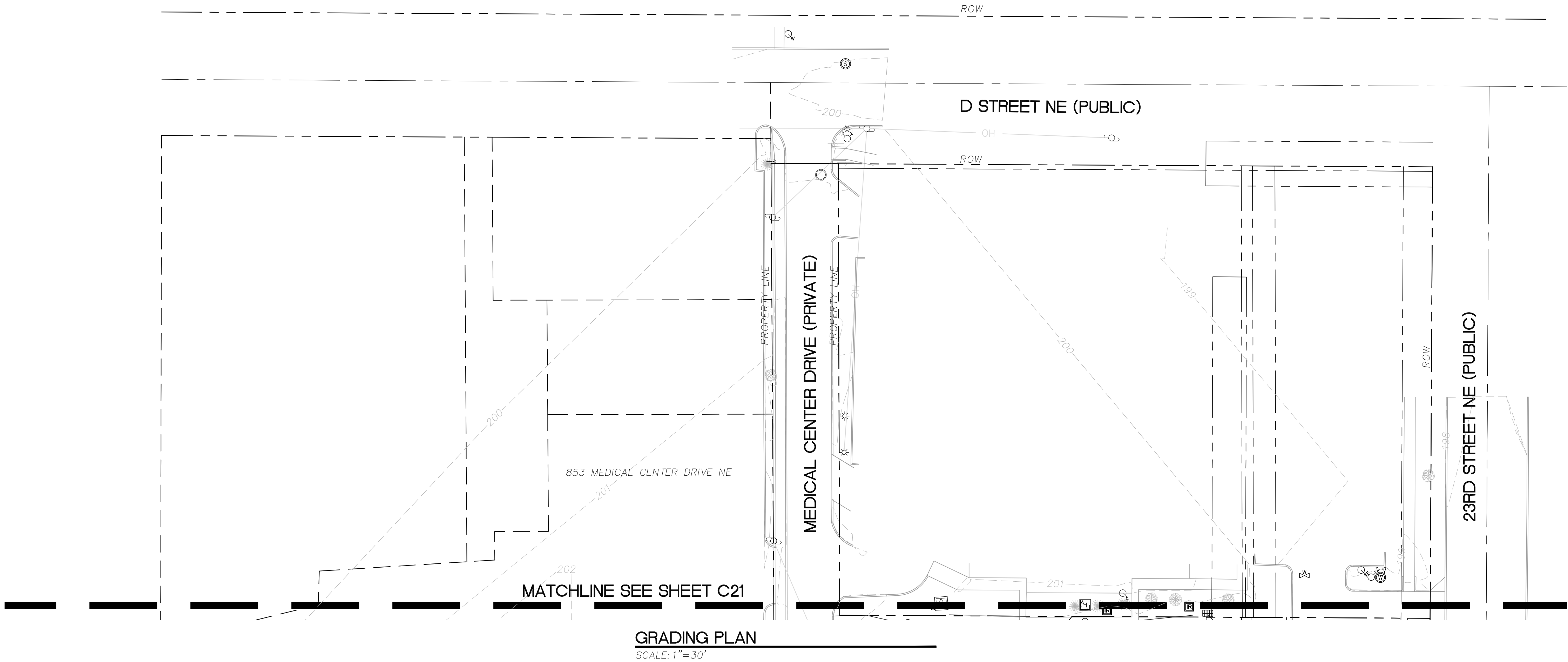
ISSUE DATES:

JOB # : 2248
STATUS : LUR
PRINTED :
10/26/2023 12:19:05 PM

GRADING PLAN

C20
ORIGINAL SHEET SIZE : 22"x34"

SHEET LEGEND		
	EXISTING CONTOUR	
	PROPOSED CONTOUR	
BS XXX.XX	GRADE AT BOTTOM OF STAIRS	
G XXX.XX	GRADE AT GUTTER	
TC XXX.XX	GRADE AT TOP OF CURB	
TP XXX.XX	GRADE AT TOP OF PAVEMENT	
TS XXX.XX	GRADE AT TOP OF STAIRS	
TF XXX.XX	GRADE AT TOP OF FOOTING	
FF XX.XX	FINISH FLOOR ELEVATION	
FG XXX.XX	FINISHED GRADE	
TW XXX.XX	GRADE AT TOP OF WALL	
EG XXX.XX	EXISTING GRADE	
(E)	EXISTING	
X.X%	SLOPE ARROW	
GB	GRADE BREAK	



NOT FOR
CONSTRUCTION

SALEM APARTMENTS
891 23RD ST. NE SALEM, OR

004 33DD CT NE CAL EM OD

CLIENT :
HOME FIRST
DEVELOPMENT/
GREEN LIGHT
DEVELOPMENT

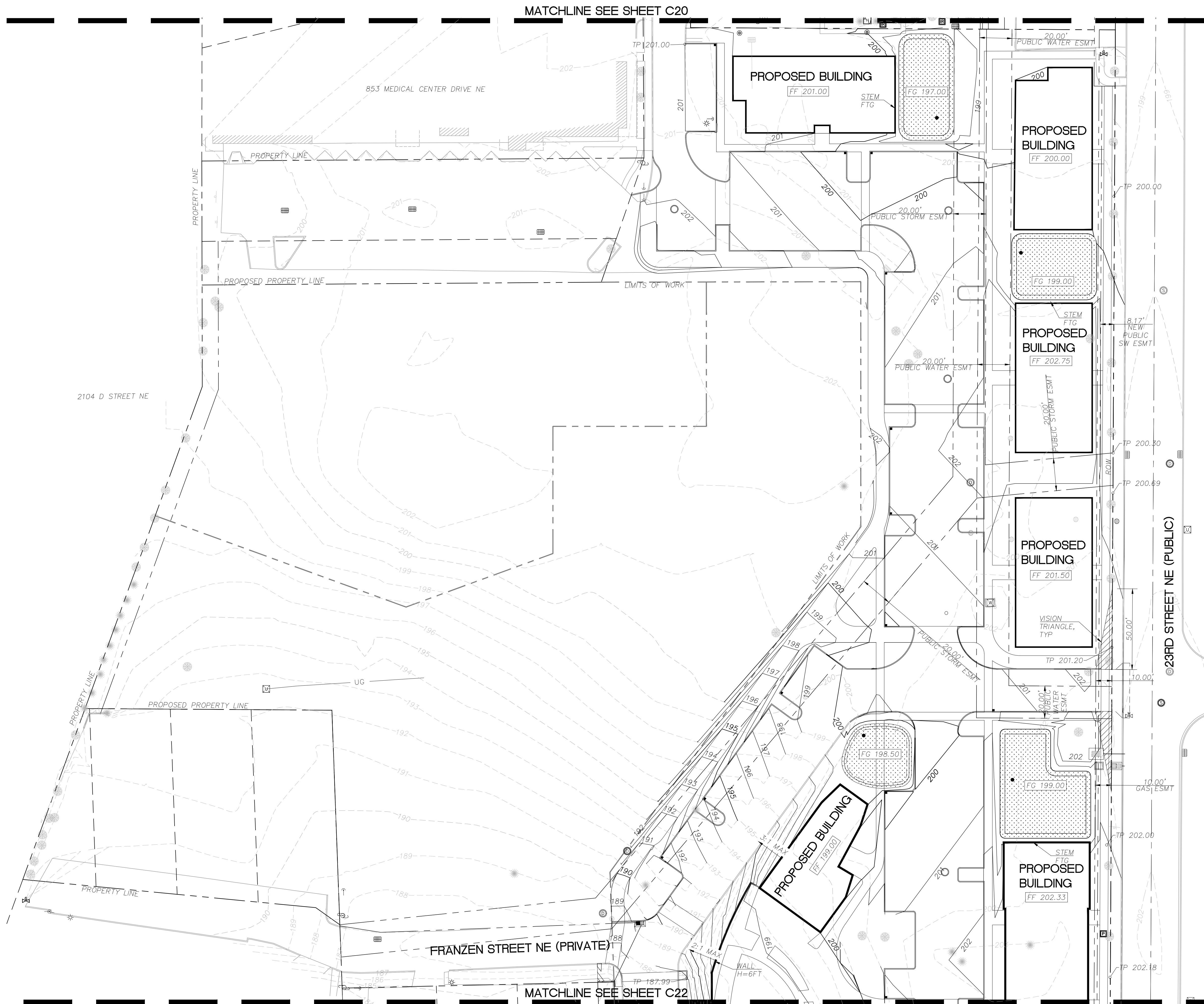
ISSUE DATES:

JOB #: 2248
STATUS: LUR
PRINTED:
10/26/2023 12:19:05 PM

GRADING PLAN

C21

ORIGINAL SHEET SIZE : 22"x34"



GRADING PLAN

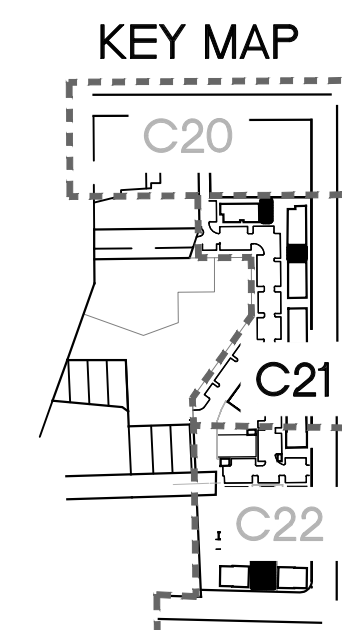
SCALE: 1"=30'

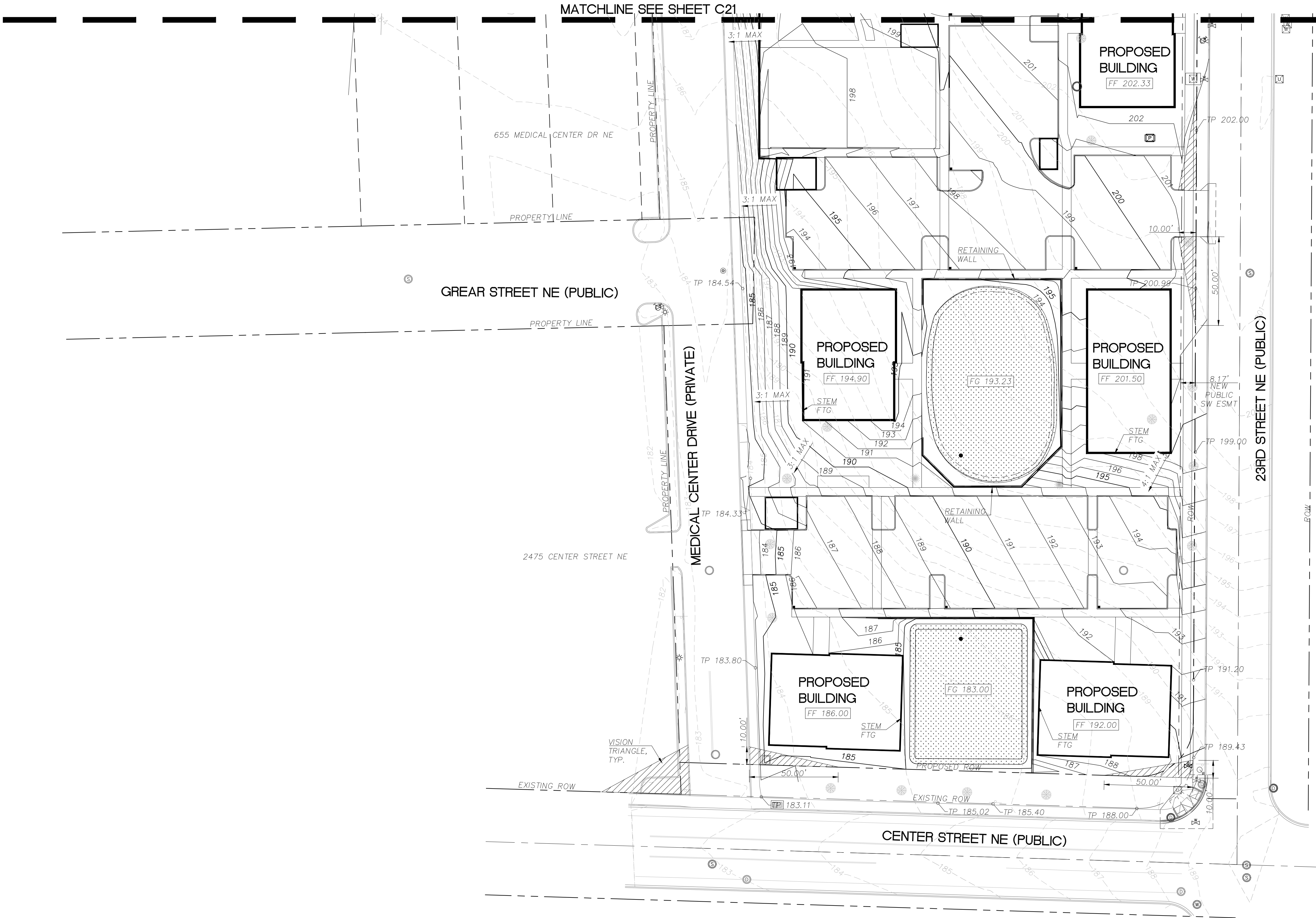
GRAPHIC SCALE

30 60

1 inch = 30 ft.

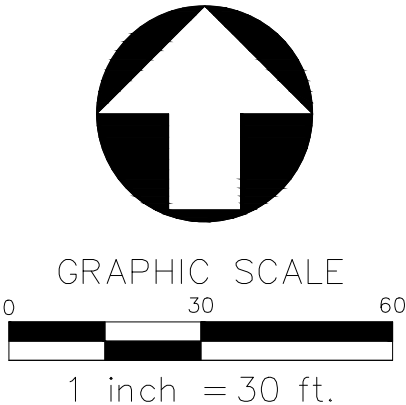
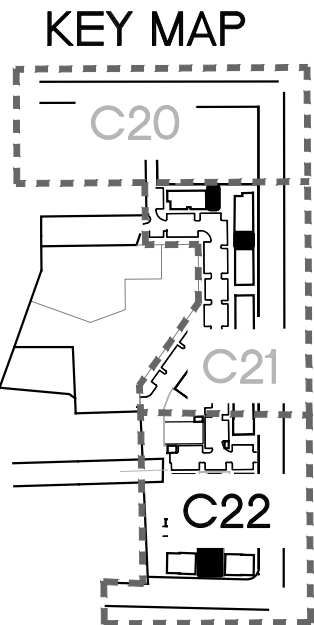
**NOT FOR
CONSTRUCTION**



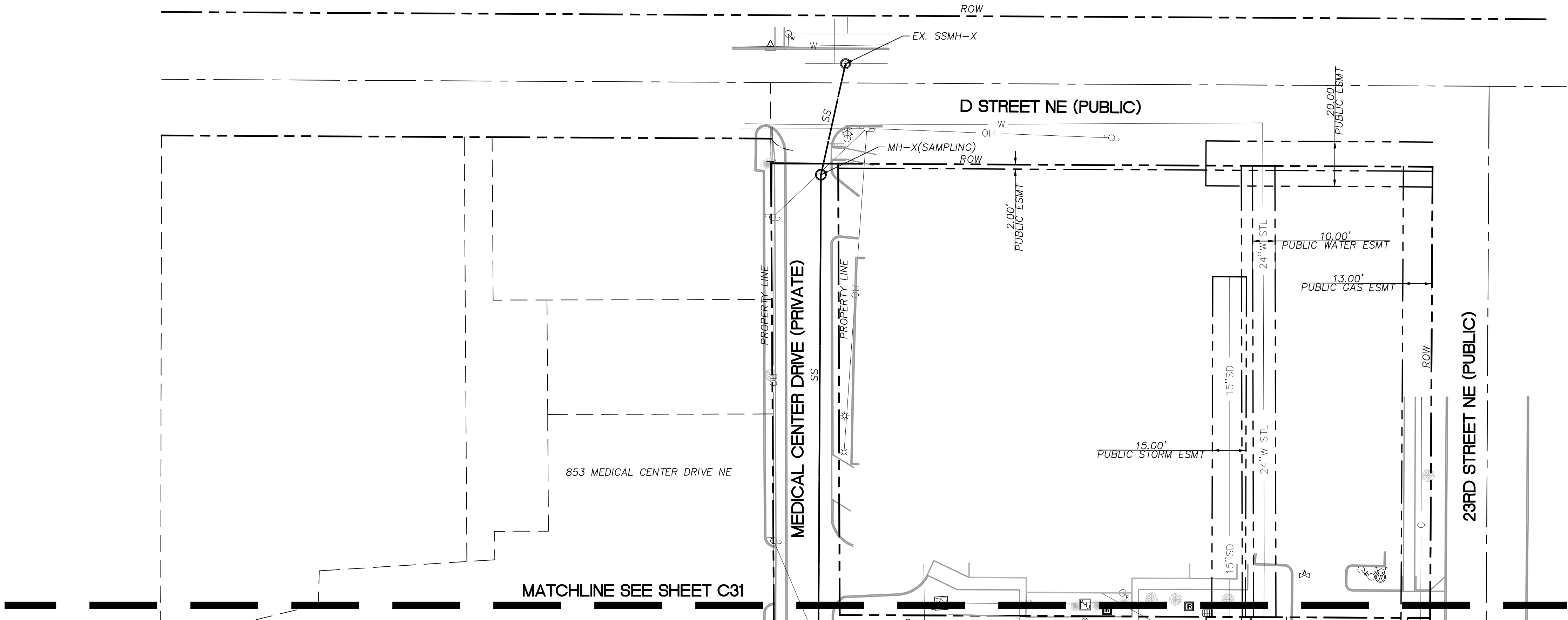


GRADING PLAN
SCALE: 1"= 30'

SHEET LEGEND		
	201	EXISTING CONTOUR
	201	PROPOSED CONTOUR
BS XXX.XX	GRADE AT BOTTOM OF STAIRS	
G XXX.XX	GRADE AT GUTTER	
TC XXX.XX	GRADE AT TOP OF CURB	
TP XXX.XX	GRADE AT TOP OF PAVEMENT	
TS XXX.XX	GRADE AT TOP OF STAIRS	
TF XXX.XX	GRADE AT TOP OF FOOTING	
FF XX.XX	FINISH FLOOR ELEVATION	
FG XXX.XX	FINISHED GRADE	
TW XXX.XX	GRADE AT TOP OF WALL	
EG XXX.XX	EXISTING GRADE	
(E)	EXISTING	
	X.X%	SLOPE ARROW
	GB	GRADE BREAK

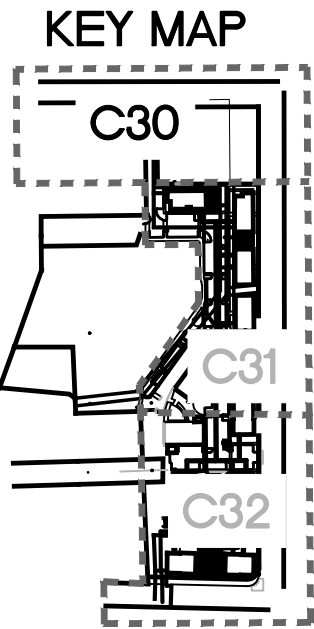


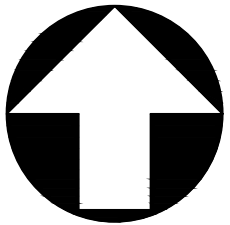
NOT FOR
CONSTRUCTION



UTILITY PLAN
SCALE: 1"=30'

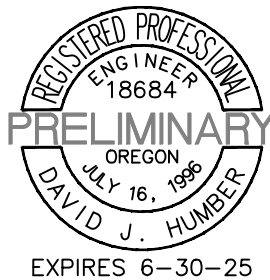
SANITARY SEWER SCHEDULE		
ITEM	DESCRIPTION	REFERENCE
SSMH-1	SANITARY SEWER MANHOLE RIM XXXX IE IN (6"E)=XXXX IE IN (8"S)=XXXX NEW IE OUT (8"N)=XXXX, CONE OR FLATOP? EX: INVERT ELEVATIONS PER PORTLAND MAPS, LOCKING LID	
MH-X (SAMPLING)	SAMPLING MANHOLE RIM XXXX IE IN (6"E)=XXXX IE IN (8"S)=XXXX NEW IE OUT (8"N)=XXXX, CONE OR FLATOP? EX: INVERT ELEVATIONS PER PORTLAND MAPS, LOCKING LID	
SSCO-1	SANITARY SEWER CLEANOUT TO GRADE, IE=XXX	





GRAPHIC SCALE
0 30 60
1 inch = 30 ft.

