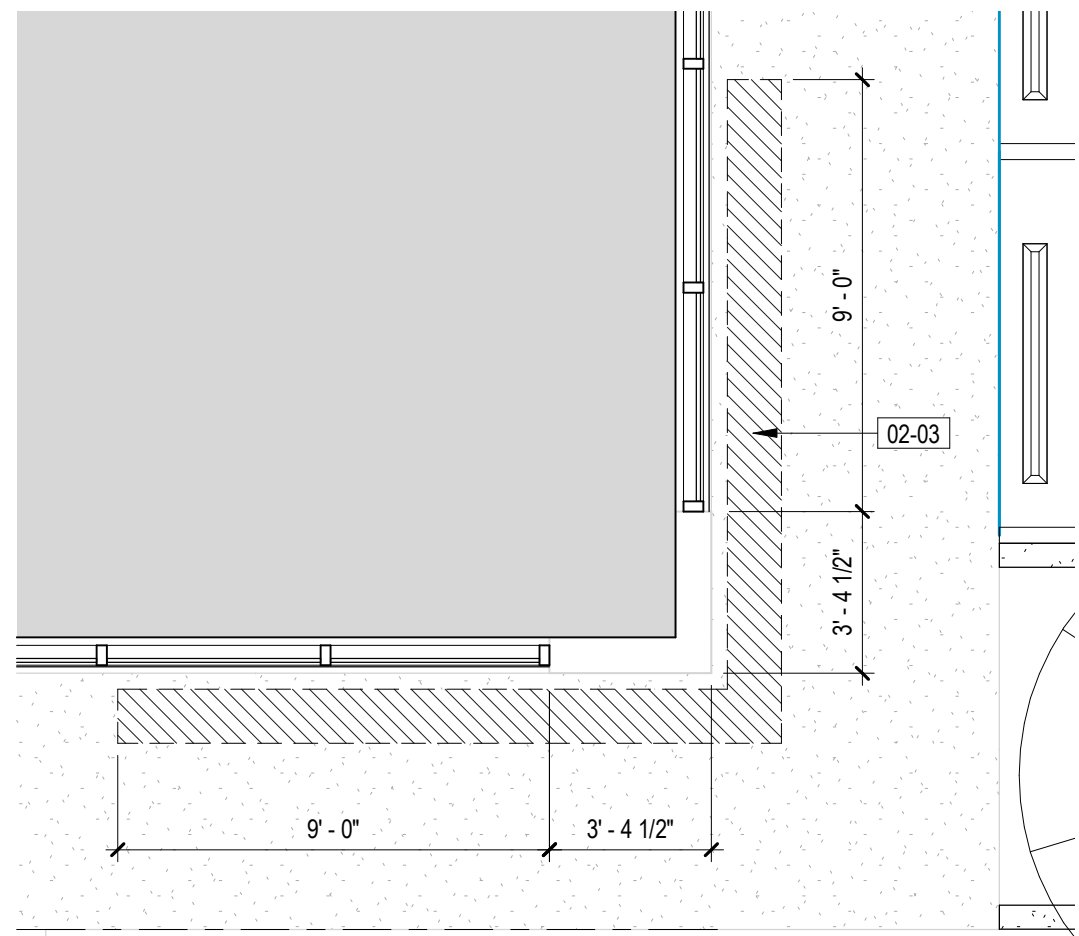
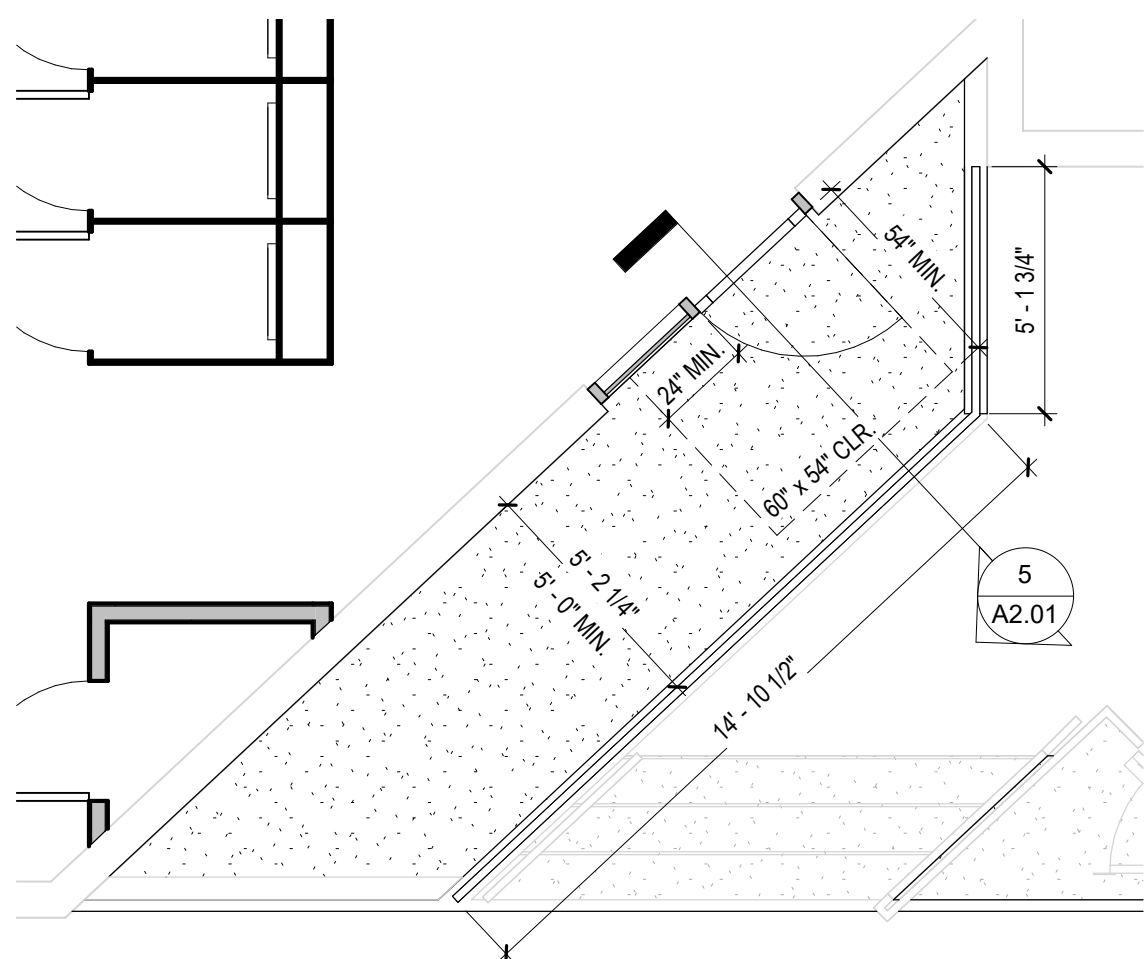


