

HILFIKER SQUARE

SHEET INDEX

ARCHITECTURAL

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OWNER / DEVELOPER

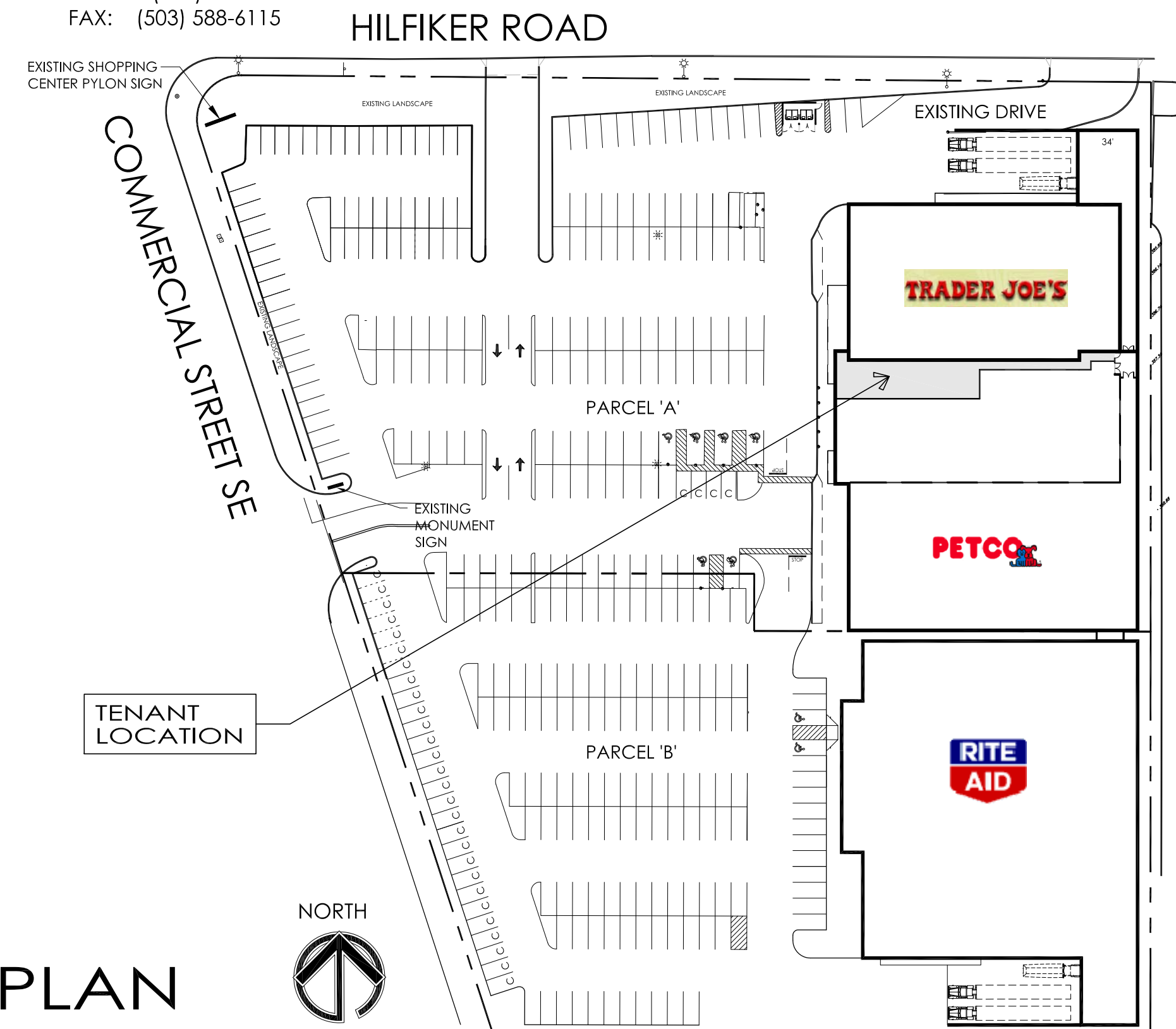
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BUILDING PLAN REVIEW