NOT FOR
CONSTRUCTION



SALEM APARTMENTS

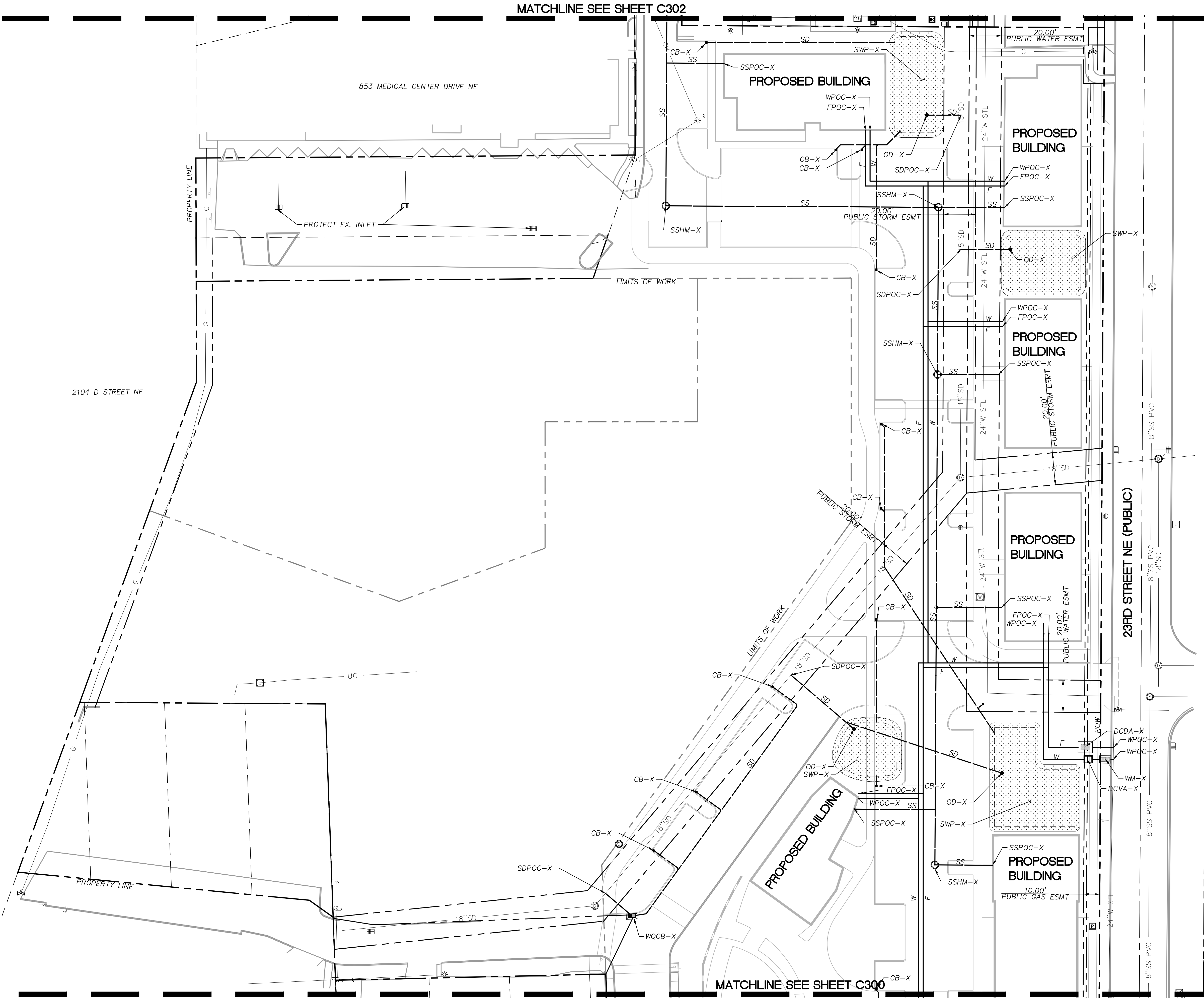
CLIENT :
HOME FIRST
DEVELOPMENT/
GREEN LIGHT
DEVELOPMENT

ISSUE DATES:

JOB # : 2248
STATUS : LUR
PRINTED :
10/26/2023 12:19:05 PM

UTILITY PLAN

C30
ORIGINAL SHEET SIZE : 22"x34"

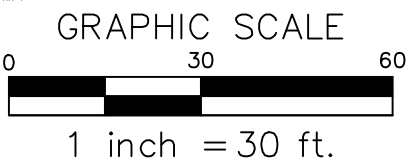
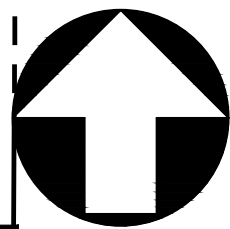
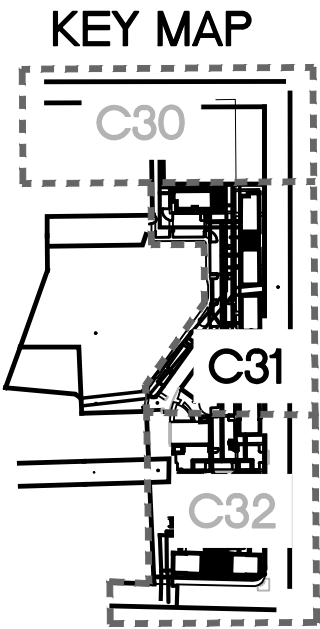


UTILITY PLAN
SCALE: 1"=30'

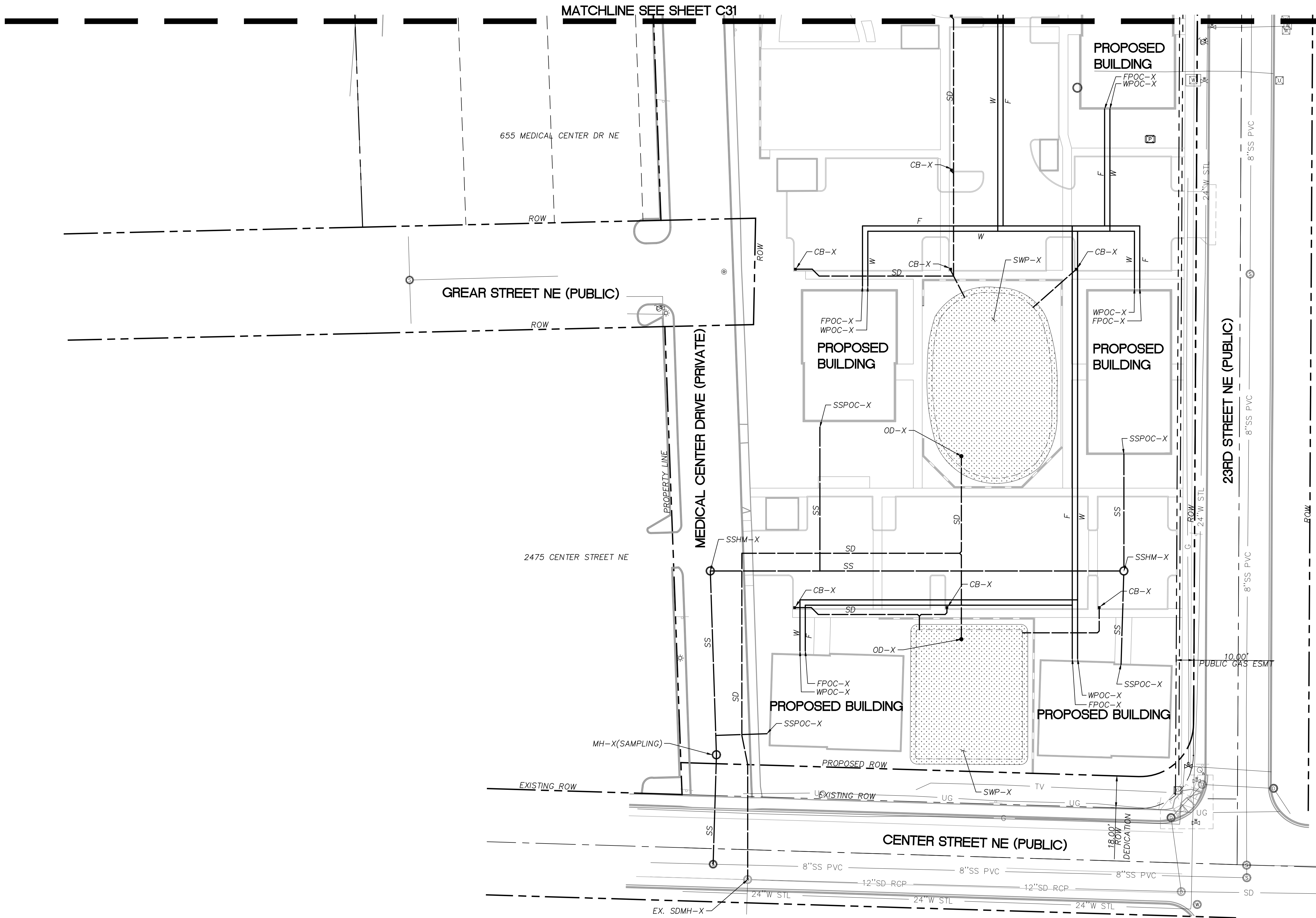
STORM SEWER SCHEDULE		
ITEM	DESCRIPTION	REFERENCE
OD-1	OVERFLOW DRAIN RIM=XXX IE=XXX	
SWP-1	STORMWATER PLANTER, FLOW-THROUGH	
CB-1	CATCH BASIN RIM=XXX IE=XXX	
SDCO-1	STORMWATER CLEANOUT TO GRADE, IE=XXX	
SWB-1	STORMWATER BASIN, XXX SF	
SDMH-1	STORMWATER MANHOLE RIM= IE IN (8"E)= IE OUT (8")=	

WATER SCHEDULE		
ITEM	DESCRIPTION	REFERENCE
FDC	FIRE DEPARTMENT CONNECTION	
FH-1	FIRE HYDRANT ASSEMBLY, INSTALL PER COUNTY STANDARDS, MINIMUM 3' FROM CURB FACE	
WPOC-X	WATER POINT OF CONNECTION	
DCDA-X	DOUBLE CHECK DETECTOR ASSEMBLY	
DCDA-X	DOUBLE CHECK VALVE ASSEMBLY	
WM-X	WATER METER	

SANITARY SEWER SCHEDULE		
ITEM	DESCRIPTION	REFERENCE
SSMH-1	SANITARY SEWER MANHOLE RIM XXXX IE IN (6"E)=XXXX IE IN (8"S)=XXXX NEW IE OUT (8"N)=XXXX, CONE OR FLATOP? EX: INVERT ELEVATIONS PER PORTLAND MAPS, LOCKING LID	
MH-X (SAMPLING)	SAMPLING MANHOLE RIM XXXX IE IN (6"E)=XXXX IE IN (8"S)=XXXX NEW IE OUT (8"N)=XXXX, CONE OR FLATOP? EX: INVERT ELEVATIONS PER PORTLAND MAPS, LOCKING LID	
SSCO-1	SANITARY SEWER CLEANOUT TO GRADE, IE=XXX	



NOT FOR
CONSTRUCTION

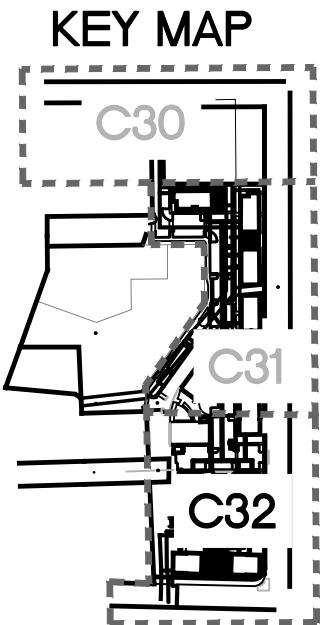


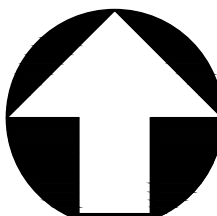
UTILITY PLAN
SCALE: 1"=30'

STORM SEWER SCHEDULE		
ITEM	DESCRIPTION	REFERENCE
OD-1	OVERFLOW DRAIN RIM=XXX IE=XXX	
SWP-1	STORMWATER PLANTER, FLOW-THROUGH	
CB-1	CATCH BASIN RIM=XXX IE=XXX	
SDCO-1	STORMWATER CLEANOUT TO GRADE, IE=XXX	
SWB-1	STORMWATER BASIN, XXX SF	
SDMH-1	STORMWATER MANHOLE RIM= IE IN (8"E)= IE OUT (8")=	

WATER SCHEDULE		
ITEM	DESCRIPTION	REFERENCE
FDC	FIRE DEPARTMENT CONNECTION, MOUNTED TO BUILDING FACE	
FH-1	FIRE HYDRANT ASSEMBLY, INSTALL PER COUNTY STANDARDS, MINIMUM 3' FROM CURB FACE	
WPOC-X	WATER POINT OF CONNECTION	

SANITARY SEWER SCHEDULE		
ITEM	DESCRIPTION	REFERENCE
SSCO-1	SANITARY SEWER CLEANOUT TO GRADE, IE=XXX	
SSMH-1	SANITARY SEWER MANHOLE RIM XXXX IE IN (6"E)=XXXX IE IN (8"S)=XXXX NEW IE OUT (8"N)=XXXX, CONE OR FLATOP? EX. INVERT ELEVATIONS PER PORTLAND MAPS, LOCKING LID	
MH-X (SAMPLING)	SAMPLING MANHOLE RIM XXXX IE IN (6"E)=XXXX IE IN (8"S)=XXXX NEW IE OUT (8"N)=XXXX, CONE OR FLATOP? EX. INVERT ELEVATIONS PER PORTLAND MAPS, LOCKING LID	
SSPOC-X	SANITARY POINT OF CONNECTION	

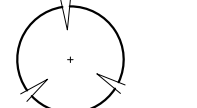
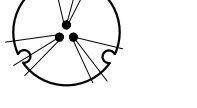
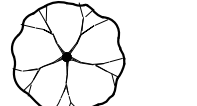
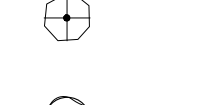


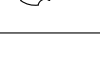


GRAPHIC SCALE
0 30 60
1 inch = 30 ft.

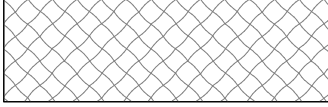
NOT FOR
CONSTRUCTION

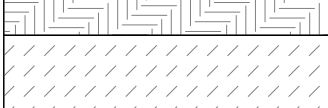
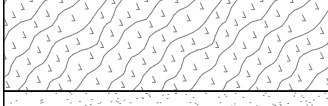
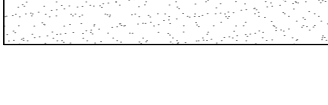
Preliminary Plant Schedule

TREES	QTY	BOTANICAL / COMMON NAME	SIZE
	30	Stormwater Tree to be Determined	1 1/2" Cal., B&B Stormwater Tree
	30	Street Trees for 8' Planter to be Determined	1 1/2" Cal., B&B Street Tree
	7	Acer circinatum / Vine Maple	1" Cal., B&B
	12	Acer rubrum 'October Glory' / October Glory Red Maple	1 1/2" Cal., B&B
	18	Chamaecyparis nootkatensis 'Glauc Pendula' / Weeping Nootka False Cypress	6'-8" B&B
	5	Chamaecyparis obtusa 'Gracilis' / Slender Hinoki Cypress	6'-8" B&B
	16	Cladrastis lutea / American Yellowwood	1 1/2" Cal., B&B
	5	Cornus nuttallii x florida 'Eddie's White Wonder' / Eddie's White Wonder Dogwood	1 1/2" Cal., B&B
	14	Fagus sylvatica 'Dawyck Purple' / Dawyck Purple European Beech	1 1/2" Cal., B&B
	7	Ginkgo biloba 'Golden Colonnade' / Golden Colonnade Maidenhair Tree	1 1/2" Cal., B&B
	14	Lagerstroemia indica x fauriei 'Muskogee' / Muskogee Crape Myrtle Multi-Trunk	1" Cal., B&B
	11	Nyssa sylvatica 'Wildfire' / Black Gum	1 1/2" Cal., B&B
	2	Parrotia persica / Persian Parrotia	1 1/2" Cal., B&B
	2	Quercus garryana / Oregon White Oak	1 1/2" Cal., B&B
	1	Quercus rubra / Northern Red Oak	1 1/2" Cal., B&B Street Tree
	21	Zelkova serrata 'Green Vase' / Sawleaf Zelkova	1 1/2" Cal., B&B

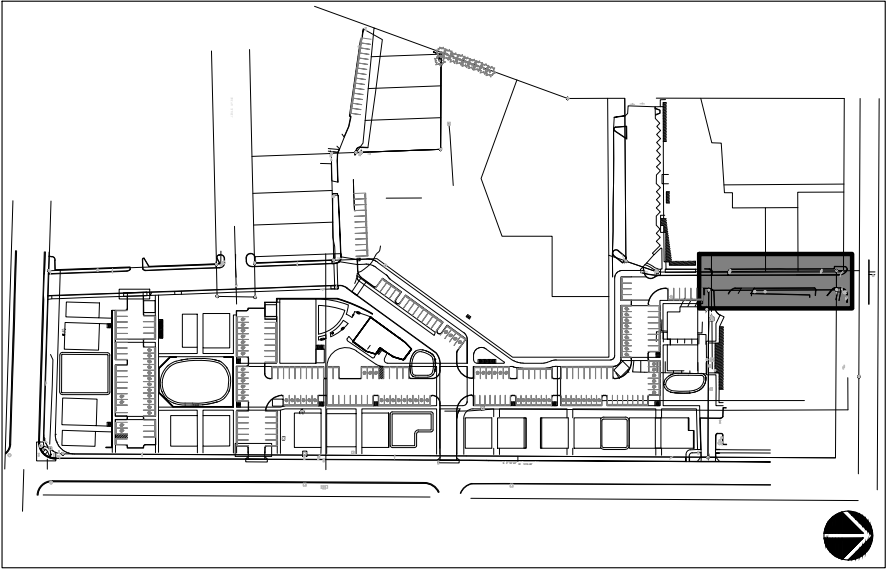
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE
	50	Berberis thunbergii 'Atropurpurea Nana' / Dwarf Redleaf Japanses Barberry	2 Gal.
	114	Cornus sericea 'Kelseyi' / Kelseyi Dogwood	2 Gal.
	5	Euonymus alatus 'Compactus' / Compact Burning Bush	5 Gal.
	210	Ilex crenata 'Soft Touch' / Soft Touch Japanese Holly	2 Gal.
	124	Leucothoe fontanesiana 'Zebbid' / 'Scarletta' Drooping Leucothoe	2 Gal.
	78	Lonicera pileata / Privet Honeysuckle	2 Gal.
	125	Mahonia aquifolium 'Compacta' / Compact Oregon Grape	2 Gal.
	35	Raphiolepis indica 'Ballerina' / Ballerina Indian Hawthorn	2 Gal.
	164	Raphiolepis umbellata 'Snow White' / Yedda Hawthorn	5 Gal.
	6	Rosa x 'KO Double' / Pink Double Knockout Rose	2 Gal.
	163	Sarcococca confusa / Fragrant Sarcococca	2 Gal.
	13	Symphoricarpos albus / Common Snowberry	2 Gal.
	8	Weigela florida 'Alexandra' TM / Wine and Rose Weigela	5 Gal.

GRASSES/PERENNIALS	QTY	BOTANICAL / COMMON NAME	SIZE
	1258	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	1 Gal.
	79	Deschampsia cespitosa / Tufted Hair Grass	1 Gal.
	165	Miscanthus sinensis 'Yakushima' / Dwarf Maiden Grass	1 Gal.
	159	Pennisetum alopecuroides 'Burgundy Bunny' / Burgundy Bunny Dwarf Fountain Grass	1 Gal.
	36	Polystichum munitum / Western Sword Fern	1 Gal.

SHRUB AREAS	QTY	BOTANICAL / COMMON NAME	SIZE AND NOTES	SPACING
	87	Prunus laurocerasus 'Mount Vernon' / Mount Vernon English Laurel	1 gal	48" o.c.

GROUND COVERS	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING
	937	Arctostaphylos uva-ursi 'Massachusetts' / Massachusetts Kinnikinnick	1 Gal.	30" o.c.
	389	Ceanothus gloriosus / Point Reyes Ceanothus	1 Gal.	48" o.c.
	1,583	Pachysandra terminalis 'Green Carpet' / Green Carpet Japanese Pachysandra	1 Gal.	12" o.c.
	377	Rubus pentalobus 'Emerald Carpet' / Emerald Carpet Creeping Raspberry	1 Gal.	48" o.c.
	24,408 sf	ProTime 301 Water Smarter Fescue	Seed or Sod	

Key Map:



Multifamily Landscape Requirements

PHASE 1 SITE AREA SQUARE FOOTAGE (SF): 273,332 SF
(AFTER ROW DEDICATION ALONG CENTER STREET)
1 TREE PER 2000 SF GROSS AREA = 137 TREES + 8 TREES FOR 2:1 REPLACEMENT AND MITIGATION
PROPOSED = 168 (INCLUDES STORMWATER FACILITY AND 4 EXISTING NON-STREET TREES)

OPEN SPACE REQUIRED: 30% MINIMUM (82,000 SF)
OPEN SPACE PROVIDED: 31% (82,287 SF) INCLUDING LAWN AND LARGE PLANTER AREAS, PLAYGROUND, SPORTS COURT, PATIO, STORMWATER
(13,950 SF IMPROVED OPEN SPACE = 27,900 SF OPEN SPACE)

BUILDING PERIMETER: 1 TREE (10 UNITS) PER 60 LF OF BUILDING WALL (WITHIN 25' OF BUILDING)
1 SHRUB (1 PLANT UNIT) PER 15 LF
2 PLANT UNITS AT ENTRY WAYS

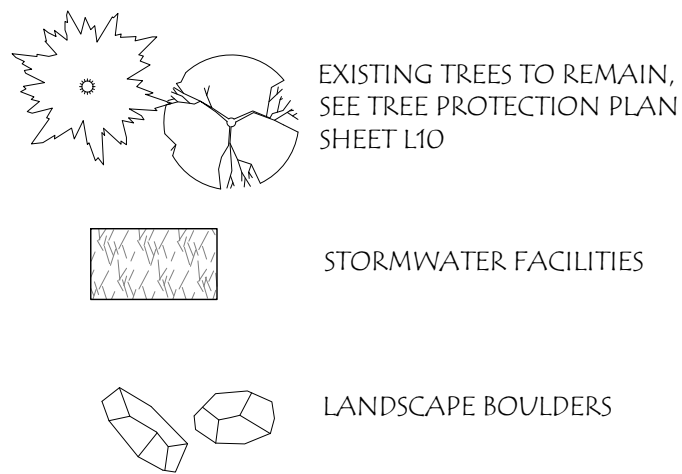
PARKING: 1 CANOPY TREE PER 50 FEET OF PARKING PERIMETER (WITHIN 10' OF PARKING PERIMETER)

Stormwater Planter Planting Requirements

FACILITY NUMBER	FACILITY SF	TREATMENT SF	TREES	SMALL TREES/ LARGE SHRUBS	SMALL SHRUBS	GROUND COVERS
TBD	TBD	TBD	TBD	TBD	TBD	TBD

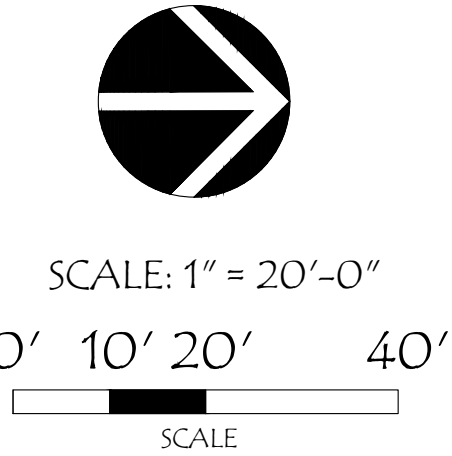
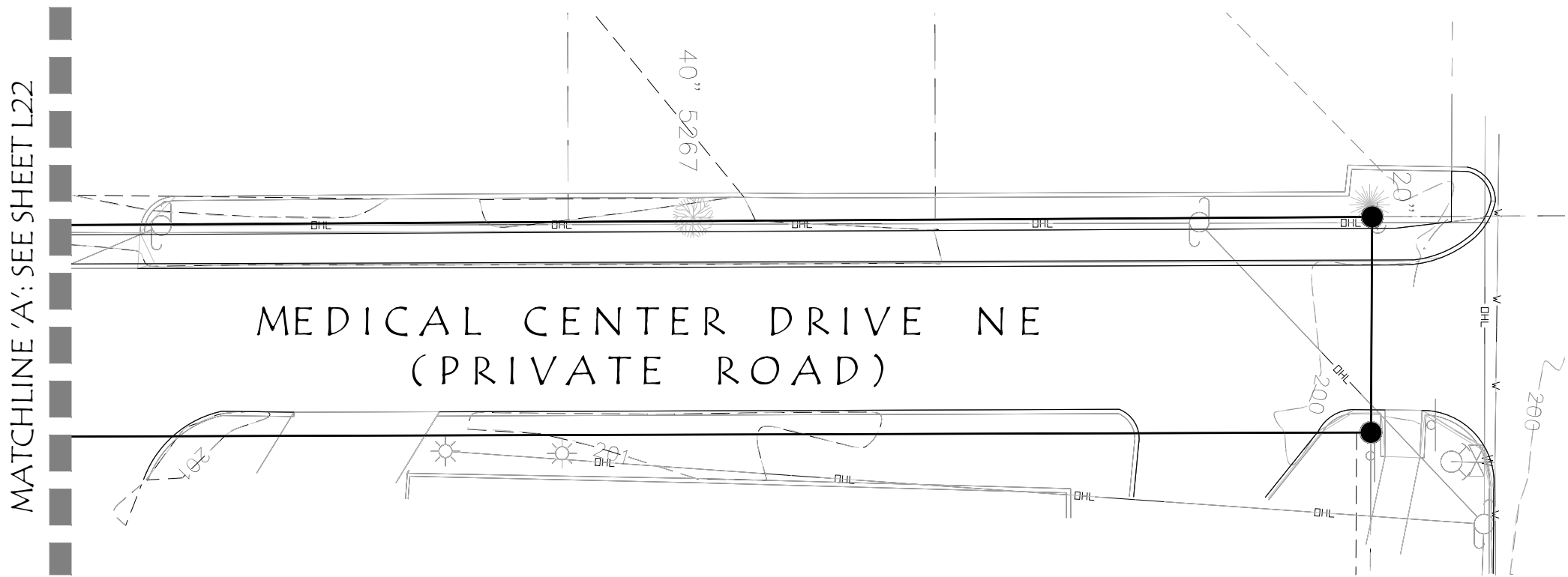
Requirements per 100 SF
1 Tree –OR–
4 Large Shrubs –OR–
6 Small Shrubs
Grasses, Herbs and Ground Cover for complete coverage
2" Pea Gravel Zone 1

