

NOTICE OF DECISION

PLANNING DIVISION
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*Si necesita ayuda para comprender esta información, por favor llame
503-588-6173*

DECISION OF THE PLANNING ADMINISTRATOR

TREE REMOVAL PERMIT CASE NO.: TRP24-11

APPLICATION NO.: 24-106412-PLN

NOTICE OF DECISION DATE: March 28, 2024

REQUEST: A request to remove one dead riparian tree on the basis that it presents a hazard to people and property. The subject property is located at 3723 Industrial Drive SE, Suite 190 (Marion County Assessor's Map and Tax Lot number 083W0200 / 1100).

APPLICANT: Oregon Woodsmen, on behalf of State Investments, LLC

LOCATION: 3723 Fairview Industrial Drive SE, Salem OR 97302

CRITERIA: Salem Revised Code (SRC) Chapter 808.030(d)(1).

FINDINGS: The findings are in the attached Decision dated March 28, 2024.

DECISION: The **Planning Administrator APPROVED** TRP24-11 based upon the application materials submitted and the findings as presented in this decision.

Approval of a Tree Removal permit application does not expire.

This decision is final; there is no local appeal process. Any person with standing may appeal this decision by filing a "Notice of Intent to Appeal" with the Land Use Board of Appeals, 775 Summer St NE, Suite 330, Salem OR 97301-1283, not later than 21 days after the decision date. Anyone with questions regarding filing an appeal with the Oregon Land Use Board of Appeals should contact an attorney.

All application materials are available on the City's online Permit Application Center at <https://permits.cityofsalem.net>. You may use the search function without registering and enter the permit number listed here: 24 106412

Case Manager: Abigail Pedersen, Planner I, apedersen@cityofsalem.net, 503-540-2309

<http://www.cityofsalem.net/planning>

BEFORE THE PLANNING ADMINISTRATOR OF THE CITY OF SALEM

DECISION

| | |
|--------------------------------|--------------------|
| IN THE MATTER OF APPROVAL OF |) FINDINGS & ORDER |
| TREE REMOVAL PERMIT |) |
| CASE NO. TRP24-11; |) |
| 3723 FAIRVIEW INDUSTRIAL DR SE |) March 28, 2024 |

In the matter of the application for a Tree Removal Permit, the Planning Administrator, having received and reviewed the evidence and the application materials, makes the following findings, and adopts the following order as set forth herein.

REQUEST

A request to remove one dead riparian tree on the basis that it presents a hazard to people and property. The subject property is located at 3723 industrial Drive SE Suite 190 (Marion County Assessor's Map and Tax Lot number 083W0200 / 1100). A vicinity map identifying the subject property is included as **Attachment A**.

PROCEDURAL FINDINGS

1. On March 15, 2024, an application for a Tree Removal Permit was submitted for property located at 3723 Fairview Industrial Drive SE.
2. The application was deemed complete on March 25, 2024.

SUBSTANTIVE FINDINGS

1. Proposal

The tree removal permit submitted by the applicant requests removal of one dead riparian tree at 3723 Fairview Industrial Drive SE (**Attachment A**).

2. Applicability

SRC 808.020 Trees and native vegetation in riparian corridors

No person shall remove a tree in a riparian corridor or native vegetation in a riparian corridor, unless the removal is undertaken pursuant to a tree and vegetation removal permit issued under SRC 808.030, undertaken pursuant to a tree conservation plan approved under SRC 808.035, or undertaken pursuant to a tree variance granted under SRC 808.045. Roots, trunks, and branches of trees removed in riparian corridors shall remain within the riparian corridor, unless determined to be a potential hazard or impediment to stream flow by the Director.

3. Analysis of Tree Removal Permit Approval Criteria:

The following subsection is organized with the approval criteria shown in ***bold italic***, followed by findings of fact evaluating the proposal for conformance with the criteria. Lack of compliance

with the following criteria is grounds for denial of the tree removal permit or for the issuance of conditions of approval to satisfy the criteria.

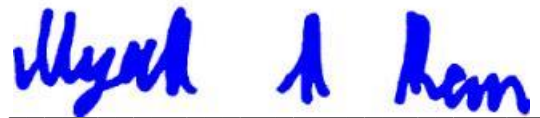
SRC 808.030(d)(1): Hazardous tree. The tree removal is necessary because the condition or location of the tree presents a hazard or danger to persons or property; and the hazard or danger cannot reasonably be alleviated by treatment or pruning, or the tree has a disease of a nature that even with reasonable treatment or pruning is likely to spread to adjacent trees and cause such trees to become hazardous trees.

Finding: The applicant provided a picture of the tree which they are requesting to remove (**Attachment B**). In the photo, the tree is dead, and the top has broken off and is leaning. The photo also shows the tree's proximity to a building, which presents a hazard to persons or property. As the tree is a riparian tree, the following condition applies as to be in compliance with SRC 808.020.