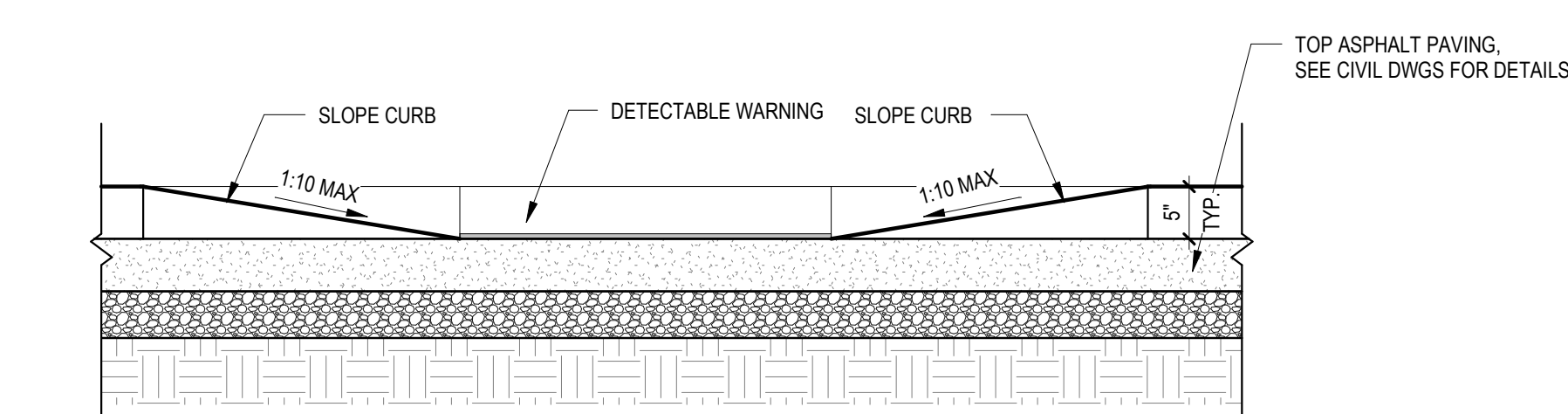
4 SITE - ENLARGED PAVING PLAN
1/4" = 1'-0" Ref. From /