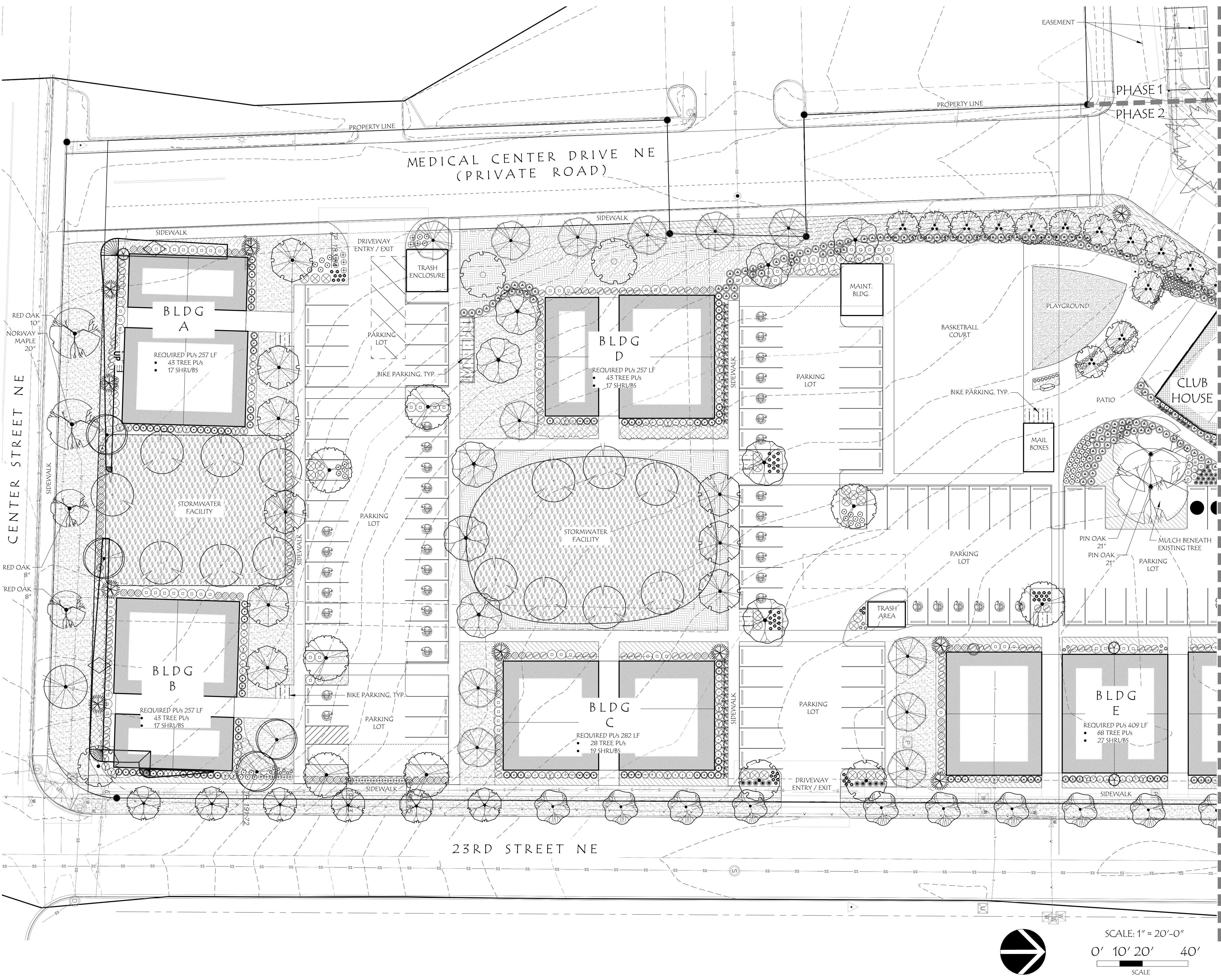
Legend:



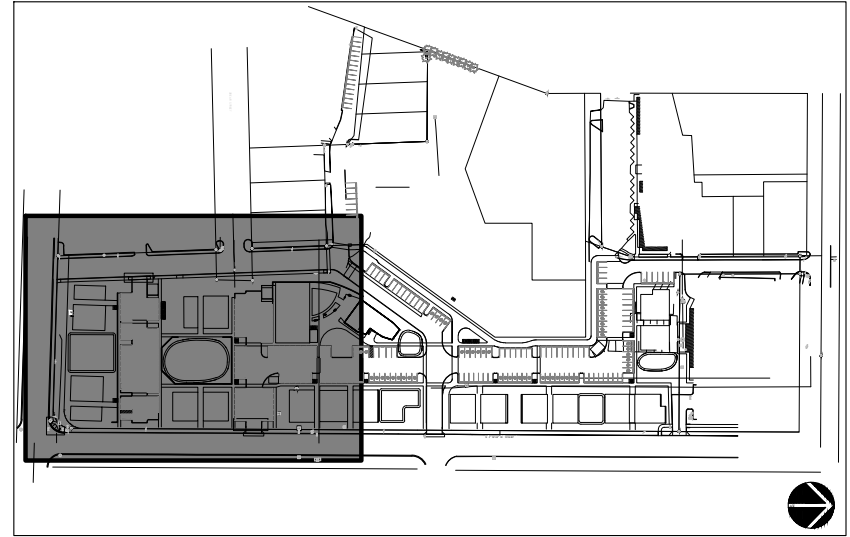
General Notes:

- DRAWINGS ARE PRELIMINARY, NOT FOR CONSTRUCTION OR BIDDING.
- SEE ARCHITECTURAL DRAWINGS FOR SITE PLAN, AREA CALCULATIONS AND COMMON AREAS.
- SEE CIVIL DRAWINGS FOR GRADING PLAN AND STORMWATER INFORMATION.
- PLANTS TO BE SIZED ACCORDING TO CITY OF SALEM REQUIREMENTS FOR GENERAL PLANTING PLAN AND STORMWATER FACILITIES.
- STORMWATER FACILITY PLANTINGS TO FOLLOW CITY OF SALEM STORMWATER PLATING REQUIREMENTS. PLANTS TO BE SELECTED FROM APPROVED PLANT LIST.
- CHILDREN'S PLAY AREA AND WOODCHIP PLAY SURFACE TO CONFORM TO CPSC AND ASTM PLAYGROUND STANDARD AND GUIDELINES. PLAY EQUIPMENT TO BE SELECTED.
- STREET TREES SELECTED FROM CITY OF SALEM APPROVED STREET TREE LIST.
- PRELIMINARY PLANT SCHEDULE SEE THIS SHEET.
- LANDSCAPE TO BE IRRIGATED BY AN UNDERGROUND AUTOMATIC SYSTEM DESIGNED BY THE LANDSCAPE ARCHITECT.

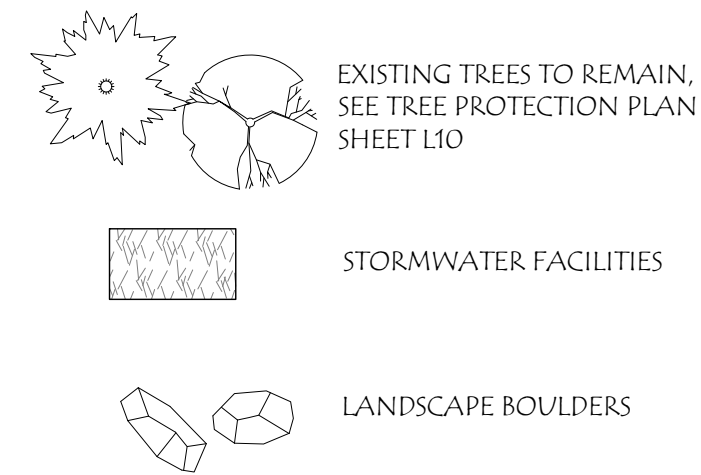




Key Map:



Legend:



General Notes:

- DRAWINGS ARE PRELIMINARY, NOT FOR CONSTRUCTION OR BIDDING.
- SEE ARCHITECTURAL DRAWINGS FOR SITE PLAN, AREA CALCULATIONS AND COMMON AREAS.
- SEE CIVIL DRAWINGS FOR GRADING PLAN AND STORMWATER INFORMATION.
- PLANTS TO BE SIZED ACCORDING TO CITY OF SALEM REQUIREMENTS FOR GENERAL PLANTING PLAN AND STORMWATER FACILITIES.
- STORMWATER FACILITY PLANTINGS TO FOLLOW CITY OF SALEM STORMWATER PLATING REQUIREMENTS. PLANTS TO BE SELECTED FROM APPROVED PLANT LIST.
- CHILDREN'S PLAY AREA AND WOODCHIP PLAY SURFACE TO CONFORM TO CPSC AND ASTM PLAYGROUND STANDARD AND GUIDELINES. PLAY EQUIPMENT TO BE SELECTED.
- STREET TREES SELECTED FROM CITY OF SALEM APPROVED STREET TREE LIST.
- PRELIMINARY PLANT SCHEDULE SEE SHEET L20.
- LANDSCAPE TO BE IRRIGATED BY AN UNDERGROUND AUTOMATIC SYSTEM DESIGNED BY THE LANDSCAPE ARCHITECT.

SALEM APARTMENTS

CLIENT :
HOME FIRST
DEVELOPMENT/
GREEN LIGHT
DEVELOPMENT

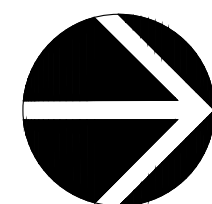
ISSUE DATES:

JOB #: 1580R/1583R
STATUS : LUR
PRINTED :
4/29/2024

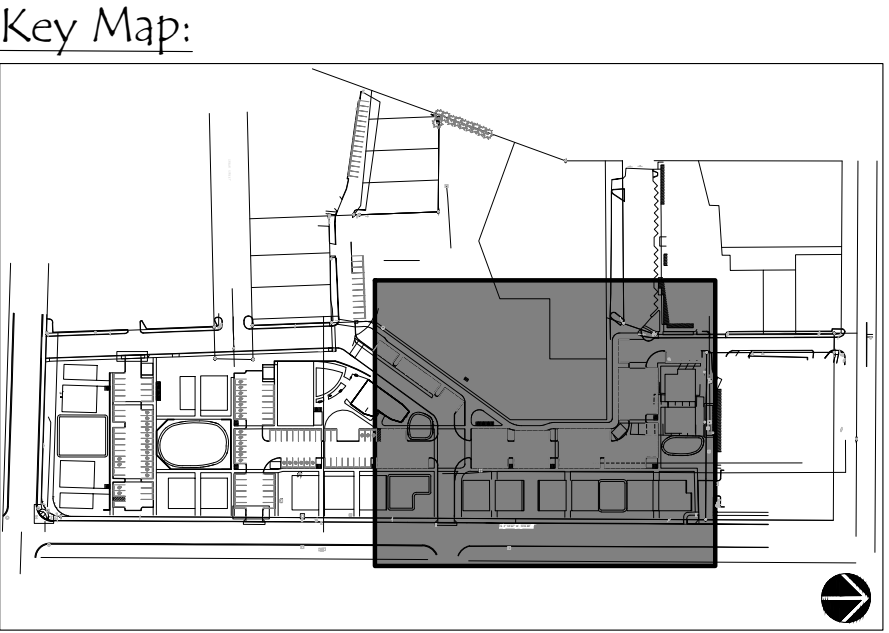
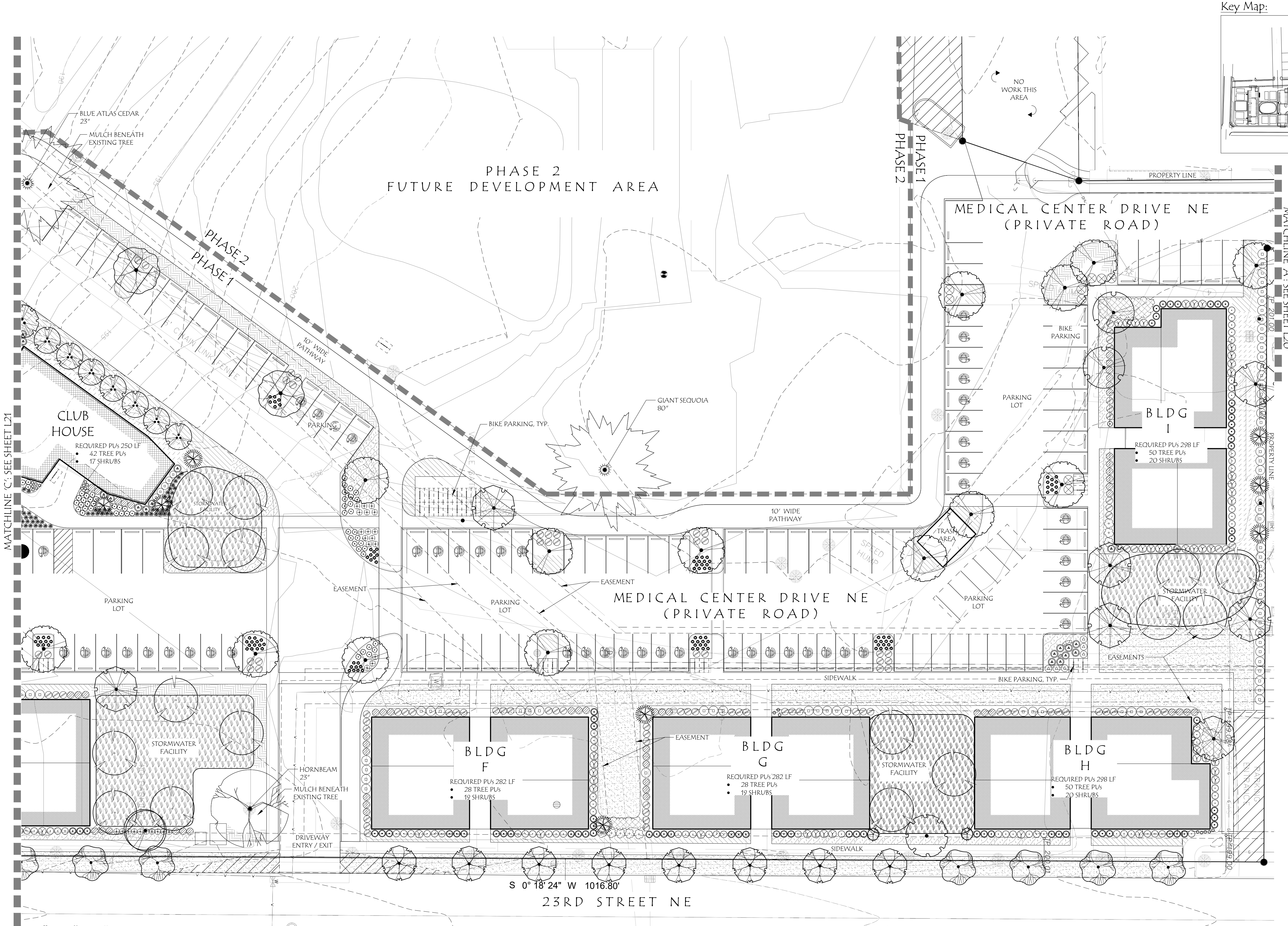
PRELIMINARY
PLANTING PLAN

L21

ORIGINAL SHEET SIZE : 22"x34"



SCALE: 1" = 20'-0"
0' 10' 20' 40'
SCALE



- Legend:
- EXISTING TREES TO REMAIN, SEE TREE PROTECTION PLAN SHEET L10
 - STORMWATER FACILITIES
 - LANDSCAPE BOULDERS

- General Notes:
- DRAWINGS ARE PRELIMINARY, NOT FOR CONSTRUCTION OR BIDDING.
 - SEE ARCHITECTURAL DRAWINGS FOR SITE PLAN, AREA CALCULATIONS AND COMMON AREAS.
 - SEE CIVIL DRAWINGS FOR GRADING PLAN AND STORMWATER INFORMATION.
 - PLANTS TO BE SIZED ACCORDING TO CITY OF SALEM REQUIREMENTS FOR GENERAL PLANTING PLAN AND STORMWATER FACILITIES.
 - STORMWATER FACILITY PLANTINGS TO FOLLOW CITY OF SALEM STORMWATER PLATING REQUIREMENTS. PLANTS TO BE SELECTED FROM APPROVED PLANT LIST.
 - CHILDREN'S PLAY AREA AND WOODCHIP PLAY SURFACE TO CONFORM TO CPSC AND ASTM PLAYGROUND STANDARD AND GUIDELINES. PLAY EQUIPMENT TO BE SELECTED.
 - STREET TREES SELECTED FROM CITY OF SALEM APPROVED STREET TREE LIST.
 - PRELIMINARY PLANT SCHEDULE SEE SHEET L20.
 - LANDSCAPE TO BE IRRIGATED BY AN UNDERGROUND AUTOMATIC SYSTEM DESIGNED BY THE LANDSCAPE ARCHITECT.

SALEM APARTMENTS

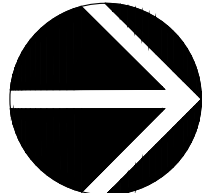
CLIENT :
HOME FIRST
DEVELOPMENT/
GREEN LIGHT
DEVELOPMENT

ISSUE DATES:

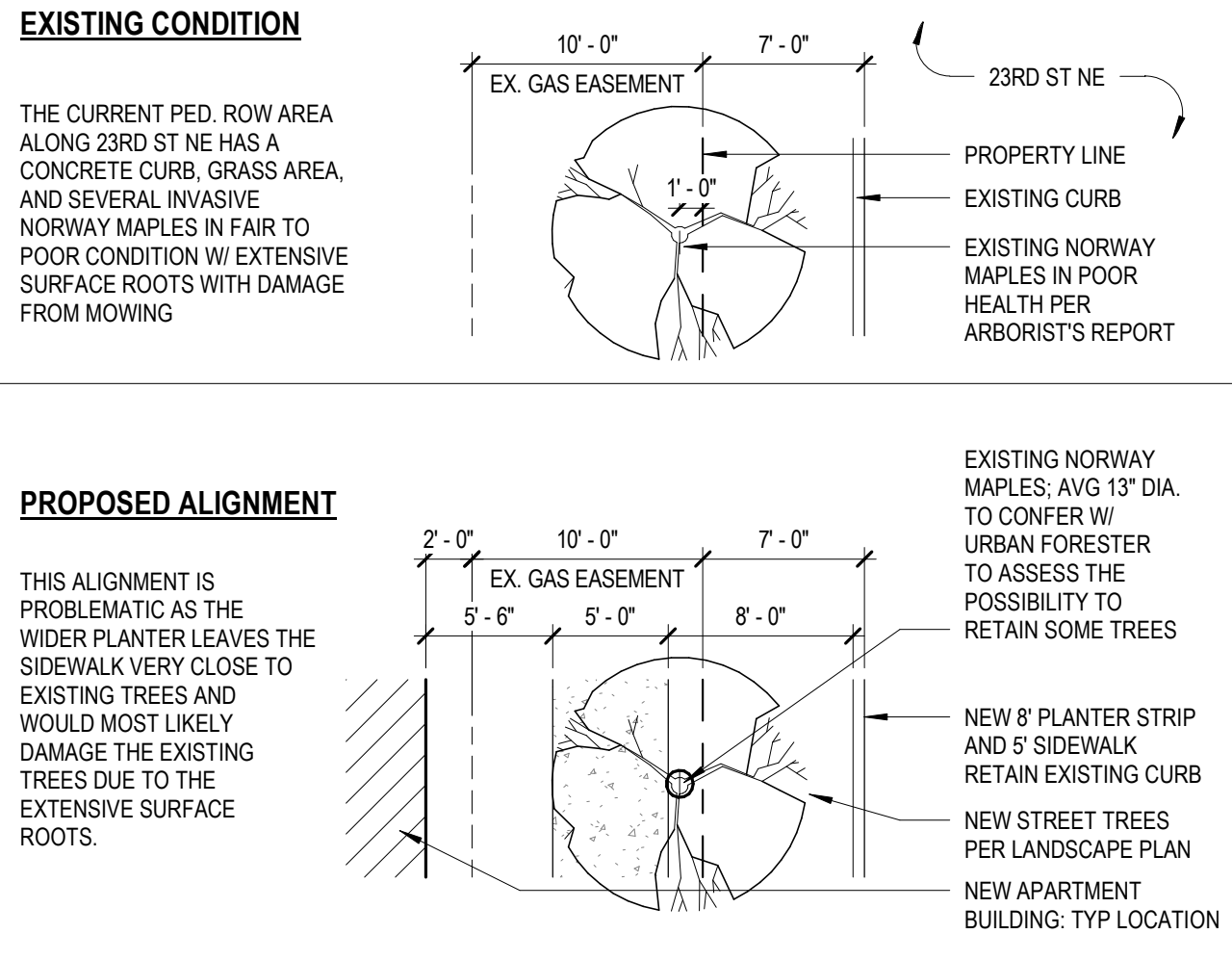
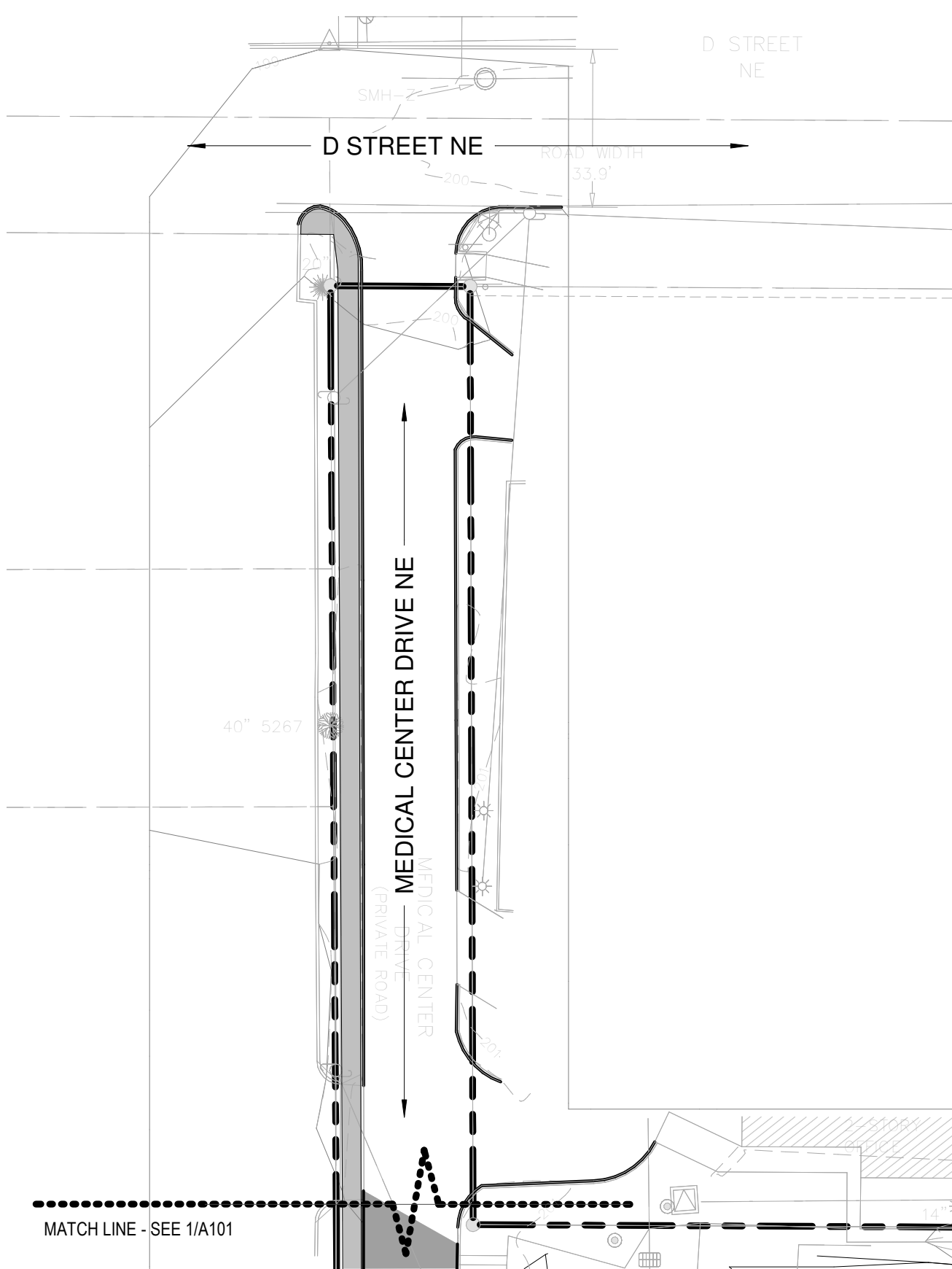
JOB #: 1580R/1583R
STATUS : LUR
PRINTED : 4/29/2024