Condition 1: Roots and trunks of any trees within the riparian corridor shall remain within the riparian corridor; any branches or debris shall be removed. The subject tree trunk shall be cut to a height of three to five feet with the roots remaining intact.

ORDER

The proposed Tree Removal Permit is consistent with the provisions of SRC Chapter 808 and is hereby **APPROVED**.

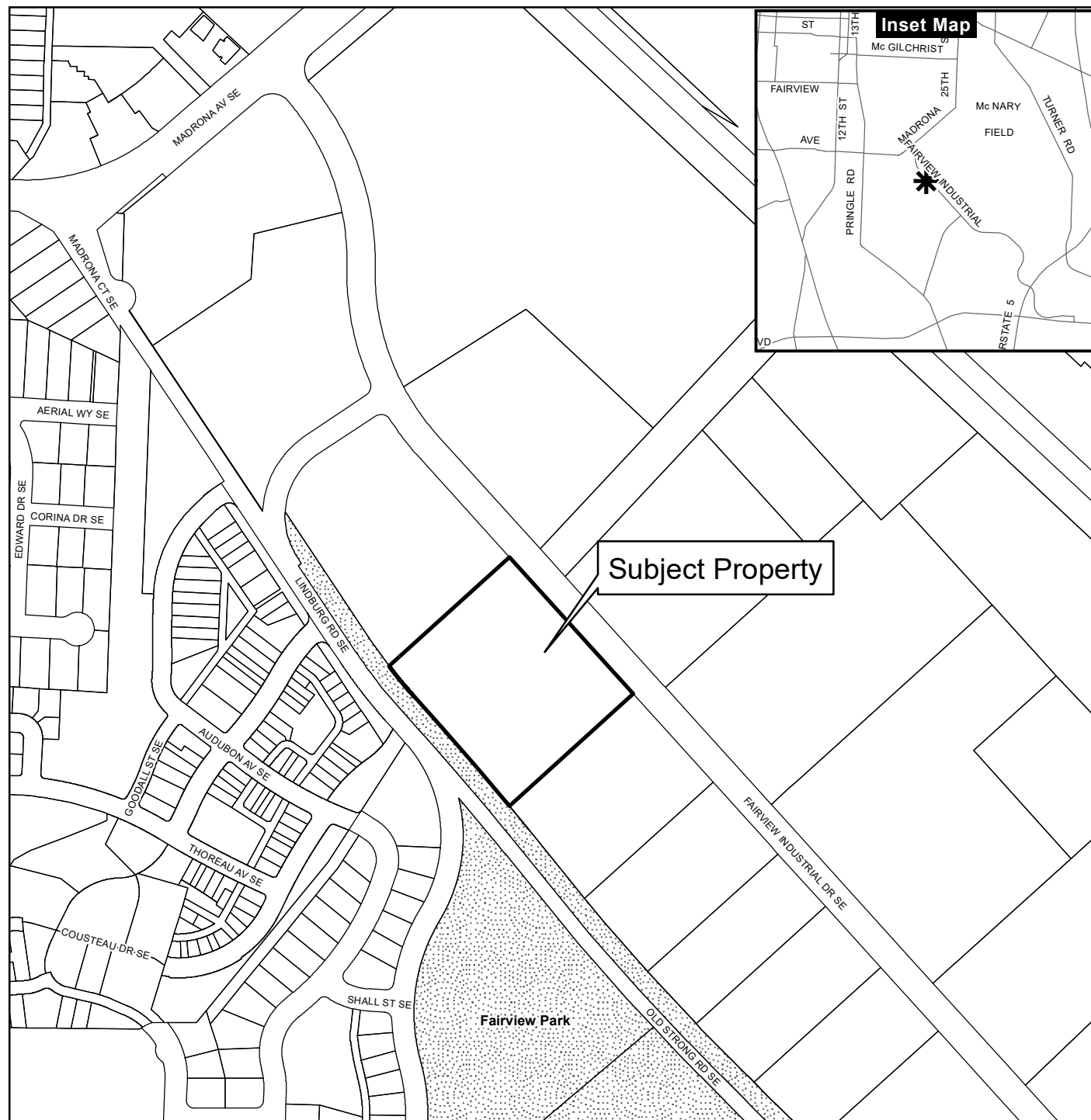


Abigail Pedersen, Planner I, on behalf of
Lisa Anderson-Ogilvie, AICP
Planning Administrator

Attachments: A. Vicinity Map
B. Photo

Vicinity Map

3723 Industrial Drive SE



Legend

- | | |
|-----------------------|---------------------------|
| Taxlots | Outside Salem City Limits |
| Urban Growth Boundary | Historic District |
| City Limits | Schools |

Parks

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Tree Removal at 3723 Fairview industrial Dr SE Suite 190

Tree is dead and has a broken top laying across the top. Tree is located along the creek at the southwest corner of suite 190.