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SITE PLAN

SCALE: NOT TO SCALE

GENERAL NOTES

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE DWGS, AND ON THE JOB PRIOR TO EXECUTION OF ANY WORK, AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCY. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS INCURRED DUE TO HIS FAILURE TO DO SO.
2. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM WITH ALL STATE AND LOCAL JURISDICTIONAL BUILDING CODES AND REGULATIONS.
3. NEITHER THE OWNER NOR THE ARCHITECT WILL ENFORCE SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, INSTALL, AND MAINTAIN ALL SAFETY DEVICES AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE, AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS AND REGULATIONS.
4. PROVIDE FIRE EXTINGUISHERS WITH REQUIRED SIGNAGE AS PER BY FIRE DEPARTMENT. DURING CONSTRUCTION, PROVIDE A PORTABLE FIRE EXTINGUISHER WITH TYPE 2, 10 LB. RATING WITHIN 75 FOOT DISTANCE TO ALL PORTIONS OF THE BUILDING.
5. PLANS FOR ALL FIXED FIRE PROTECTION EQUIPMENT SUCH AS STANDPIPES, SPRINKLER SYSTEMS, AND FIRE ALARM SYSTEMS MUST BE SUBMITTED TO AND APPROVED BY THE FIRE MARSHAL, BUILDING DEPARTMENT, FIRE SPRINKLER ENGINEER, ARCHITECT, AND TENANT PRIOR TO INSTALLATION OF EQUIPMENT.
6. ALL DIMENSIONS TO FACE OF FINISH UNLESS OTHERWISE NOTED. DIMENSIONS BETWEEN DEMISING WALLS ARE TO CENTERLINE OF PARTITION. CONCRETE/MASONRY DIMENSIONS ARE GIVEN TO FACE OF CONCRETE/MASONRY and/or TO THE EDGE OF CONCRETE SLABS.
7. PROVIDE BLOCKING AT ALL PLYWOOD AND GYPSUM BOARD SHEATHING EDGES AND AT BUTTED SHEET EDGES. REFER TO STRUCTURAL FOR NAILING INFORMATION.
8. THE CONTRACTOR SHALL CONSULT PLANS FOR ALL TRADES FOR ALL OPENINGS AND ROUGH-OUTS THROUGH SLABS, WALLS, CEILINGS AND ROOFS FOR DUCTS, PIPES, CONDUITS, CABINETS AND EQUIPMENT, AND SHALL VERIFY SIZE AND LOCATION BEFORE PROCEEDING WITH WORK.
9. THE CONTRACTOR SHALL VERIFY ALL ROUGH-IN DIMENSIONS AND EQUIPMENT, FURNISHED AND INSTALLED BY HIMSELF/HERSELF OR OTHERS PRIOR TO PROCEEDING WITH WORK.
10. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL NOTES AND SYMBOLS.
11. ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED.
12. DO NOT SCALE DRAWINGS
13. DETAILED DRAWINGS AND LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS. WHERE DISCREPANCIES OCCUR, THEY SHALL BE REPORTED TO ARCHITECT AND ENGINEER FOR RESOLUTION AS SOON AS POSSIBLE AFTER DISCOVERY.
14. THIS PROJECT SHALL COMPLY WITH ALL ADA REQUIREMENTS.
15. ONE SET OF THE APPROVED PLANS BEARING THE STAMPS OF THE JURISDICTIONAL BUILDING DIVISION MUST BE MAINTAINED ON THE PROJECT SITE THROUGHOUT ALL PHASES OF CONSTRUCTION AND MUST BE MADE AVAILABLE TO BUILDING AND FIRE INSPECTORS FOR REFERENCE DURING INSPECTION.
- ~~16. THESE DRAWINGS ARE FOR SHELL PERMIT ONLY. ALL TENANT IMPROVEMENT WORK WILL REQUIRE SEPARATE PERMIT.~~
17. ALL SIGN INSTALLATION REQUIRES A SEPARATE PERMIT.
18. ALL MECHANICAL WORK WILL REQUIRE SEPARATE PERMIT
19. FIRE SPRINKLER WATER LINE PERMIT IS REQUIRED
20. NEW OCCUPANCIES AND TENANT IMPROVEMENTS WITH EITHER FIRE SPRINKLER OR ALARM SYSTEMS SHALL BE PROVIDED WITH A KNOX BOX BRAND SECURITY KEY BOX AS A CONDITION OF OCCUPANCY. COORDINATE WITH LOCAL FIRE MARSHAL.
21. SITE BOUNDARY LINES, BOUNDARY DIMENSIONS AND BOUNDARY DECLINATIONS ARE FOR REFERENCE ONLY. ACTUAL SITE CONDITIONS WILL VARY. THE CONTRACTOR SHALL BE DEEMED TO HAVE INSPECTED THE SITE AND SATISFIED HIMSELF/HERSELF AS TO ACTUAL GRADES, LEVELS, DIMENSIONS AND DECLINATIONS, AND THE TRUE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED.
22. ADDRESS NUMBERS SHALL BE POSTED ON THE BUILDING IN A LOCATION THAT IS CLEARLY VISIBLE FROM THE PUBLIC ROAD. ADDRESS NUMBERS SHALL BE ILLUMINATED AT NIGHT. ADDRESS NUMBERING SHALL HAVE A MINIMUM HEIGHT AS REQUIRED BY THE LOCAL JURISDICTION. NUMBERS SHALL BE OF A COLOR CONTRASTING WITH THEIR BACKGROUND. SUITE NUMBERS SHALL BE PROVIDED OVER EVERY EXTERIOR DOOR INTO A SUITE.

DEFERRED SUBMITTALS

PROJECT ARCHITECT or ENGINEER SHALL REVIEW ALL DEFERRED DRAWINGS, PLACE A SHOP DRAWING REVIEWED STAMP ON EACH SHEET, THE CONTRACTOR SHALL SUBMIT THE DOCUMENTS TO THE BUILDING DEPARTMENT FOR THEIR REVIEW and APPROVAL PER IBC 106.3.4.