PRELIMINARY
PLANTING PLAN

L22
ORIGINAL SHEET SIZE : 22"x34"



SCALE: 1" = 20'-0"
0' 10' 20' 40'
SCALE



PROPOSED SITE PLAN - NORTH

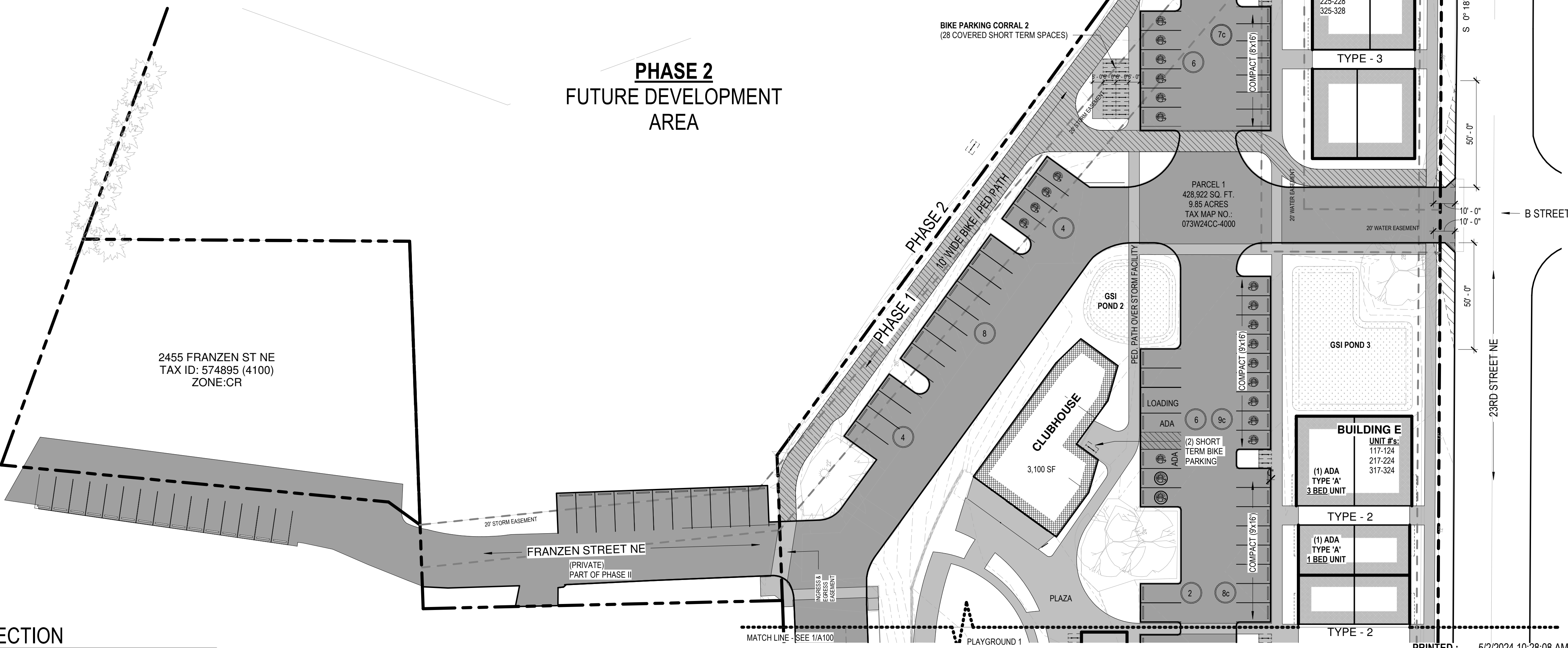
PROPOSED 23RD ST NE R.O.W. CONFIGURATION

- PARKING SPACE WITH LEVEL 2 EV CHARGING INSTALLED (VIA FLO-CORE+ DUAL PORT EV CHARGER)
- PARKING SPACE WITH LEVEL 2 EV CHARGING CAPACITY
- NUMBER OF PARKING SPACES IN A ROW

LU SITE PLAN LEGEND

SCALE: 1/8" = 1'-0"

PROPOSED SITE PLAN - MIDDLE SECTION



**PHASE 2
FUTURE DEVELOPMENT
AREA**

NOTE: ALL PARKING SPACES ARE 9'x19' 'STANDARD' SIZE UNLESS OTHERWISE NOTED

SALEM APARTMENTS

CLIENT :
HOME FIRST
DEVELOPMENT/
GREEN LIGHT
DEVELOPMENT

SITE PLAN

PRINTED : 5/2/2024 10:28:08 AM

MU-I CODE REQUIREMENTS	PROPOSED
BUILDINGS (1) MAXIMUM 10-FT SETBACK APPLIES IF THE SETBACK IS USED FOR PED AMENITIES. B) FOR DOUBLE FRONTAGE LOTS, THE SETBACK ABUTTING A STREET SHALL ONLY APPLY TO THE STREET W/ THE HIGHEST STREET CLASSIFICATION OR WHERE BOTH HAVE THE SAME CLASSIFICATION, THE STREET DESIGNATED BY THE APPLICANT. NO MIN OR MAX IS REQ ABUTTING THE OTHER STREET	ADJUSTEMENT REQUESTED
HEIGHT MAX 65' MIN 20' MAY PROVIDE A FALSE FRONT, PROMINENT ENTRY, CUPOLA, OR REVERSE SHED TO MEET THIS REQUIREMENT.	MET BLDG 1 (COMMON) >20' BLDGS 2-18 (RES) <65' ACCESS. STRUC. = EXEMPT
BUILDING FRONTAGE MIN 75% FOR CORNER LOTS, THIS STANDARD MUST BE MET ON THE FRONTAGE OF THE STREET W/ THE HIGHEST CLASSIFICATION. THE INTERSECTING STREET HAS A 40% MIN STANDARD	CENTER = 60% (149'/248') : ADJUSTMENT REQUESTED 23RD = 56% (1030'/580') : MET
533-6 PED ORIENTED DESIGN GROUND FLOOR HEIGHT ON PRIMARY STREETS 14 FT MIN. (FLOOR TO CEILING) SEPARATION OF GROUND FLOOR USES FOR RES USE VERTICAL OR HORIZ SEPARATION IS REQ FROM PUBLIC ROW VERTICAL DISTANCE MIN 1.5' MAX 3' HORIZONTAL DIST MIN 5' MAX 10' SHALL TAKE THE FORM OF LANDSCAPED AREA OR PLAZA	ADJUSTEMENT REQUESTED ADJUSTEMENT REQUESTED
BUILDING FACADE ARTICULATION (2) BLDGS SHALL INCORPORATE VERTICAL AND HORIZONTAL ARTICULATION AND SHALL DIVIDE VERTICAL MASS INTO A BASE, MIDDLE, AND TOP. A) BASE: GROUND FLOOR FACADES: 1. CHANGE IN MATERIALS 2. CHANGE IN COLOR 3. MOLDING OR OTHER HORIZONTALLY-ARTICULATED TRANSITION PIECE B) MIDDLE; INCORPORATED AT A MIN OF EVERY 50' AT LEAST ONE OF THE FOLLOWING 1. RECESSES OF A MIN DEPTH OF 2' 2. EXTENSIONS OF A MIN DEPTH OF 2' 3. VERTICALLY-ORIENTED WINDOWS 4. PILASTERS C) TOP 1. CORNICE A MIN OF 8" TALL AND 3" BEYOND FACE OF FACADE 2. CHANGE IN MATERIAL FROM THE UPPER FLOORS, 8" TALL 3. OFFSETS OR BREAKS IN ROOF ELEVATION, A MIN OF 3' HIGH 4. A ROOF OVERHANG A MIN OF 8" DEEP	MET 1,2, & 3 PROVIDED MET 2 & 3 PROVIDED MET 4 PROVIDED
GROUND FLOOR WINDOWS (APPLIES TO PRIMARY STREETS) MIN 65% ONLY TRANSPARENT WINDOWS COUNT	ADJUSTEMENT REQUESTED
BUILDING ENTRANCES (APPLIES TO PRIMARY STREETS) 2) FOR RESIDENTIAL USES ON GROUND FLOOR, A PRIMARY BLDG ENTRANCE FOR EACH BLDG FACADE FACING A PRIMARY STREET SHALL BE LOCATED ON THE PRIMARY STREET. 3) BLDG ENTRANCES SHALL INCLUDE WEATHER PROTECTION	MET CENTRAL OUTDOOR ENTRY AREA W/ AWNING AT ENTRY
WEATHER PROTECTION (APPLIES TO GROUND FLOORS ADJACENT TO STREET) MIN 75% 1) AWNINGS OR CANOPIES 2) MIN CLEARANCE OF 8' ABOVE GROUND SURFACE. MAY ENCROACH INTO PUBLIC ROW.	ADJUSTEMENT REQUESTED
PARKING BEHIND OR BESIDE STRUCTURES, NOT BETWEEN STRUCTURE AND STREET	MET
MECH EQUIPMENT 1) GROUND LEVEL EQUIPMENT SHALL BE SCREENED W/ LANDSCAPING OR SITE OBSCURING FENCE OR WALL; LOCATED BEHIND OR BESIDE BLDGS 2) ROOF TOP EQUIP (OTHER THAN SOLAR) SHALL BE SET BACK OR SCREENED SO AS NOT TO BE VISIBLE TO A PERSON STANDING AT GROUND LEVEL 60' AWAY.	MET PTAC UNITS WILL BE USED THROUGHOUT THE PROJECT

PROJECT INFO:
891 23RD ST NE
TAX ID: 527113 (4000)
SIZE 9.85 ACRES
ZONE: MU-I

LOT AREA SUMMARY
ORIGINAL LOT AREA : 9.85 ACRES (428,907.74 SQ. FT.)

LOT LINE ADJUSTMENT @ NW CORNER OF LOT: 0.16 ACRES (6,805.43 SQ. FT.)
ASSUMED 10' PROPERTY DEDICATION ON SOUTH LOT LINE : 0.11 ACRES(5007.54 SQ. FT.)

PHASE I : 6.27 ACRES (273,332 SQ. FT.)
PHASE II : 3.3 ACRES (143,763 SQ. FT.) (NOT PART OF THIS SUBMISSION)

UNIT AND PARKING SUMMARY	
x6	4 BED/2 BA
x54	3 BED/1.5BA
x30	2 BED/1.0BA
x30	1 BED/1.0BA
120	TOTAL UNITS
PARKING : 208 TOTAL PARKING SPACES. (1.7 PER UNIT)*	
136 STANDARD (INCLUDES 4 ADA SPACES AND 2 LOADING SPACES)	
72 COMPACT	
*DOES NOT INCLUDE THE EXISTING PARALLEL PARKING ALONG MEDICAL CENTER DRIVE NE	

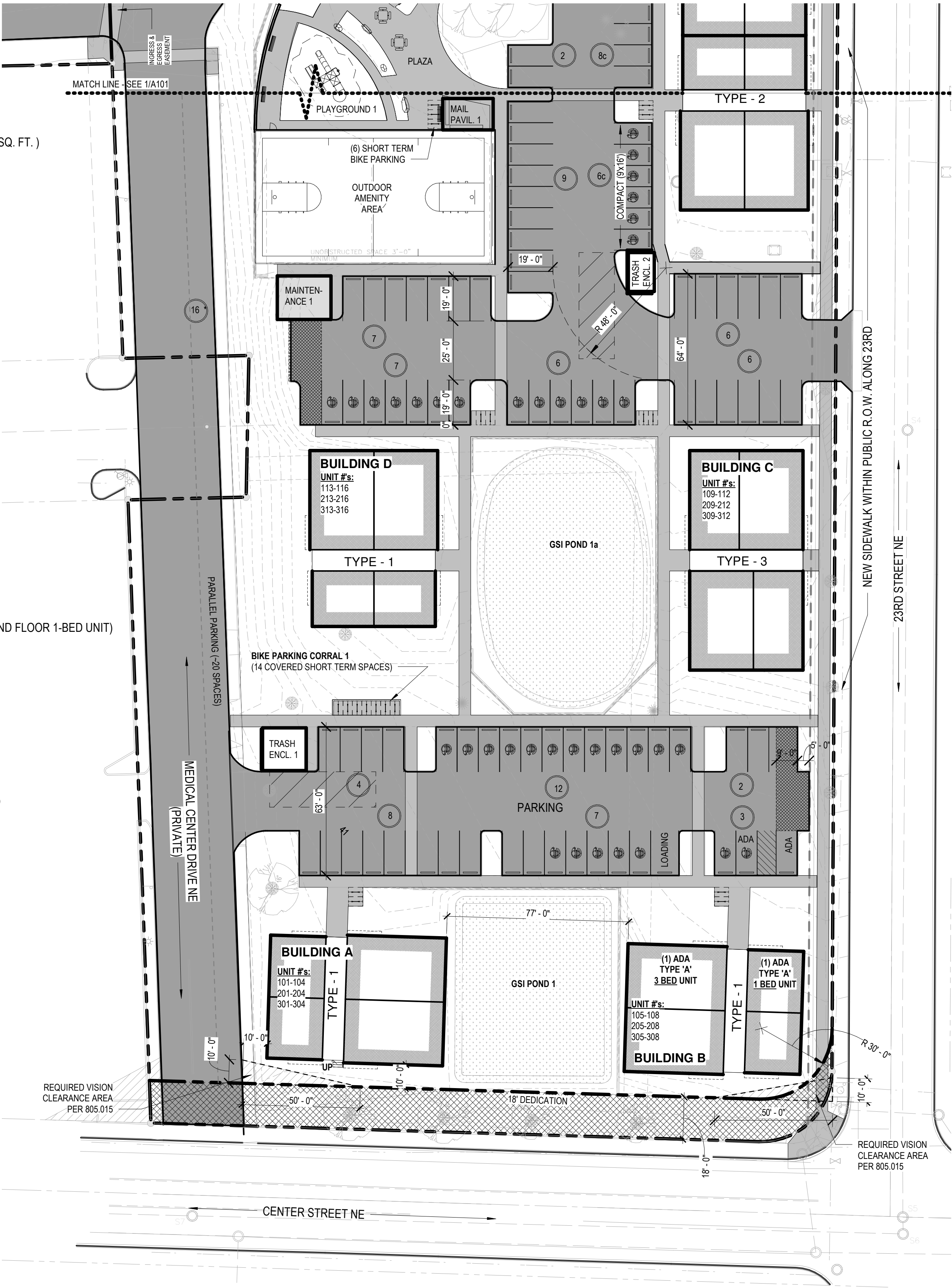
EV PARKING	
TOTAL PARKING:	208 SPACES
EV ENABLED PARKING REQ:	84 SPACES MIN (209x0.40=83.2)
EV ENABLED PARKING PROVIDED:	84 SPACES

BIKE PARKING SUMMARY	
REQUIRED RATIO:	1 SPACE /UNIT
NUMBER OF UNITS:	120
REQUIRED NO. OF SPACES:	120
TOTAL SPACES PROVIDED:	120
LT PARKING PROVIDED IN UNIT:	10 SPACES (1 PER GROUND FLOOR 1-BED UNIT)
ST PARKING PROVIDED AT BLDGS (6/12 UNITS)	60
ST PARKING AT COMMON AREAS:	8
ST COVERED BIKE PARKING CORRAL SPACES:	28
BIKE PARKING 1:	14
BIKE PARKING 2:	28

PARKING LANDSCAPING

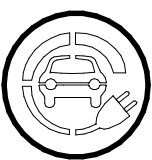
PARKING AREA: 81,213 SF
REQUIRED LANDSCAPE AREA: 6497 SF (81,213 x 0.08)
(INCLUDING PARKING SPACES, AISLES, PLANTING ISLANDS, CORNER AREAS, AND CURBED AREAS, BUT NOT INCLUDING INTERIOR DRIVEWAYS.)

INTERIOR PARKING LANDSCAPE AREA PROVIDED: 7135 SF (<6497 REQ)

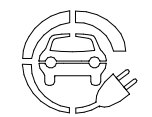


A11 2 ZONING INFO

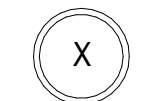
SCALE: 1" = 50'-0"



PARKING SPACE WITH LEVEL 2 EV CHARGING INSTALLED
(VIA FLO-CORE+ DUAL PORT EV CHARGER)



PARKING SPACE WITH LEVEL 2 EV CHARGING CAPACITY



NUMBER OF PARKING SPACES IN A ROW

LU SITE PLAN LEGEND

SCALE: 1/8" = 1'-0"



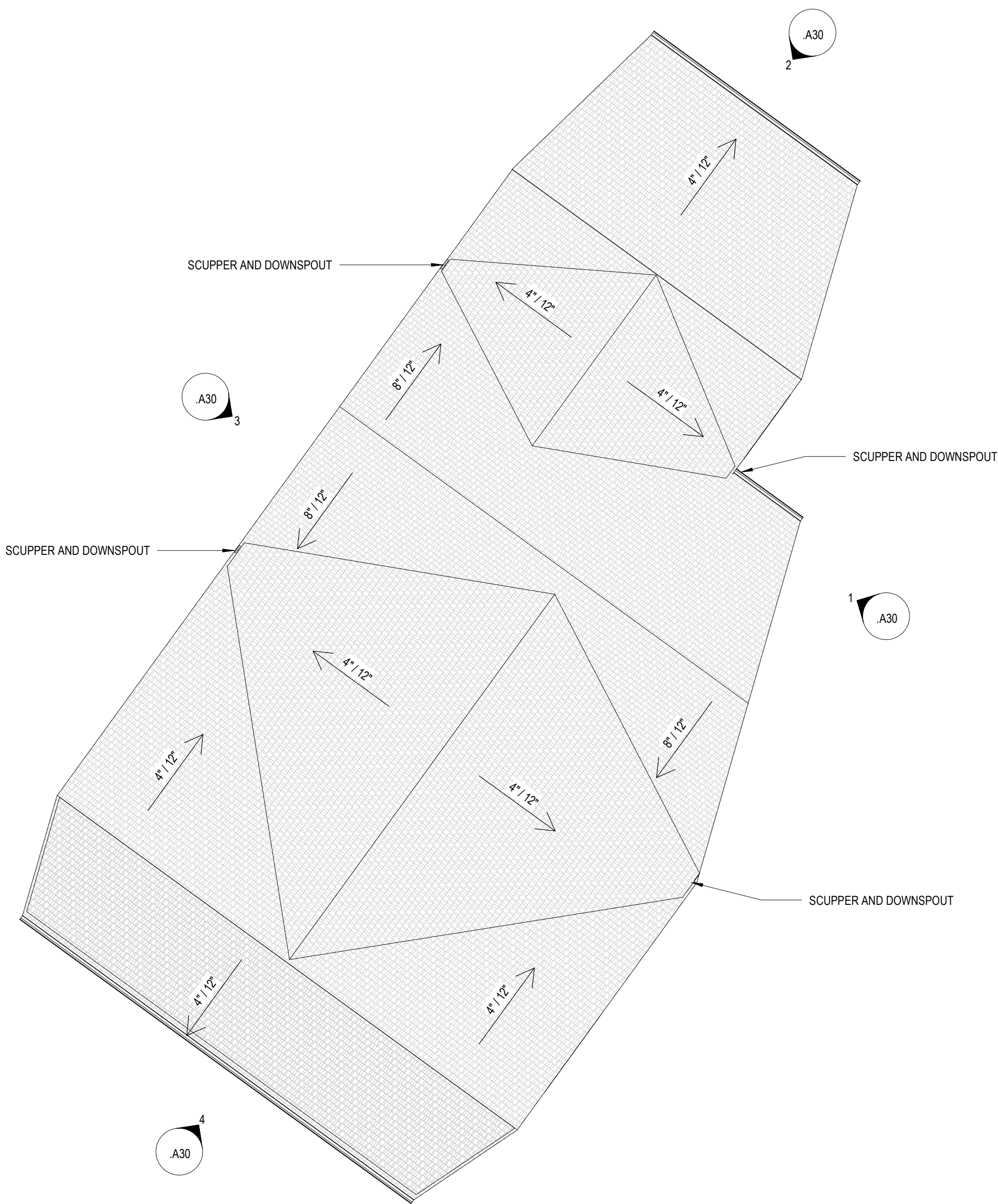
A11 1 PROPOSED SITE PLAN - SOUTH SECTION