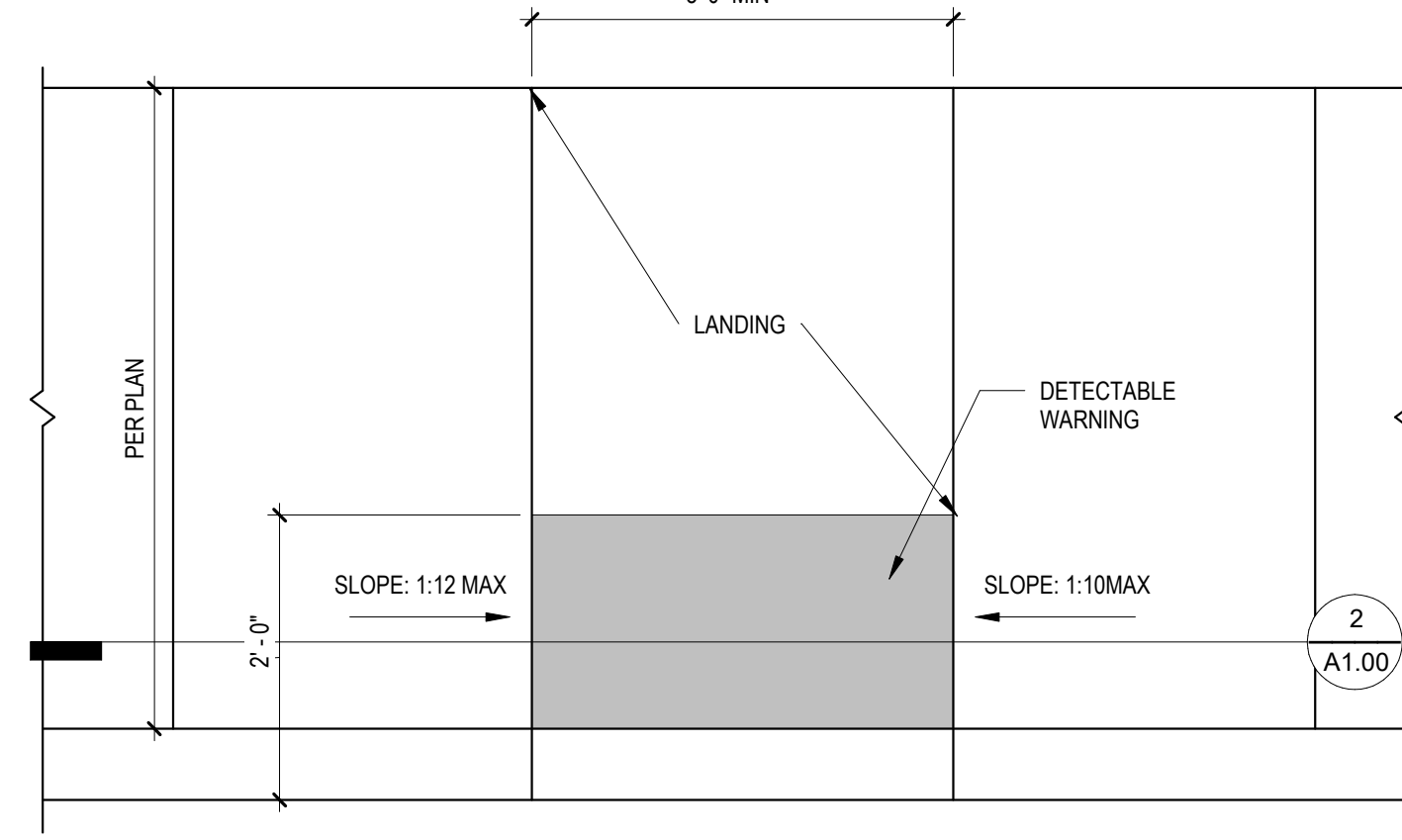
5 NEW FOOTING LOCATION @ SOUTHEAST LOCATION
1/4" = 1'-0" Ref. From 1/A1.00