SCALE: 1" = 30'-0"



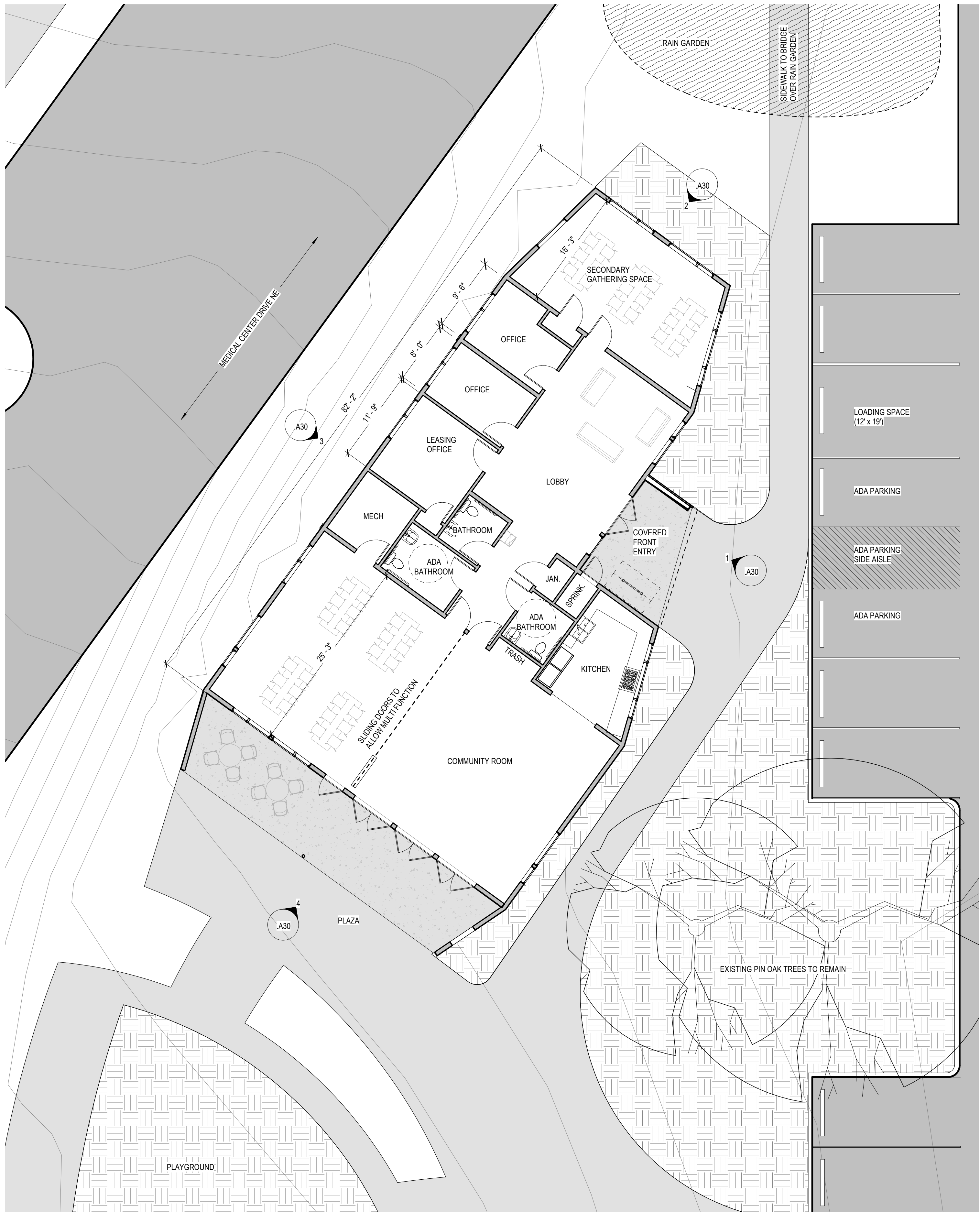
COMMUNITY BUILDING - ROOF PLAN

SCALE: 1/8" = 1'-0"



COMMUNITY BUILDING - FLOOR PLAN

SCALE: 1/8" = 1'-0"



COMMUNITY BLDG
PLANS

.A20

ORIGINAL SHEET SIZE: 22"x34"

CLIENT :
HOME FIRST
DEVELOPMENT/
GREEN LIGHT
DEVELOPMENT

SALEM APARTMENTS

891 23RD ST. NE SALEM, OR

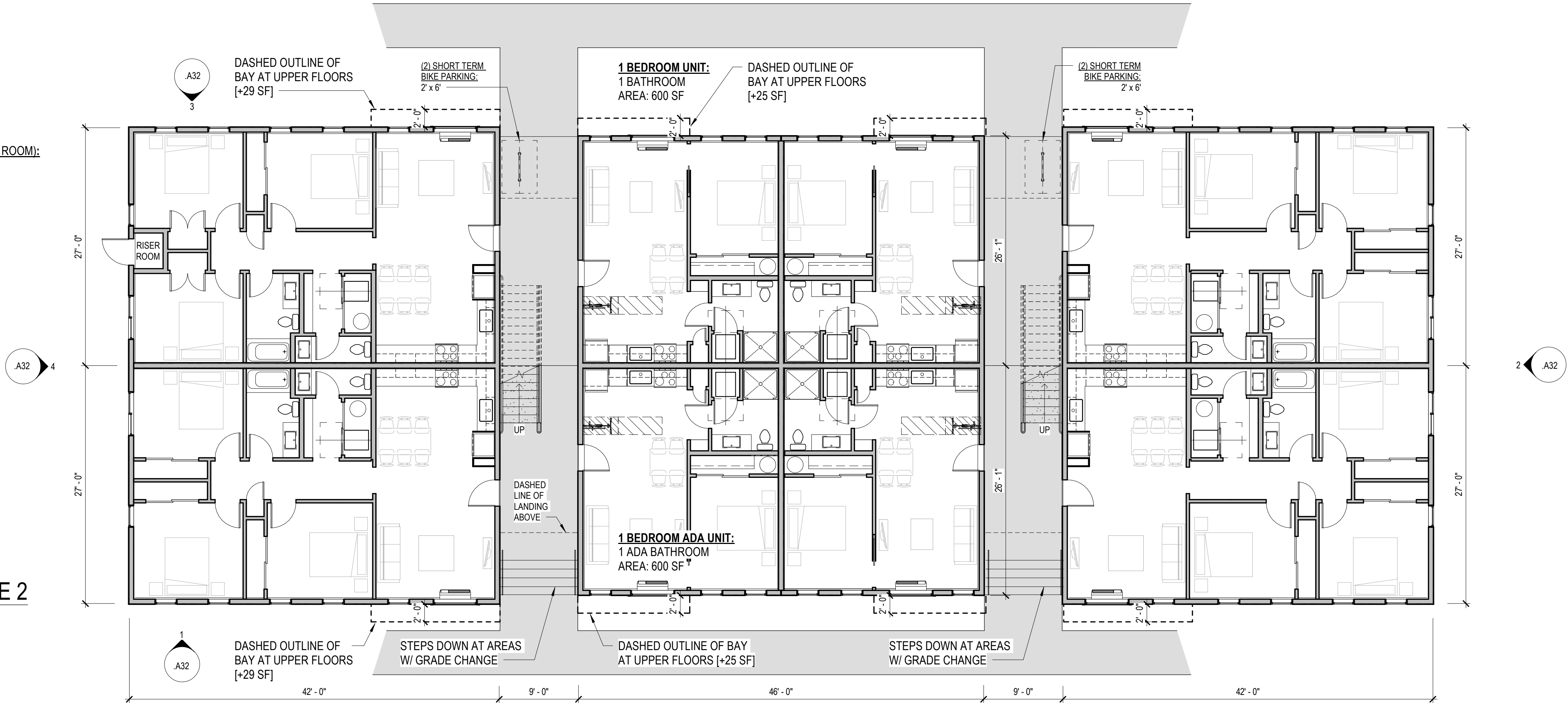
polyphon
ARCHITECTURE & DESIGN, LLC
polyphon.com
4103 NE TILLAMOOK STREET | PORTLAND, OR 97212

PRINTED : 5/2/2024 10:28:12 AM

^{A22}
1
GROUND FLOOR - BLDG TYPE 2
SCALE: 1/8" = 1'-0"

3 BEDROOM UNIT (@ RISER ROOM):
1.5 BATHROOMS
AREA: 1118 SF

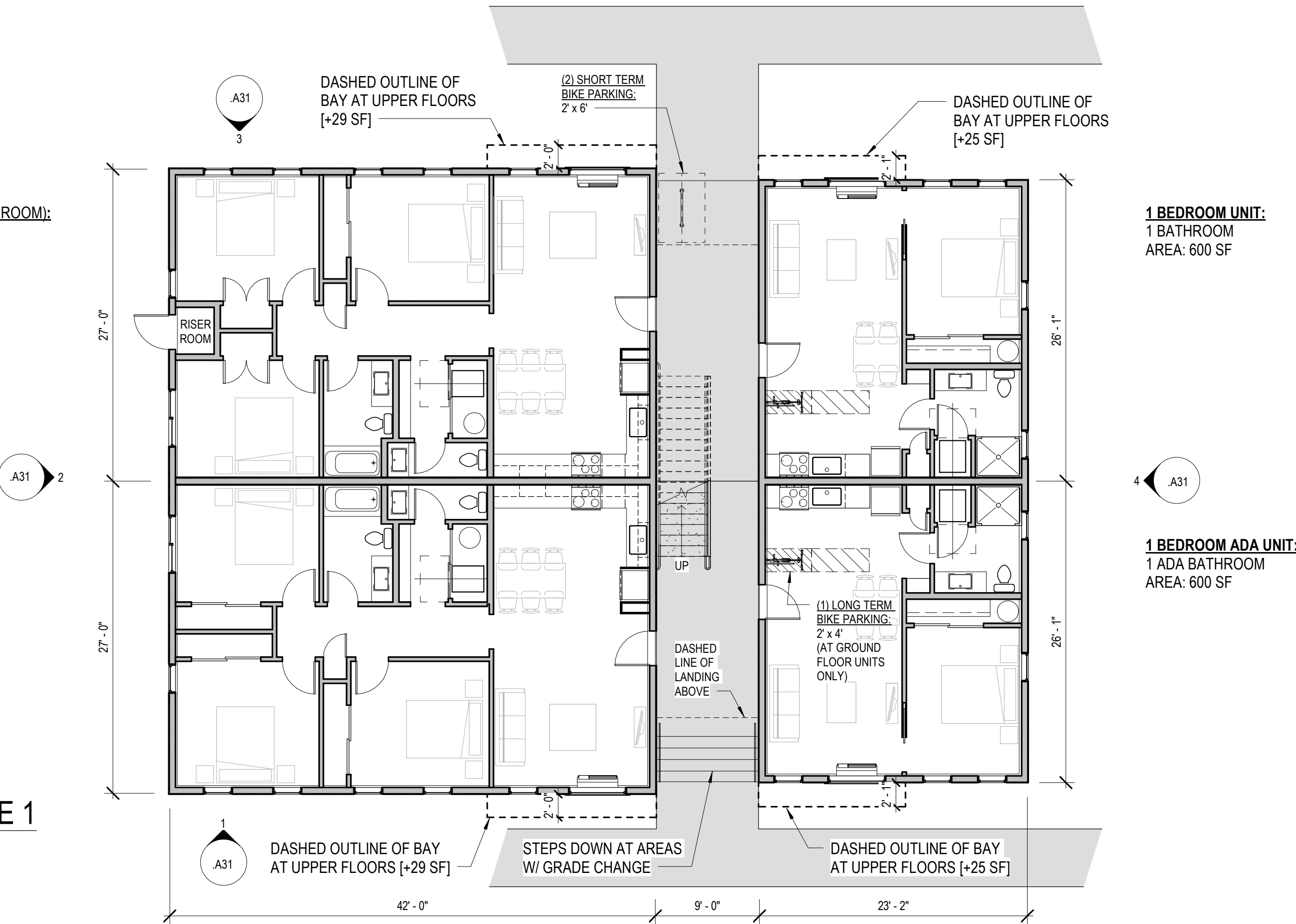
3 BEDROOM UNIT:
1.5 BATHROOMS
AREA: 1134 SF



^{A22}
2
GROUND FLOOR - BLDG TYPE 1
SCALE: 1/8" = 1'-0"

3 BEDROOM UNIT (@ RISER ROOM):
1.5 BATHROOMS
AREA: 1118 SF

3 BEDROOM UNIT:
1.5 BATHROOMS
AREA: 1134 SF



BUILDING TYPE 1

QUANTITY OF TYPE 1 BUILDINGS : 1			
# OF 1 BED, 1 BATH UNITS PER BLDG : 6 (602 SF / UNIT 1ST FL; 628 SF / UNIT 2ND & 3RD FL)			
# OF 3 BED, 1.5 BATH UNITS PER BLDG : 5 (1,134 SF / UNIT 1ST FL; 1,163 SF / UNIT 2ND & 3RD FL)			
# OF 3 BED, 1.5 BATH UNITS @ RISER RM : 1 (1,118 SF @ 1ST FLOOR FIRE SPRINKLER RISER ROOM)			
	TOTAL UNIT AREA (PER FLOOR)	EXT. COVERED BREEZEWAY (PER FLOOR)	TOTAL AREA (PER FLOOR)
FIRST FLOOR	(3,472 SF)	(335 SF)	(3,807 SF)
SECOND FLOOR	(3,582 SF)	(335 SF)	(3,917 SF)
THIRD FLOOR	(3,582 SF)	(335 SF)	(3,917 SF)
TOTALS	10,636 SF	1,005 SF	11,641 SF

BUILDING TYPE 2

QUANTITY OF TYPE 2 BUILDINGS : 2			
# OF 1 BED, 1 BATH UNITS PER BLDG : 12 (602 SF / UNIT 1ST FL; 628 SF / UNIT 2ND & 3RD FL)			
# OF 3 BED, 1.5 BATH UNITS PER BLDG : 11 (1,134 SF / UNIT 1ST FL; 1,163 SF / UNIT 2ND & 3RD FL)			
# OF 3 BED, 1.5 BATH UNITS @ RISER RM : 1 (1,118 SF @ 1ST FLOOR FIRE SPRINKLER RISER ROOM)			
	TOTAL UNIT AREA (PER FLOOR)	EXT. COVERED BREEZEWAY (PER FLOOR)	TOTAL AREA (PER FLOOR)
FIRST FLOOR	(6,944 SF)	(670 SF)	(7,614 SF)
SECOND FLOOR	(7,164 SF)	(670 SF)	(7,834 SF)
THIRD FLOOR	(7,164 SF)	(670 SF)	(7,834 SF)
TOTALS	21,272 SF	2,010 SF	23,282 SF

BUILDING TYPE 3

QUANTITY OF TYPE 3 BUILDINGS : 3			
# OF 2 BED, 1 BATH UNITS PER BLDG : 6 (882 SF / UNIT 1ST FL; 911 SF / UNIT 2ND & 3RD FL)			
# OF 3 BED, 1.5 BATH UNITS PER BLDG : 5 (1,134 SF / UNIT 1ST FL; 1,163 SF / UNIT 2ND & 3RD FL)			
# OF 3 BED, 1.5 BATH UNITS @ RISER RM : 1 (1,118 SF @ 1ST FLOOR FIRE SPRINKLER RISER ROOM)			
	TOTAL UNIT AREA (PER FLOOR)	EXT. COVERED BREEZEWAY (PER FLOOR)	TOTAL AREA (PER FLOOR)
FIRST FLOOR	(4,032 SF)	(309 SF)	(4,341 SF)
SECOND FLOOR	(4,148 SF)	(309 SF)	(4,457 SF)
THIRD FLOOR	(4,148 SF)	(309 SF)	(4,457 SF)
TOTALS	12,328 SF	927 SF	13,255 SF

BUILDING AREA CALCS

SCALE: 1/2" = 1'-0"

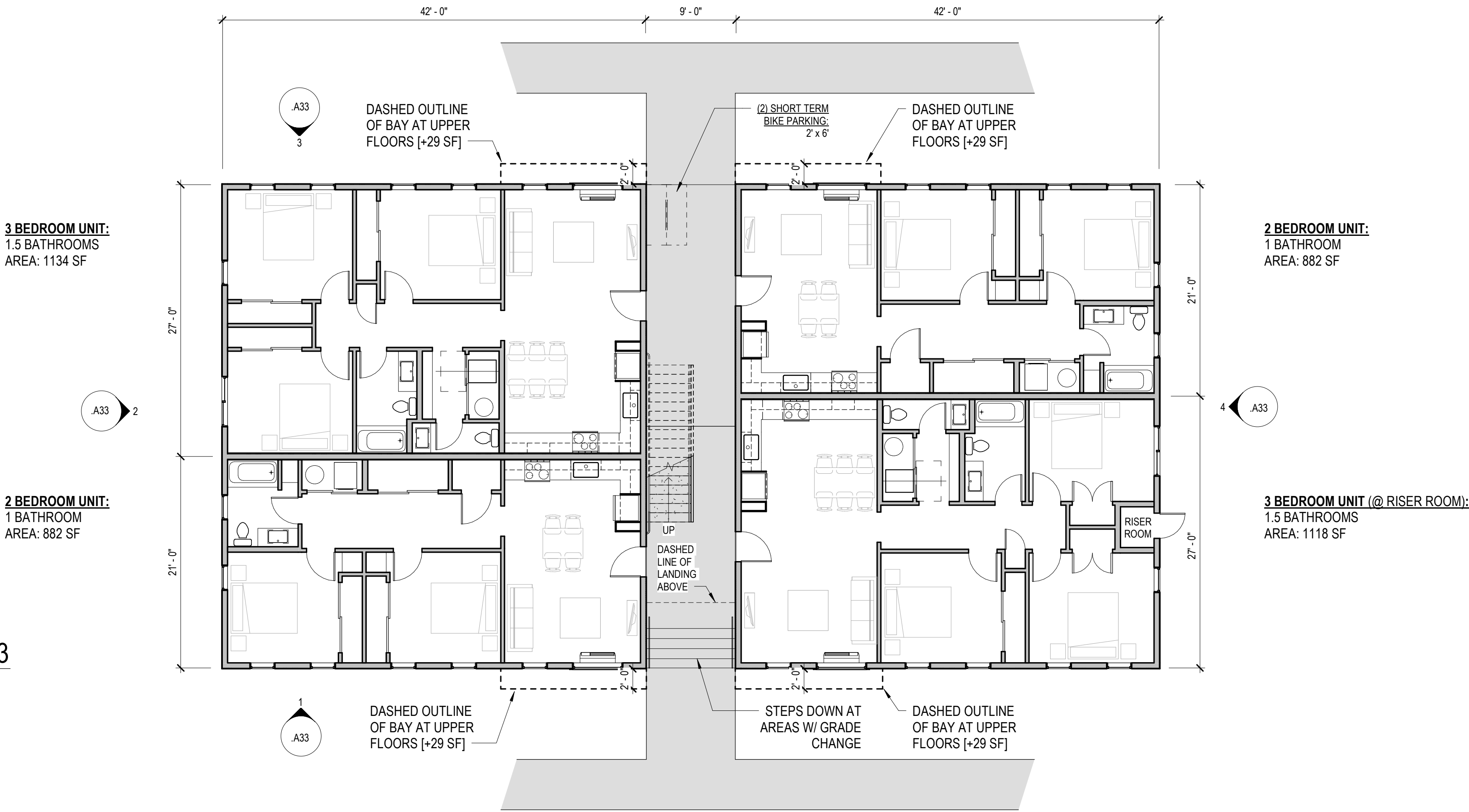
BUILDING TYPE 4

QUANTITY OF TYPE 4 BUILDINGS : 2			
# OF 2 BED, 1 BATH UNITS PER BLDG : 6 (882 SF / UNIT 1ST FL; 911 SF / UNIT 2ND & 3RD FL)			
# OF 3 BED, 1.5 BATH UNITS PER BLDG : 2 (1,134 SF / UNIT 1ST FL; 1,163 SF / UNIT 2ND & 3RD FL)			
# OF 3 BED, 1.5 BATH UNITS @ RISER RM : 1 (1,118 SF @ 1ST FLOOR FIRE SPRINKLER RISER ROOM)			
# OF 4 BED, 2 BATH UNITS PER BLDG : 3 (1,351 SF / UNIT 1ST FL; 1,380 SF / UNIT 2ND & 3RD FL)			
	TOTAL UNIT AREA (PER FLOOR)	EXT. COVERED BREEZEWAY (PER FLOOR)	TOTAL AREA (PER FLOOR)
FIRST FLOOR	(4,249 SF)	(309 SF)	(4,558 SF)
SECOND FLOOR	(4,365 SF)	(309 SF)	(4,674 SF)
THIRD FLOOR	(4,365 SF)	(309 SF)	(4,674 SF)
TOTALS	12,979 SF	927 SF	13,906 SF

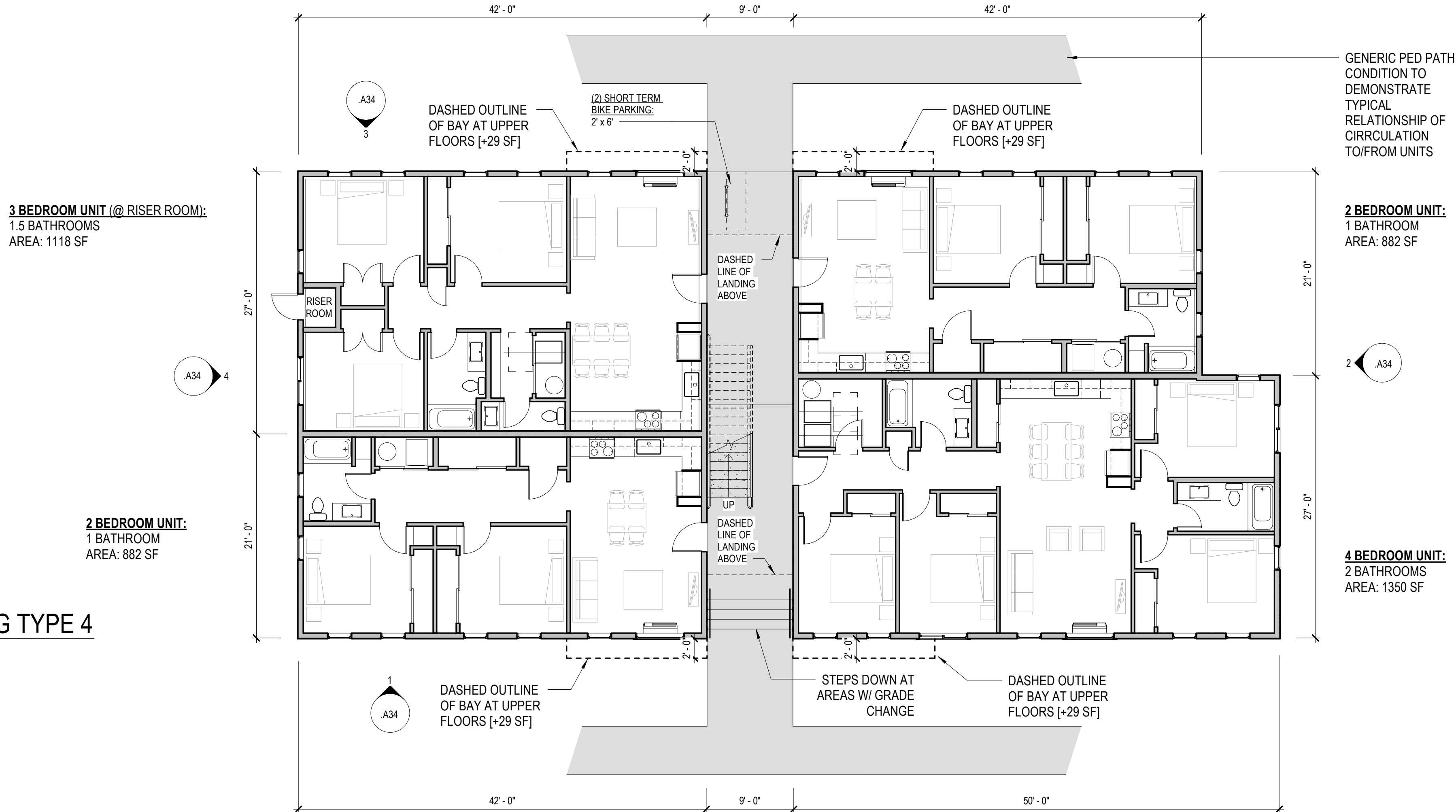
ACCESSORY STRUCTURES

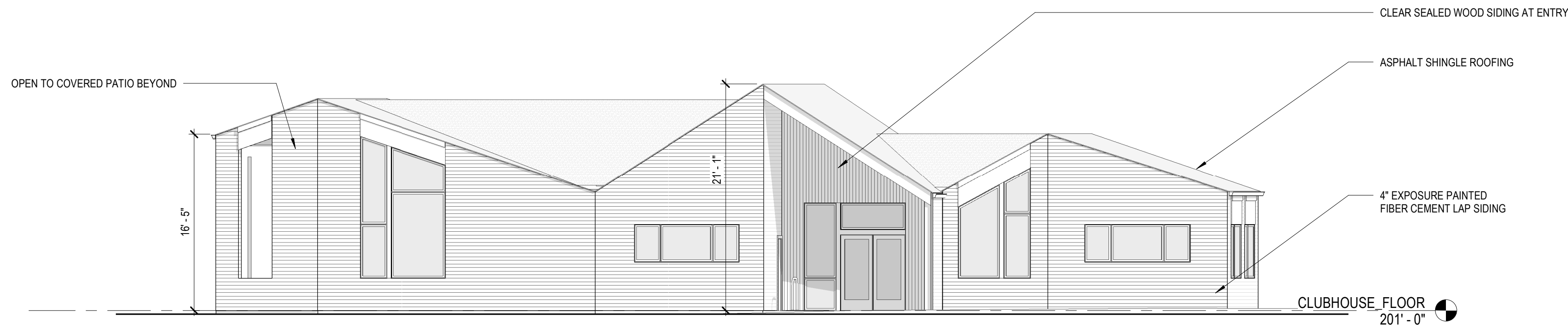
COMMUNITY BUILDING: 3,081 SF
BIKE PARKING STRUCTURES:
BIKE PARKING 1: 189 SF
BIKE PARKING 2: 189 SF
378 SF TOTAL
TRASH ENCLOSURES:
TRASH ENCL. 1: 324 SF
TRASH ENCL. 2: 194 SF
TRASH ENCL. 3: 330 SF
848 SF TOTAL
MAINTENANCE BUILDINGS:
MAINT. BLDG. 1: 426 SF
426 SF TOTAL
MAIL PAVILIONS:
MAIL PAVIL. 1: 334 SF
334 SF TOTAL

^{A23}
1 GROUND FLOOR - BUILDING TYPE 3
SCALE: 1/8" = 1'-0"

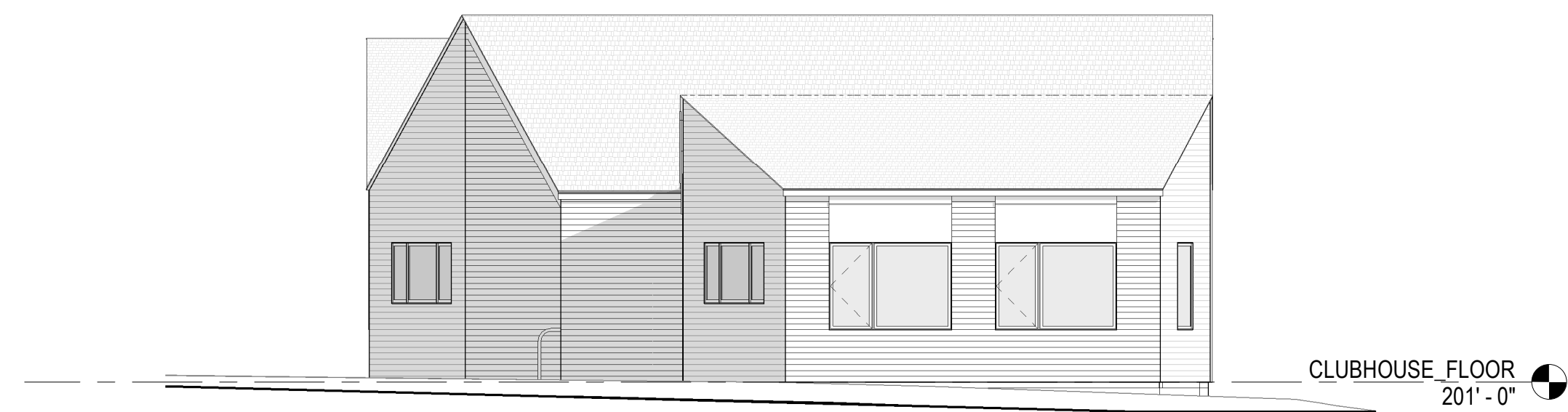


^{A23}
2 GROUND FLOOR - BUILDING TYPE 4
SCALE: 1/8" = 1'-0"





.A30
1 COMMUNITY BUILDING - FRONT
SCALE: 1/8" = 1'-0"



.A30
2 COMMUNITY BUILDING - SIDE NE
SCALE: 1/8" = 1'-0"



.A30
3 COMMUNITY BUILDING - REAR
SCALE: 1/8" = 1'-0"

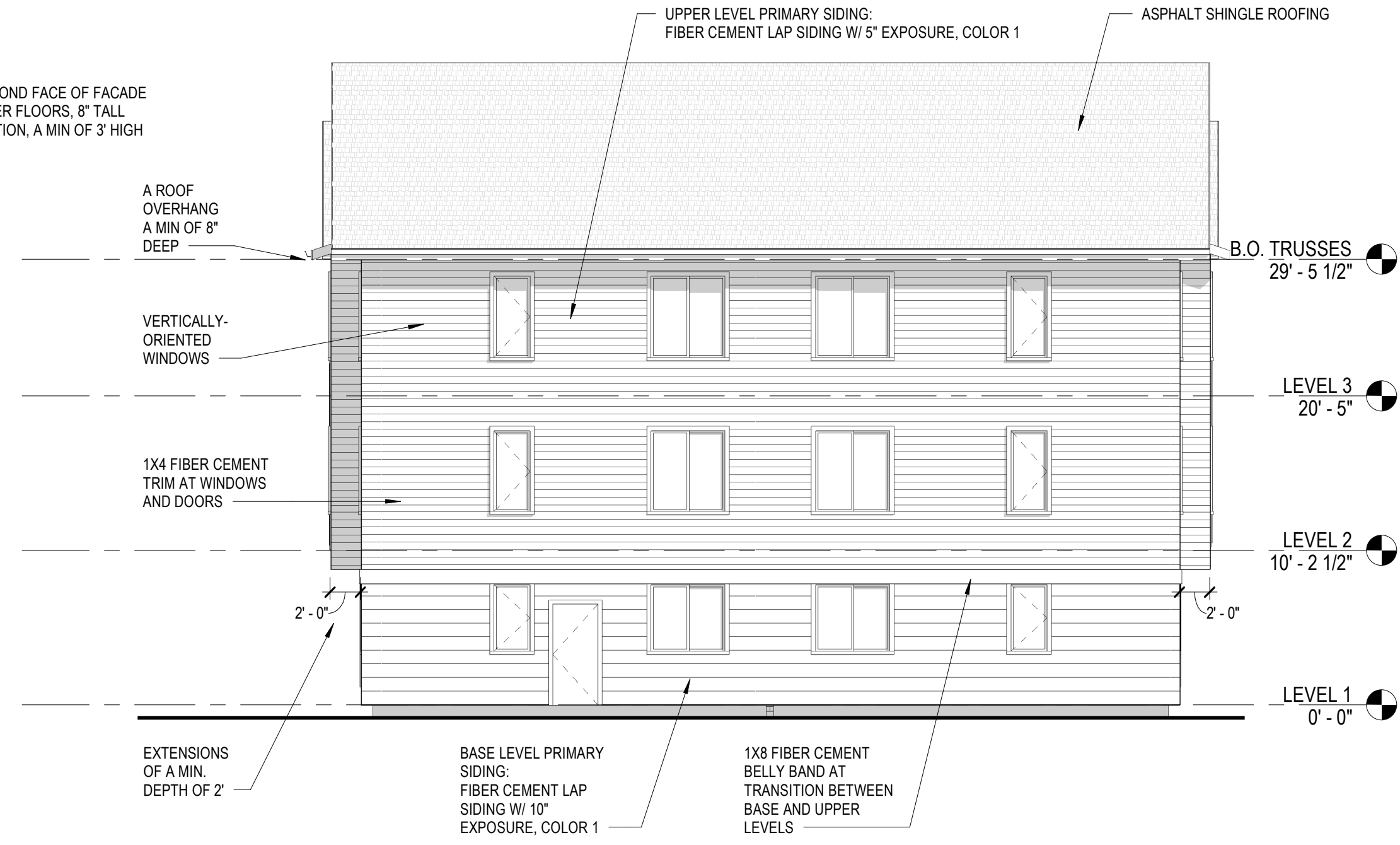


.A30
4 COMMUNITY BUILDING - SIDE SW
SCALE: 1/8" = 1'-0"

- BUILDING FACADE ARTICULATION**
(2) BLDGS SHALL INCORPORATE VERTICAL AND HORIZONTAL ARTICULATION AND SHALL DIVIDE VERTICAL MASS INTO A BASE, MIDDLE, AND TOP.
- A) BASE: GROUND FLOOR FACADES:
1. CHANGE IN MATERIALS
 2. CHANGE IN COLOR
 3. MOLDING OR OTHER HORIZONTALLY-ARTICULATED TRANSITION PIECE
- B) MIDDLE: INCORPORATED AT A MIN OF EVERY 50' AT LEAST ONE OF THE FOLLOWING
1. RECESSES OF A MIN DEPTH OF 2'
 2. EXTENSIONS OF A MIN DEPTH OF 2'
 3. VERTICALLY-ORIENTED WINDOWS
 4. PILASTERS
- C) TOP
1. CORNICE A MIN OF 8" TALL AND 3" BEYOND FACE OF FACADE
 2. CHANGE IN MATERIAL FROM THE UPPER FLOORS, 8" TALL
 3. OFFSETS OR BREAKS IN ROOF ELEVATION, A MIN OF 3' HIGH
 4. A ROOF OVERHANG A MIN OF 8" DEEP



A31
1 FRONT ELEVATION - TYPE 1
SCALE: 1/8" = 1'-0"



A31
2 SIDE ELEVATION - TYPE 1
SCALE: 1/8" = 1'-0"

- WEATHER PROTECTION** (APPLIES TO GROUND FLOORS ADJACENT TO STREET)
- MIN 75%
- 1) AWNINGS OR CANOPIES
 - 2) MIN CLEARANCE OF 8' ABOVE GROUND SURFACE. MAY ENCROACH INTO PUBLIC ROW.



A31
3 REAR ELEVATION - TYPE 1
SCALE: 1/8" = 1'-0"



A31
4 SIDE ELEVATION - TYPE 1
SCALE: 1/8" = 1'-0"

SALEM APARTMENTS

891 23RD ST. NE SALEM, OR

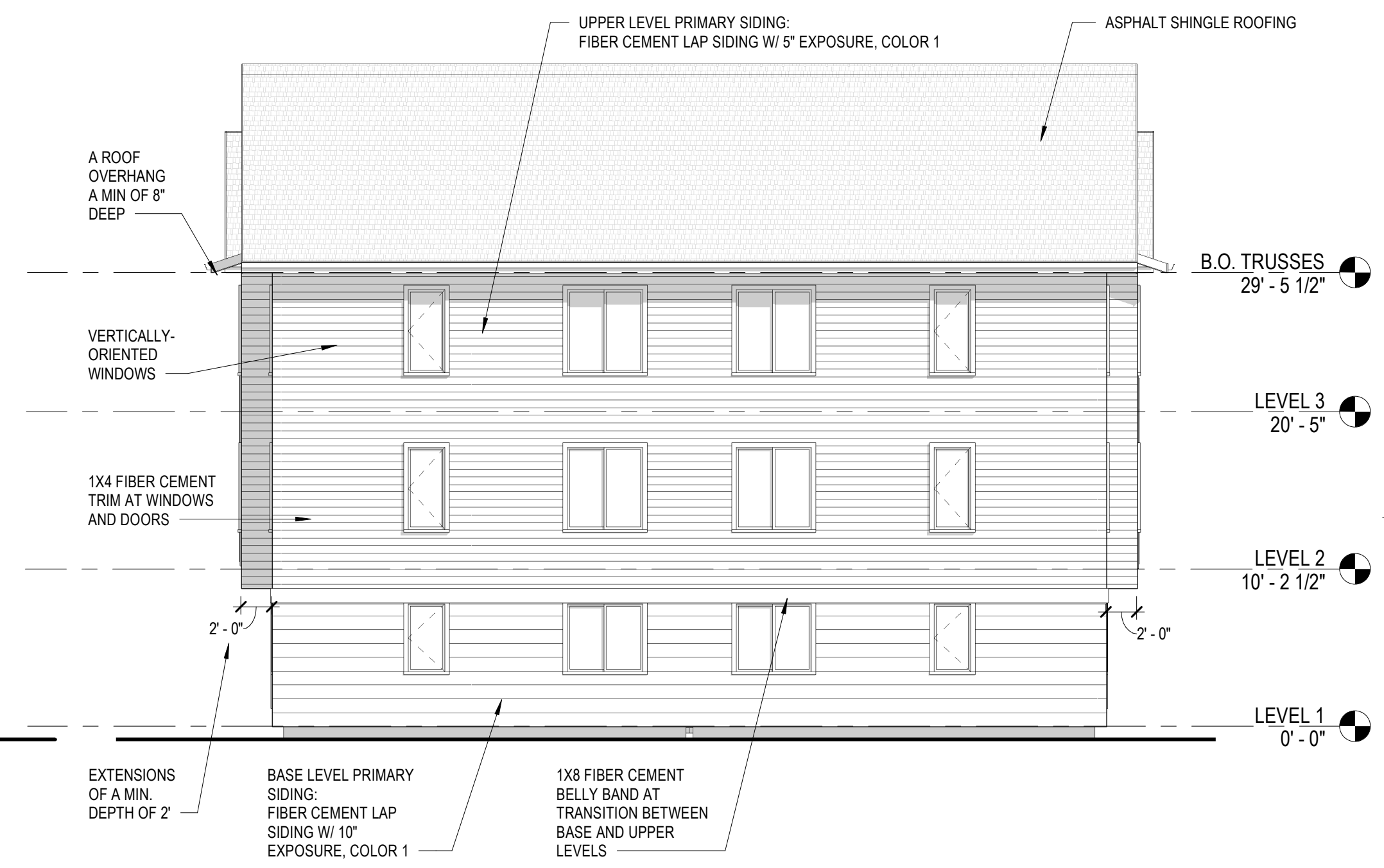
CLIENT :
HOME FIRST
DEVELOPMENT/
GREEN LIGHT
DEVELOPMENT

ELEVATIONS -
BLDG TYPE 2

.A32
ORIGINAL SHEET SIZE : 22"x34"



^{A32}
1 FRONT ELEVATION - TYPE 2
SCALE: 1/8" = 1'-0"



^{A32}
2 SIDE ELEVATION - TYPE 2
SCALE: 1/8" = 1'-0"

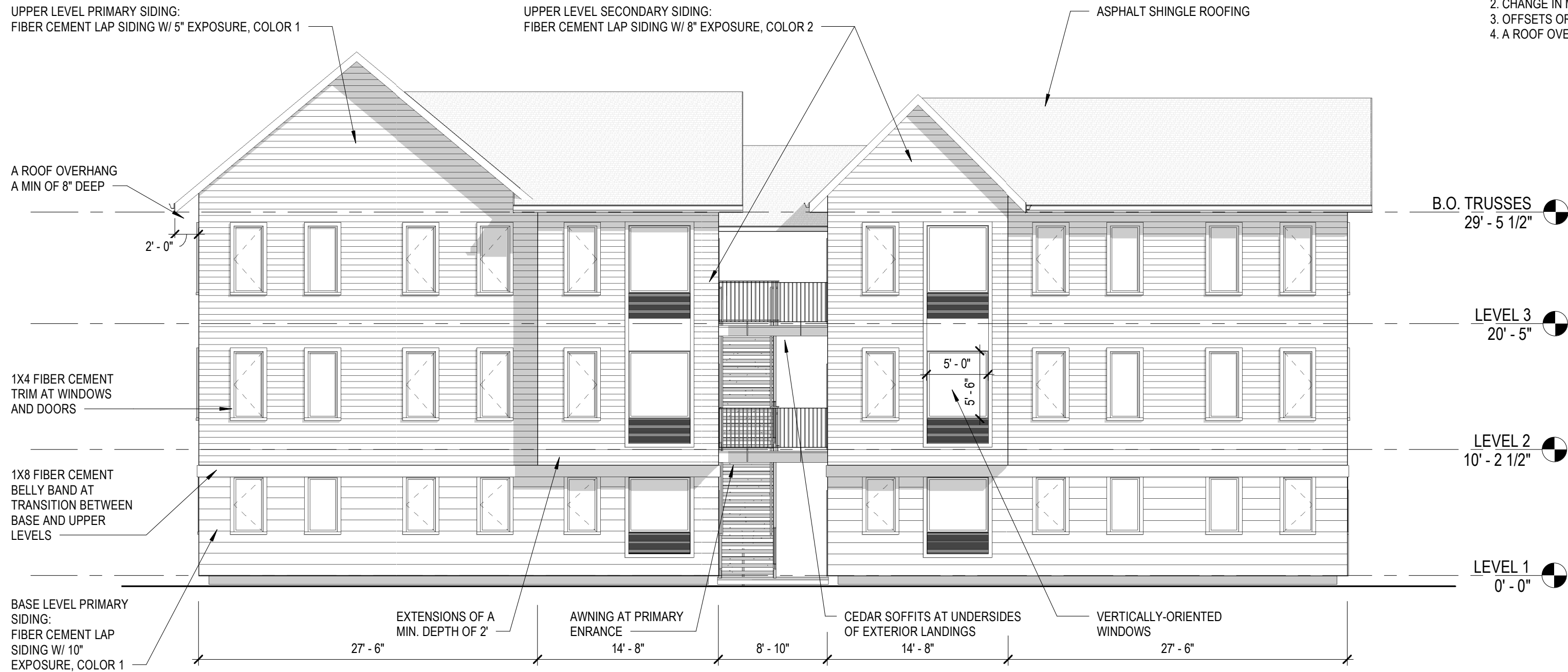


^{A32}
3 REAR ELEVATION - TYPE 2
SCALE: 1/8" = 1'-0"

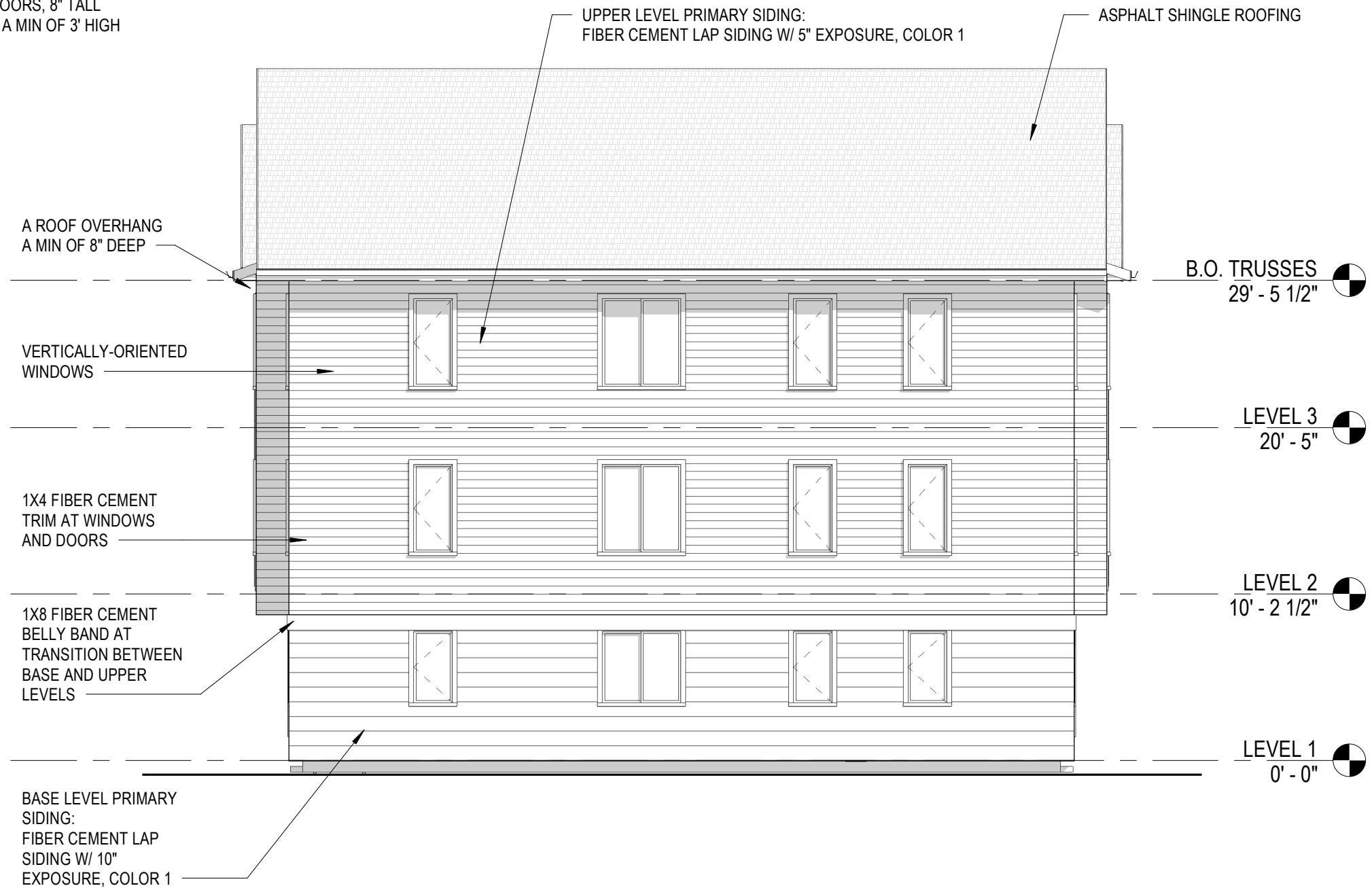


^{A32}
4 SIDE ELEVATION - TYPE 2
SCALE: 1/8" = 1'-0"

- BUILDING FACADE ARTICULATION**
(2) BLDGS SHALL INCORPORATE VERTICAL AND HORIZONTAL ARTICULATION AND SHALL DIVIDE VERTICAL MASS INTO A BASE, MIDDLE, AND TOP.
- A) BASE: GROUND FLOOR FACADES:
1. CHANGE IN MATERIALS
 2. CHANGE IN COLOR
 3. MOLDING OR OTHER HORIZONTALLY-ARTICULATED TRANSITION PIECE
- B) MIDDLE: INCORPORATED AT A MIN OF EVERY 50' AT LEAST ONE OF THE FOLLOWING
1. RECESSES OF A MIN DEPTH OF 2'
 2. EXTENSIONS OF A MIN DEPTH OF 2'
 3. VERTICALLY-ORIENTED WINDOWS
 4. PILASTERS
- C) TOP
1. CORNICE A MIN OF 8" TALL AND 3" BEYOND FACE OF FACADE
 2. CHANGE IN MATERIAL FROM THE UPPER FLOORS, 8" TALL
 3. OFFSETS OR BREAKS IN ROOF ELEVATION, A MIN OF 3" HIGH
 4. A ROOF OVERHANG A MIN OF 8" DEEP



.A33
1 FRONT ELEVATION - TYPE 3
SCALE: 1/8" = 1'-0"



.A33
2 SIDE ELEVATION - TYPE 3
SCALE: 1/8" = 1'-0"

- WEATHER PROTECTION** (APPLIES TO GROUND FLOORS ADJACENT TO STREET)
- MIN 75%
- 1) AWNINGS OR CANOPIES
 - 2) MIN CLEARANCE OF 8' ABOVE GROUND SURFACE. MAY ENCROACH INTO PUBLIC ROW.