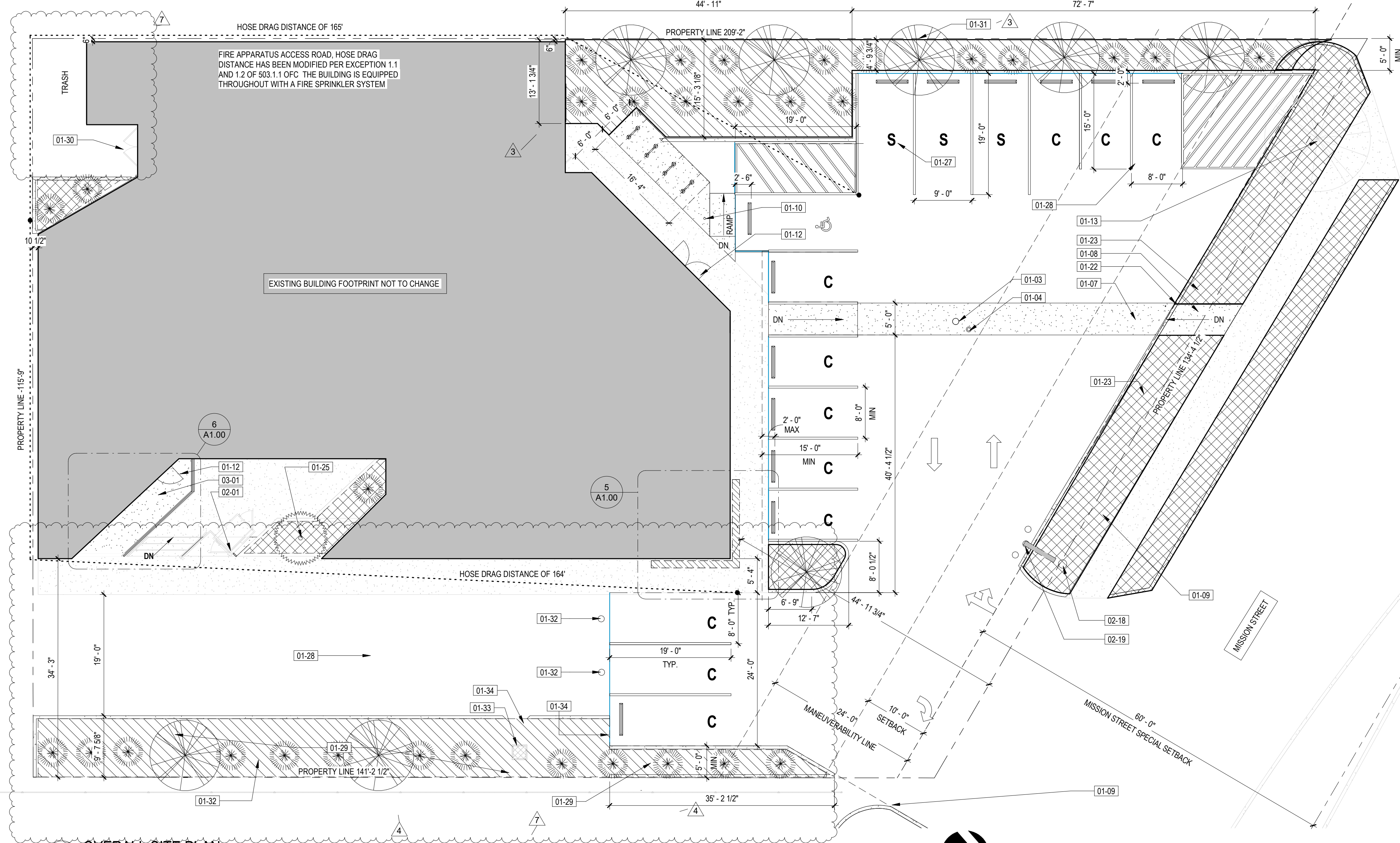
6 FLOOR PLAN
1/4" = 1'-0" Ref. From 1/A1.00