.A33
3 REAR ELEVATION - TYPE 3
SCALE: 1/8" = 1'-0"

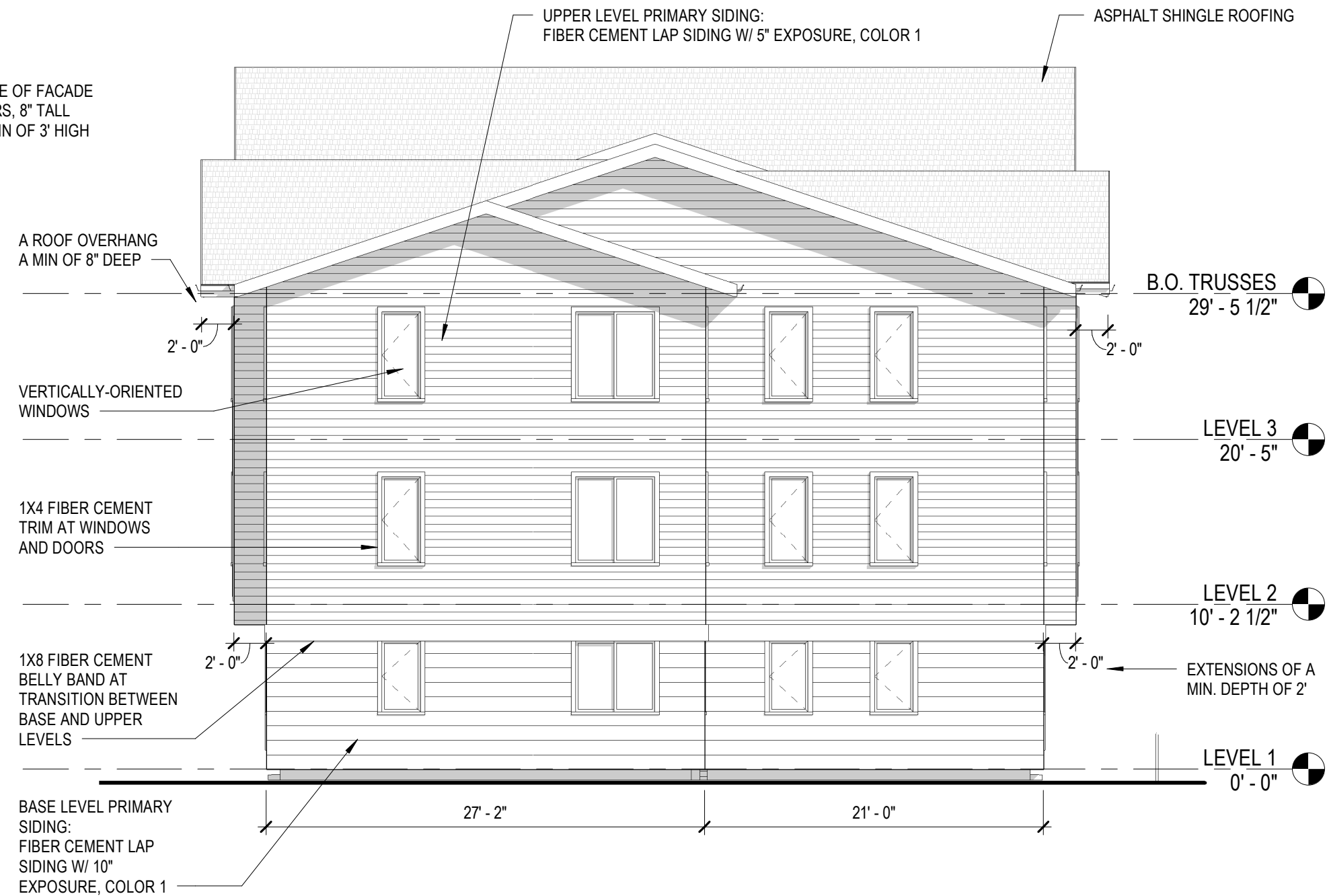


.A33
4 SIDE ELEVATION - TYPE 3
SCALE: 1/8" = 1'-0"



1 FRONT ELEVATION - TYPE 4
SCALE: 1/8" = 1'-0"

- BUILDING FACADE ARTICULATION**
(2) BLDGS SHALL INCORPORATE VERTICAL AND HORIZONTAL ARTICULATION AND SHALL DIVIDE VERTICAL MASS INTO A BASE, MIDDLE, AND TOP.
- A) BASE: GROUND FLOOR FACADES:
1. CHANGE IN MATERIALS
 2. CHANGE IN COLOR
 3. MOLDING OR OTHER HORIZONTALLY-ARTICULATED TRANSITION PIECE
- B) MIDDLE: INCORPORATED AT A MIN OF EVERY 50' AT LEAST ONE OF THE FOLLOWING
1. RECESSES OF A MIN DEPTH OF 2'
 2. EXTENSIONS OF A MIN DEPTH OF 2'
 3. VERTICALLY-ORIENTED WINDOWS
 4. PILASTERS
- C) TOP
1. CORNICE A MIN OF 8" TALL AND 3" BEYOND FACE OF FACADE
 2. CHANGE IN MATERIAL FROM THE UPPER FLOORS, 8" TALL
 3. OFFSETS OR BREAKS IN ROOF ELEVATION, A MIN OF 3" HIGH
 4. A ROOF OVERHANG A MIN OF 8" DEEP



2 SIDE ELEVATION - TYPE 4
SCALE: 1/8" = 1'-0"

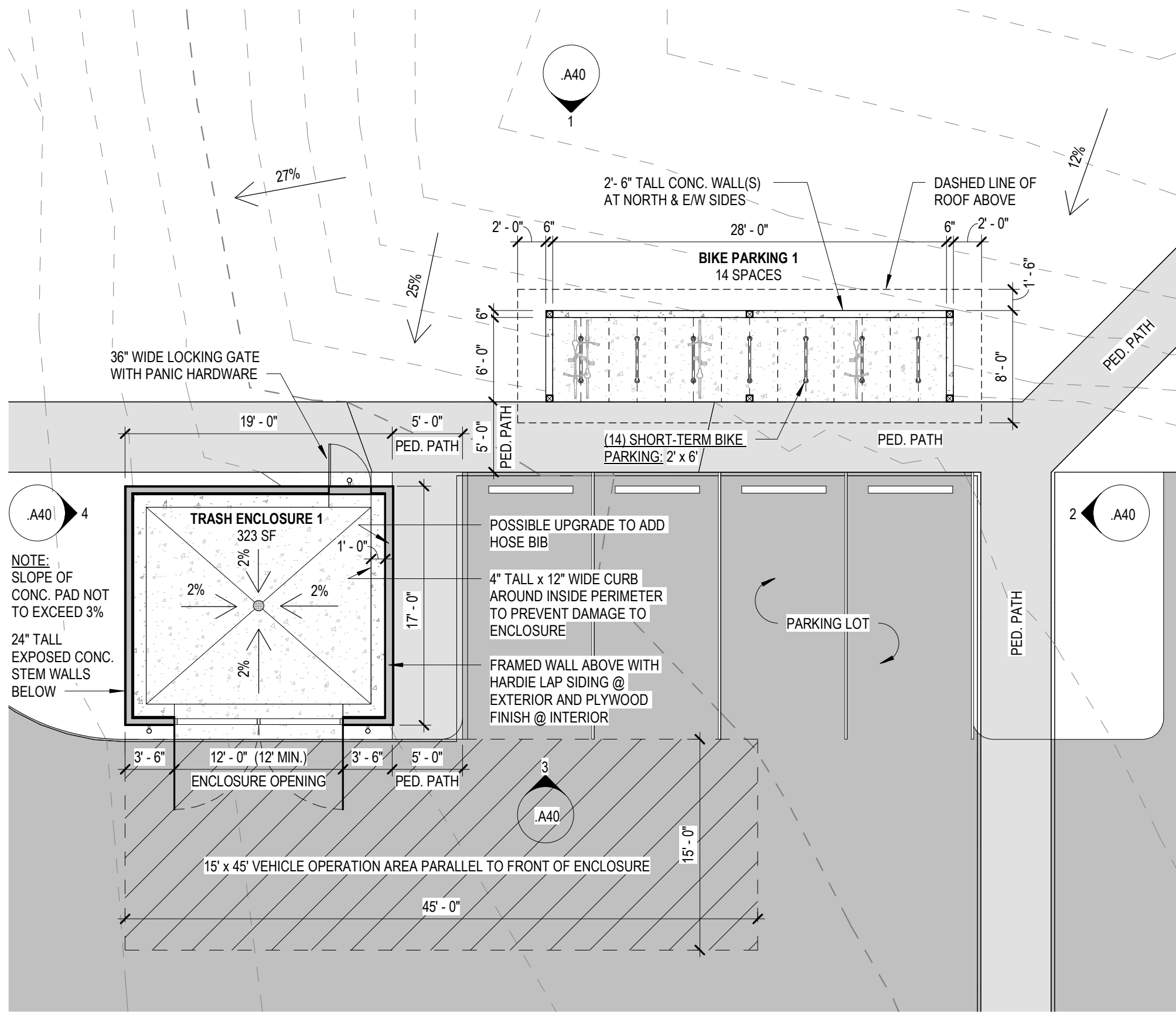
- WEATHER PROTECTION** (APPLIES TO GROUND FLOORS ADJACENT TO STREET)
- MIN 75%
- 1) AWNINGS OR CANOPIES
 - 2) MIN CLEARANCE OF 8' ABOVE GROUND SURFACE. MAY ENCROACH INTO PUBLIC ROW.



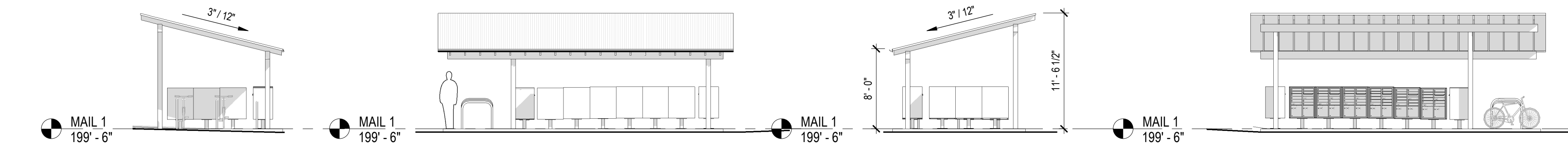
3 REAR ELEVATION - TYPE 4
SCALE: 1/8" = 1'-0"



4 SIDE ELEVATION - TYPE 4
SCALE: 1/8" = 1'-0"



5 BIKE PARKING 1 / TRASH ENCLOSURE 1 - PLAN
SCALE: 1/8" = 1'-0"

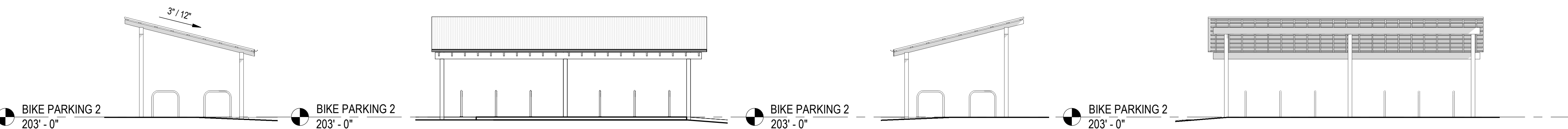


10 MAIL 1 - WEST
SCALE: 1/8" = 1'-0"

9 MAIL 1 - SOUTH
SCALE: 1/8" = 1'-0"

8 MAIL 1 - EAST
SCALE: 1/8" = 1'-0"

7 MAIL 1 - NORTH
SCALE: 1/8" = 1'-0"



15 BIKE PARKING 2 - SOUTH
SCALE: 1/8" = 1'-0"

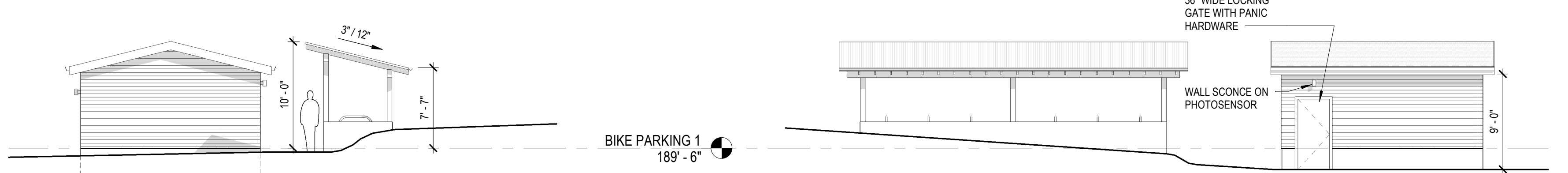
14 BIKE PARKING 2 - WEST
SCALE: 1/8" = 1'-0"

13 BIKE PARKING 2 - NORTH
SCALE: 1/8" = 1'-0"

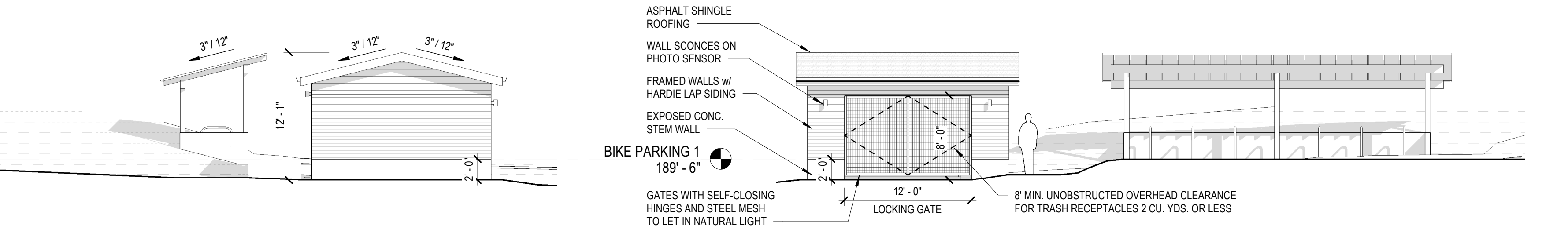
12 BIKE PARKING 2 - EAST
SCALE: 1/8" = 1'-0"

2 BIKE PARKING 1 / TRASH ENCLOSURE 1 - EAST
SCALE: 1/8" = 1'-0"

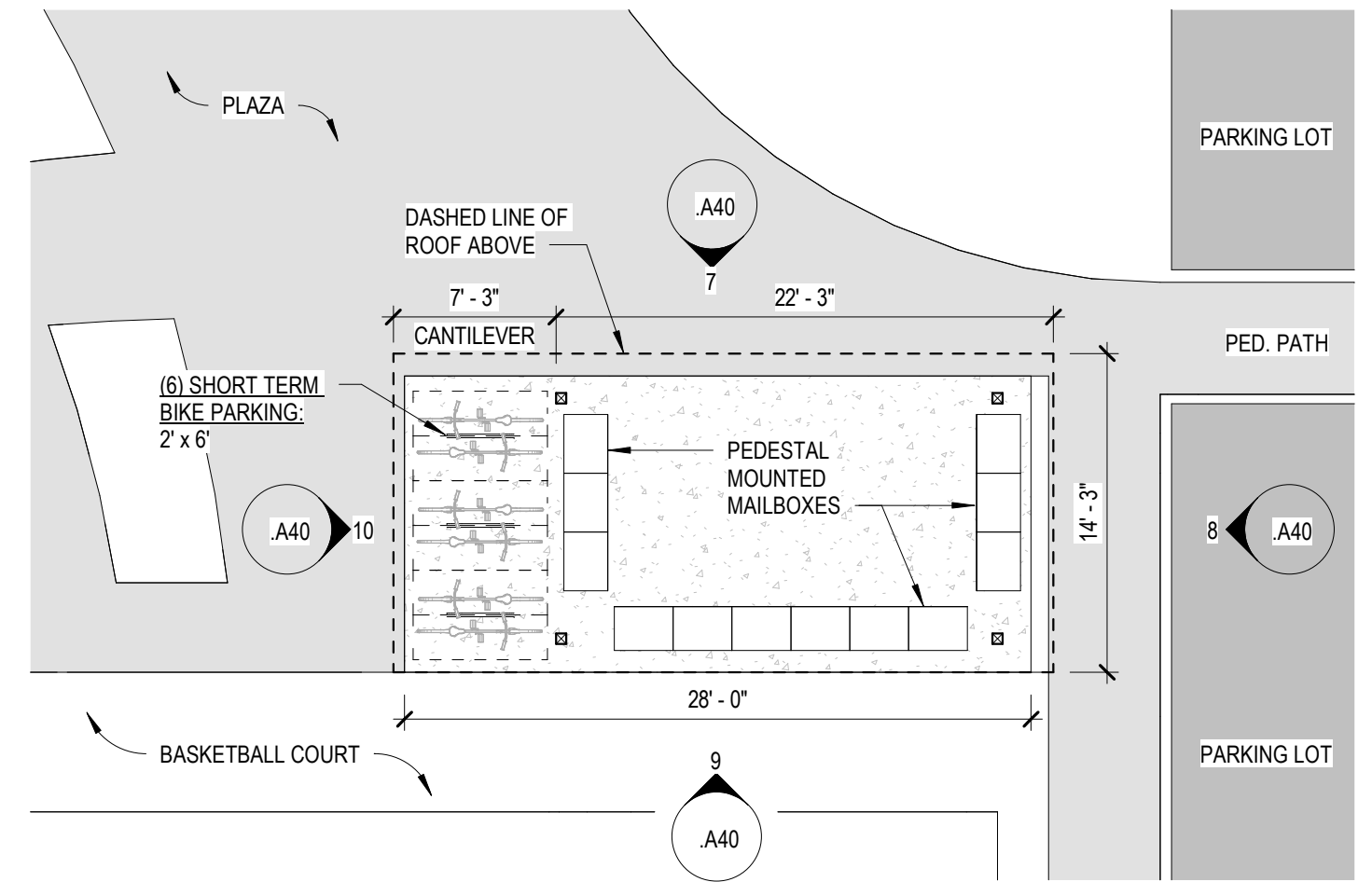
4 BIKE PARKING 1 / TRASH ENCLOSURE 1 - WEST
SCALE: 1/8" = 1'-0"



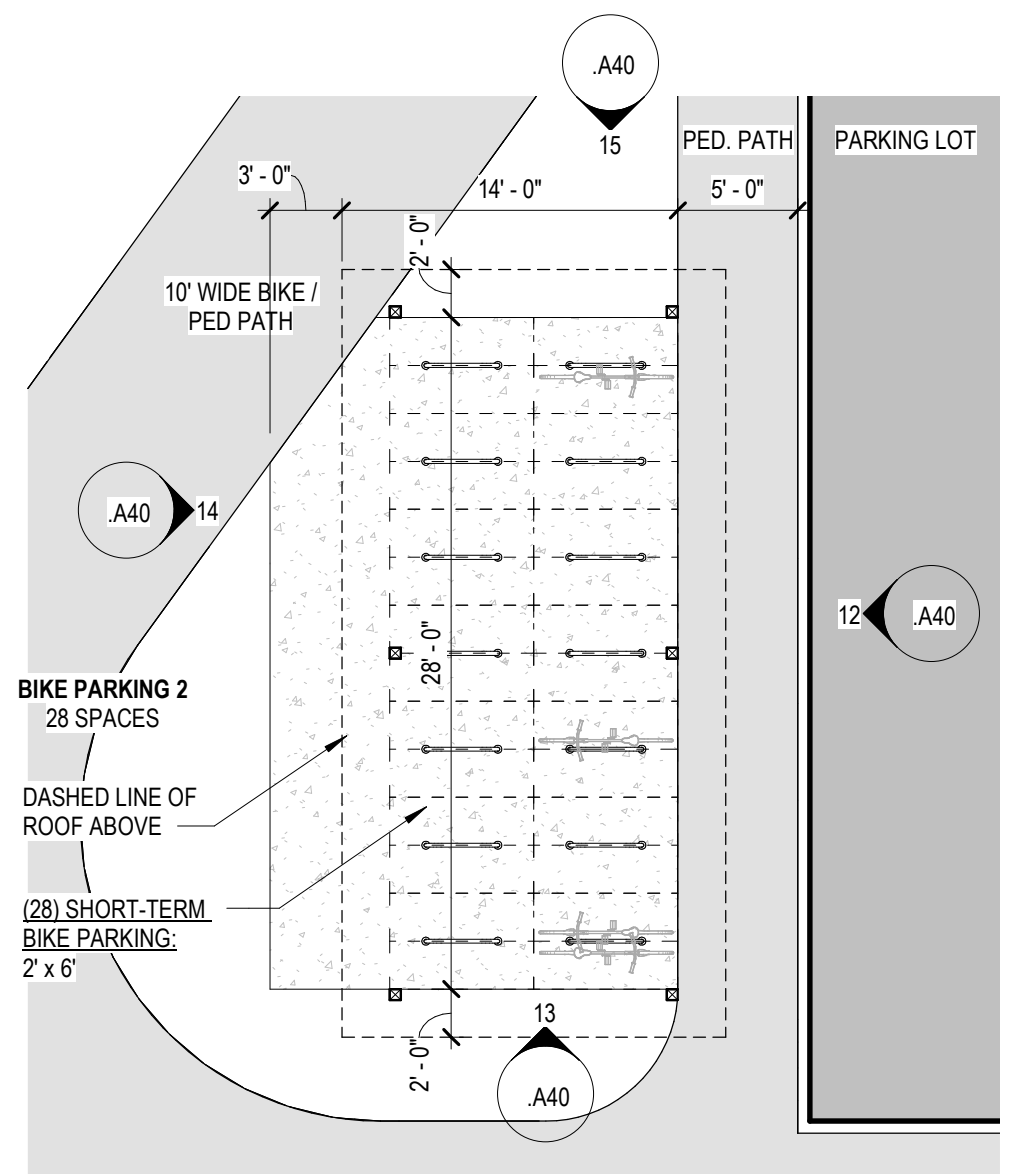
1 BIKE PARKING 1 / TRASH ENCLOSURE 1 - NORTH
SCALE: 1/8" = 1'-0"



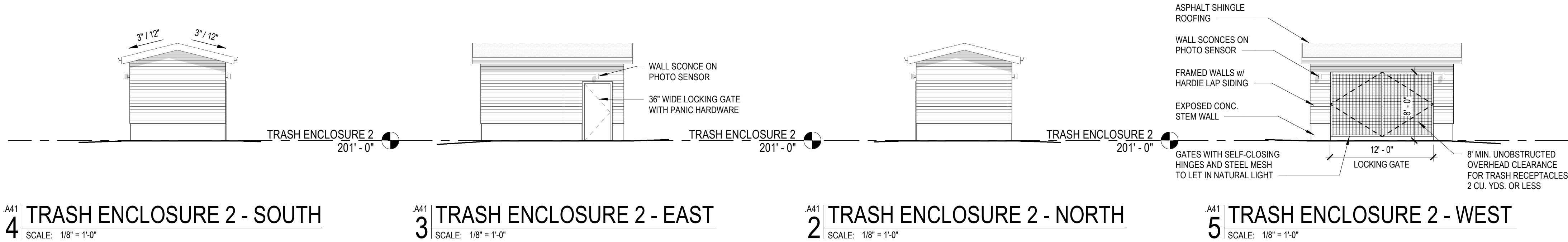
3 BIKE PARKING 1 / TRASH ENCLOSURE 1 - SOUTH
SCALE: 1/8" = 1'-0"



6 MAIL PAVILION 1 - PLAN
SCALE: 1/8" = 1'-0"



11 BIKE PARKING 2 - PLAN
SCALE: 1/8" = 1'-0"

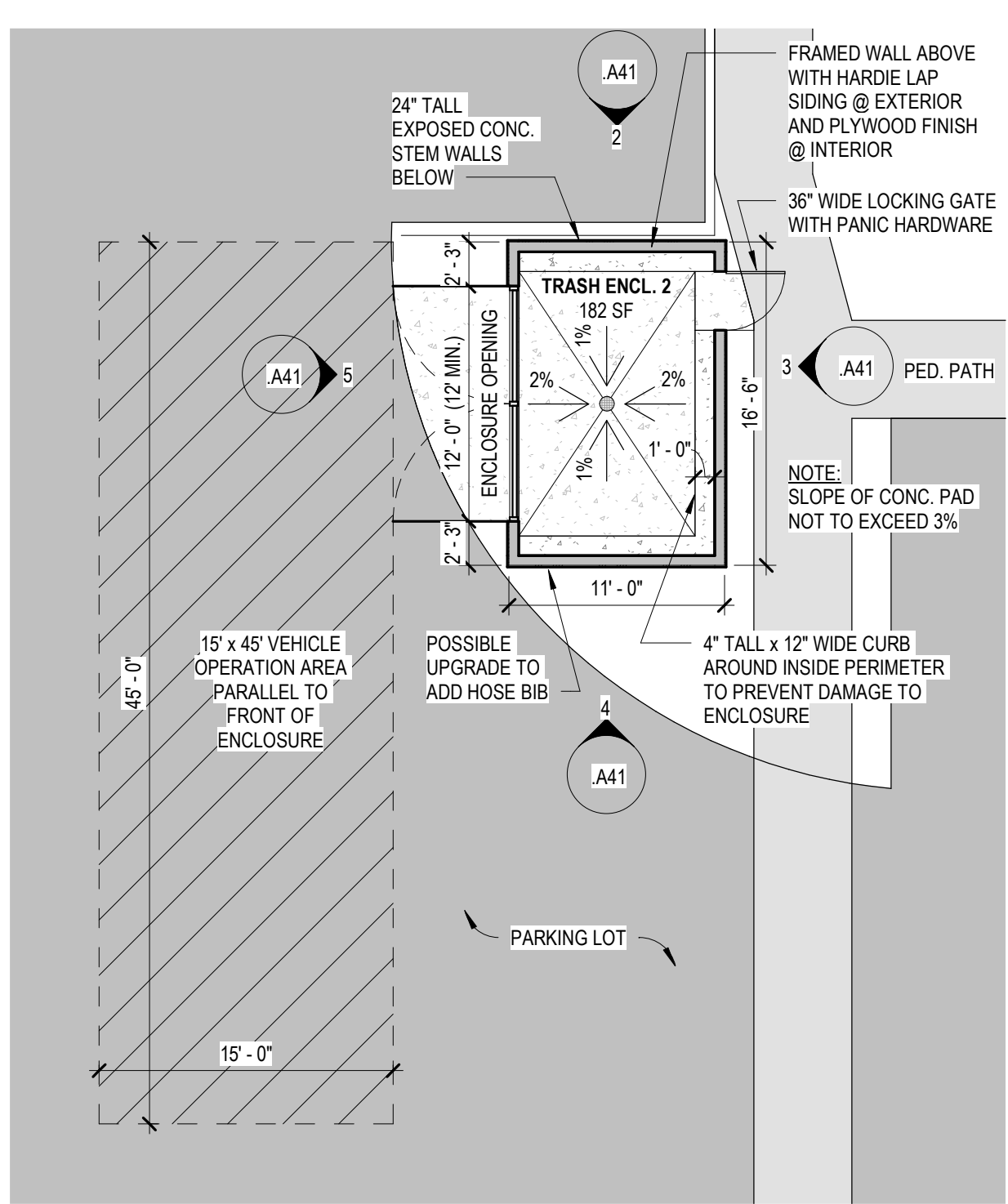


4 TRASH ENCLOSURE 2 - SOUTH
SCALE: 1/8" = 1'-0"

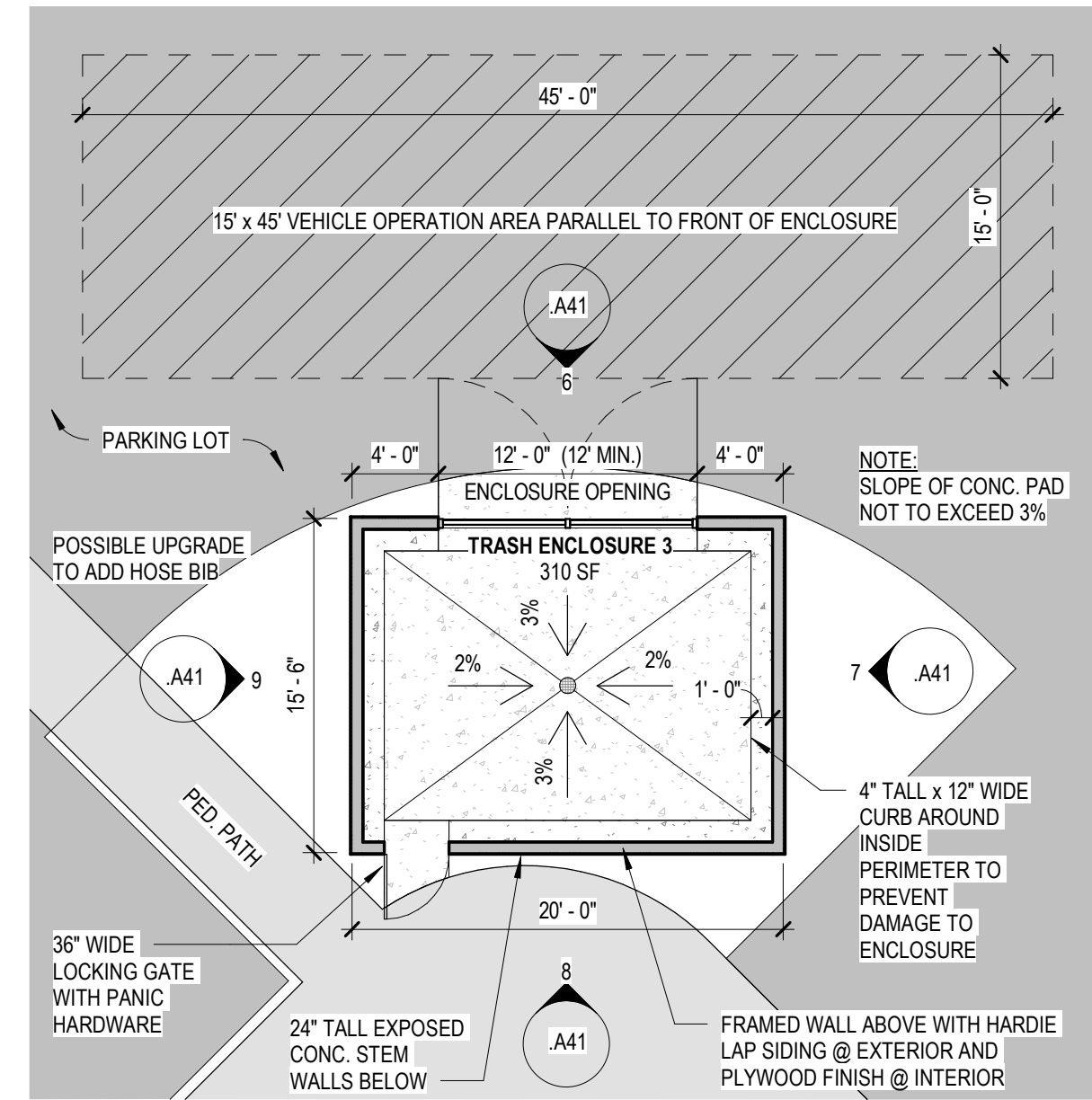
3 TRASH ENCLOSURE 2 - EAST
SCALE: 1/8" = 1'-0"

2 TRASH ENCLOSURE 2 - NORTH
SCALE: 1/8" = 1'-0"

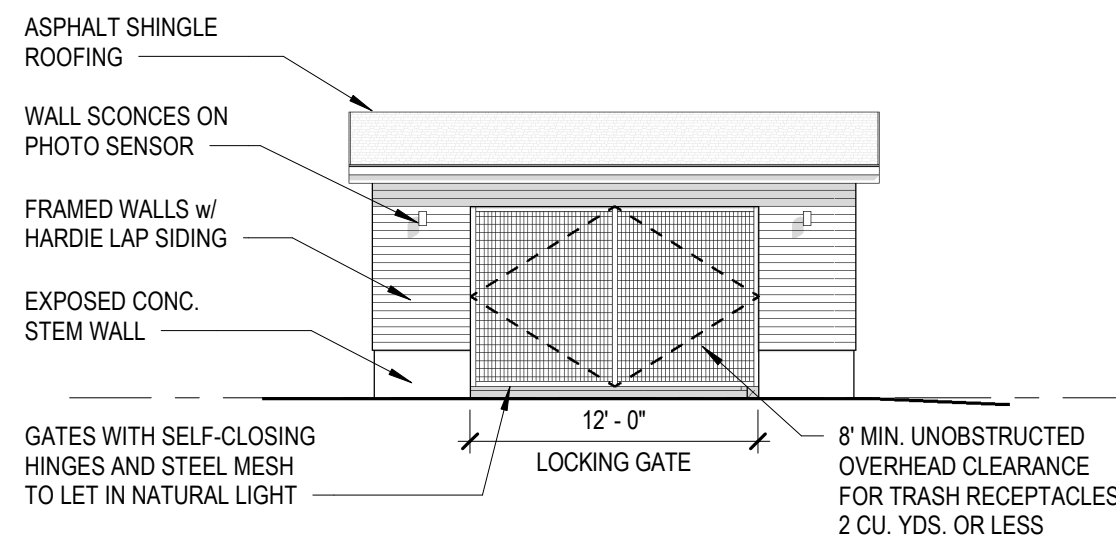
5 TRASH ENCLOSURE 2 - WEST
SCALE: 1/8" = 1'-0"



1 TRASH ENCLOSURE 2
SCALE: 1/8" = 1'-0"



10 TRASH ENCLOSURE 3
SCALE: 1/8" = 1'-0"

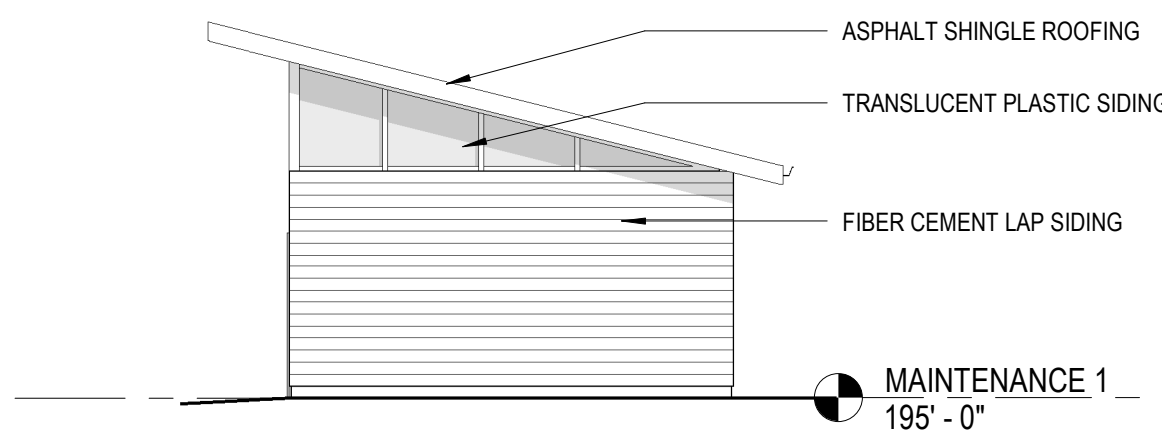


6 TRASH ENCLOSURE 3 - NORTH
SCALE: 1/8" = 1'-0"

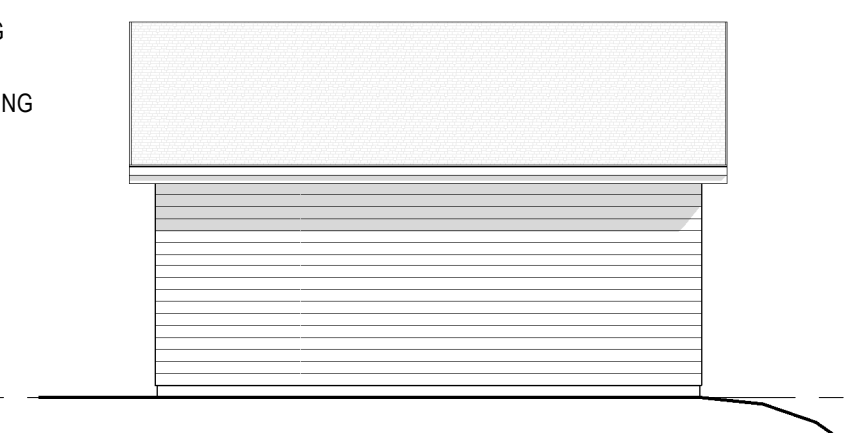
9 TRASH ENCLOSURE 3 - WEST
SCALE: 1/8" = 1'-0"

8 TRASH ENCLOSURE 3 - SOUTH
SCALE: 1/8" = 1'-0"

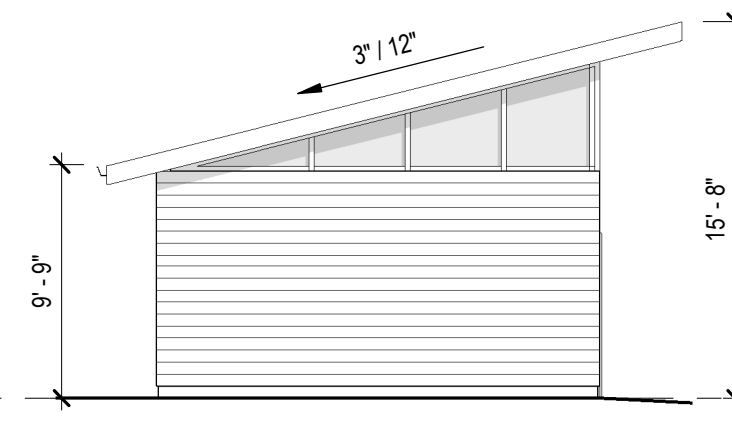
7 TRASH ENCLOSURE 3 - EAST
SCALE: 1/8" = 1'-0"



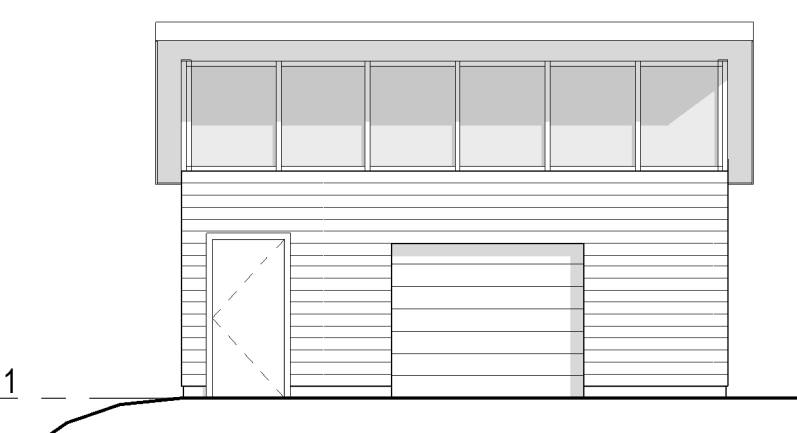
15 MAINTENANCE 1 - EAST
SCALE: 1/8" = 1'-0"



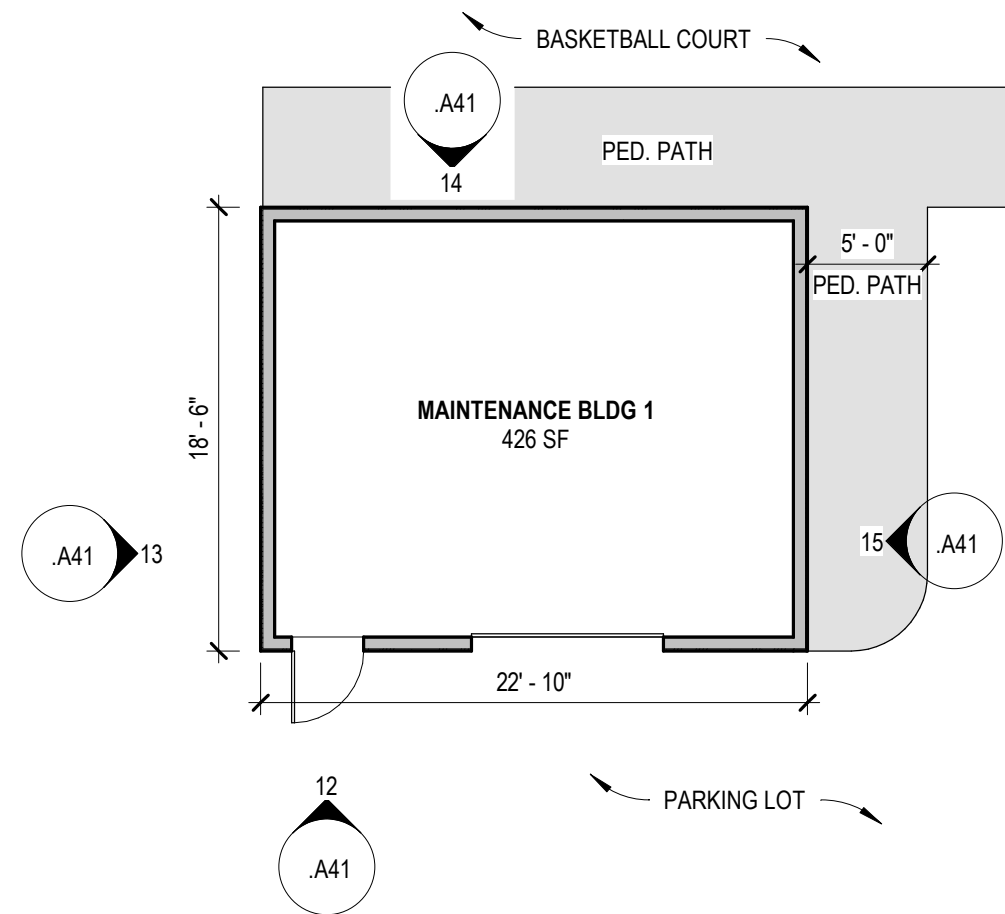
14 MAINTENANCE 1 - NORTH
SCALE: 1/8" = 1'-0"



13 MAINTENANCE 1 - WEST
SCALE: 1/8" = 1'-0"



12 MAINTENANCE 1 - SOUTH
SCALE: 1/8" = 1'-0"



11 MAINTENANCE 1 - PLAN
SCALE: 1/8" = 1'-0"