2 RAMP DETAIL
3/4" = 1'-0" Ref. From 3/A1.00



3 RAMP PLAN DETAIL
3/4" = 1'-0" Ref. From /



1 OVERALL SITE PLAN
1" = 10'-0" Ref. From 3/A2.00

DEVELOPED SITE CONDITIONS- SUMMARY TABLE

SITE	PARKING REQUIRED
TAXLOT: 073WSAA0930 (OWNED PROPERTY) ZONE - INDUSTRIAL COMMERCIAL FLOOD RISK: ZONE AE FULLY IN 100 YEAR PLAIN LANDSLIDE HAZARD: LOW ALL ADJACENT PROPERTIES - IC SITE TOTAL SIZE 20,962 SQFT 15.6% LANDSCAPED 84.4% PAVED NO CHANGE TO EXISTING UTILITIES CONNECTIONS	RETAIL SALES 1 PER 250 SF OCCUPIED BUILDING SQFT: 5,640 / 23 PARKING SPACES REQUIRED MANUFACTURING SPACE, 3,610 SQFT / 2.25 REQUIRED 25 PARKING SPACES REQUIRED. 75% OR 15 MAY BE COMPACT SPACES 15 TOTAL PARKING SPACES PROVIDED 3 STANDARD PARKING SPACES PROVIDED 1 ADA PARKING SPACE 11 COMPACT SPOTS PROVIDED OR 74%
BUILDING	
USE: RETAIL: 5,989 MANUFACTURING: 3,184 SQFT BUILDING TOTAL 9,173 SQFT BUILDING HEIGHT 23'-9"	NOTE: ALL EXISTING COMPACT PARKING SPOTS ARE TO BE CLEARLY MARKED IN ACCORDANCE WITH CITY STANDARDS S - STANDARD PARKING AT 90 DEGREE ANGLE 19'-0" LONG BY 9'-0" WIDE C - COMPACT PARKING AT 90 DEGREE ANGLE 15'-0" LONG BY 8'-0" WIDE C60 - COMPACT PARKING AT 60 DEGREE ANGLE 17'-0" LONG BY 8'-0" WIDE
SITE LANDSCAPING LEGEND	
EXISTING SITE 20,298 SF LANDSCAPING 3,227 SF (15.9%) TOTAL 1,105 SF @ MISSION STREET 1,060 SF @ WEST SIDE OF LOT 112 SF @ PATIO 950 SF @ PARKING 157 Pu REQUIRED 1 Mature tree (E) to remain 8 Shade Trees 1 Evergreen 34 Medium shrubs 1212 sq ft of ground cover Total PU 158	PROPOSE PU'S 15 80 5 34 24 158
NOTE: SEE LANDSCAPING PLAN FOR UPDATED PLANTING AND IRRIGATION INFORMATION	

KEYNOTE LEGEND	
#	Keynote Description
01-03	CUT AND GAP EXISTING PLUMBING, REPAIR AND PATCH PAVING AS REQUIRED
01-04	REMOVE EXISTING BOLLARDS. PATCH PAVEMENT AS REQUIRED
01-07	PEDESTRIAN PATH TO BE PAVED IN STAINED CONCRETE
01-08	SIDEWALK CONNECTION TO BUILDING PROVIDE RAP FORM SIDEWALK LEVEL TO PARKING PAVING LEVEL
01-09	AREA OF VISION CLEARANCE MAINTAINED
01-10	PROVIDE ADA PARKING SIGNAGE ON POST
01-12	NEW BUILDING ENTRANCE / EXIT
01-13	(E) TREE
01-22	MISSION STREET 60'-0" SETBACK LINE
01-23	AREA OF GROUND COVER
01-25	EVERGREEN TREE
01-27	PARKING SPACE THAT MAY BE USED FOR LOADING
01-28	NO PARKING AREA
01-29	MINIMUM 750 SQ FT OF GROUND COVER
01-30	EXISTING ENTRANCE TO BE DECOMMISSIONED. ALL EXIT SIGNS AND LIGHTS ARE TO BE REMOVED. NEW EXIT LIGHTS AND DIRECTION SIGNS ARE TO BE PLACED TO DIRECT OCCUPANTS TO THE NEW EAST ENTRANCE / EXIT
01-31	AREA OF ASPHALT AND COMPACT FILL TO BE REMOVED. REPLACE WITH FERTILE SOIL AND PREP AREA FOR PLANTING
01-32	NEW REMOVEABLE BOLLARD WITH PARKING SIGN ATTACHED
01-33	(E) CATCH BASIN
01-34	GAP IN SEGMENTAL WALL TEGULA FOR DRAINAGE TO CATCH BASIN
02-01	(E) ADA LIFT
02-03	SAW CUT (E) SIDEWALK FOR (N) REQUIRED FOOTING. SEE STRUCTURAL DRAWINGS FOR DETAILS.
02-18	(E) POWER POLE TO REMAIN
02-19	(E) SIGN AND BOLLARDS TO REMAIN
03-01	NEW SIDEWALK TO CONNECT W/ EXISTING