FIRE ALARM SYSTEM
CONTRACTOR SHALL PROVIDE TO "SALEM" BUILDING DEPARTMENT, NEW FIRE ALARM MECHANICAL/ELECTRICAL SYSTEM DESIGN PER 'NFPA-FZ', FOR APPROVAL PRIOR TO INSTALLATION

MECHANICAL SYSTEM(S)
CONTRACTOR SHALL PROVIDE TO "SALEM" BUILDING DEPARTMENT,
ALL NEW MECHANICAL SYSTEM PLANS FOR APPROVAL PRIOR TO INSTALLATION

ELECTRICAL SYSTEM(S)
CONTRACTOR SHALL PROVIDE TO "SALEM" BUILDING DEPARTMENT,
ALL NEW ELECTRICAL SYSTEM PLANS FOR APPROVAL PRIOR TO INSTALLATION

PLUMBING SYSTEM(S).
CONTRACTOR SHALL PROVIDE TO "SALEM" BUILDING DEPARTMENT,
ALL NEW ELECTRICAL SYSTEM PLANS FOR APPROVAL PRIOR TO INSTALLATION

ABBREVIATIONS

STRUCTURAL GRID

GRID NUMBER

STRUCTURE CENTERLINE OR STRUCTURAL FACE

INTERIOR VIEW KEY FOR FINISHES

MULTIPLE ELEVATION REFERENCE NUMBER (OUTSIDE OF SYMBOL)

SINGLE ELEVATION REFERENCE NUMBER (INSIDE OF SYMBOL)

SHEET REFERENCE

INDICATION OF NO ROOM ELEVATION WHERE NO NUMBER

ELEVATION REFERENCE

REFERENCE NUMBER

SHEET REFERENCE

BUILDING SECTION WALL SECTION

REFERENCE NUMBER

SHEET REFERENCE

DETAIL REFERENCE

REFERENCE NUMBER

SHEET REFERENCE

DETAIL REFERENCE

REFERENCE NUMBER

DETAIL AREA

SHEET REFERENCE

REFERENCE TITLE

SCALE: XXXX (BSA DETAIL)

REFERENCE SCALE ARCHITECT'S DETAIL REF.

ROOM TITLE

ROOM NUMBER

ROOM NUMBER

POINT ELEVATION

HEIGHT ABOVE FINISH FLOOR

REFERENCE

POINT, LINE, OR SURFACE OF REFERENCE

WINDOW STYLE: LETTER DESIGNATIONS, RE: A.4.1

DOOR TYPE: NUMBER DESIGNATIONS, RE: A.4.1

SHEET KEY NOTES RE: ELEVATIONS SHEET OF KEYED NOTES

MATERIAL FINISH

SHEET KEYED NOTES, AND MATERIAL FINISHES

SHEET COLOR KEY

ELEVATION DATUM

HEIGHT ABOVE FINISH FLOOR

REFERENCE

POINT, LINE, OR SURFACE OF REFERENCE

EMERGENCY EXIT SIGN

EXIT

REVISION NUMBER

BUILDING NUMBER

SERIES

SHEET REFERENCE

A1.0A

SHEET

DISCIPLINE

A.B.	AT	CONC.	CONCRETE	EQ.	EQUAL	HC/HCAP.	HANDICAPPED	MH.	MANHOLE	SCHED.	SCHEDULE	T.O.A.	TOP OF ASPHALT PARKING
ACQUST.	ANCHOR BOLT	COND.	CONDITION	EXIST.	EXISTING	H.C.	HOLLOW CORE	MIN.	MINIMUM	SECT.	SECTION	T.O.C.	TOP OF CONCRETE / CURB
ADJ.	ACCOUSTIC/ACCOUSTICAL	CONN.	CONNECTION	EXP.	EXPANSION	HDR.	HEADER	MISC.	MISCELLANEOUS	SHT.	SHEET	T.O.D.	TOP OF DECK
A.F.	ADJACENT	CONST.	CONSTRUCTION	EXTING.	EXTINGUISH/EXTINGUISHER	HORIZ.	HORIZONTAL	M.O.C.	MASONRY OPENING	SHT.G.	SHEATHING	T.O.F.	TOP OF FRAMING
AGG.	AGGREGATE	C.F.F.	CONCRETE FINISH	EXT.	EXTENSION	HR.	HOUR	MTL.	METAL	SQ.	SQUARE	T.O.M.	TOP OF MASONRY
ALUM.	ALUMINUM	CORR.	CORRIDOR	E.J.	EXPANSION JOINT	HT.	HEIGHT	(M)	MODIFY	SQ. FT.	SQUARE FEET	T.O.P.	TOP OF PLATE
ANOD.	ANODIZED	C.U.	CUBIC	E.W.	EACH WAY	H.B.	HOSE BIBB			SIM.	SIMILAR	T.O.S.	TOP OF SHEATHING
APPROX.	ANODIZED	C.F.M.	CUBIC FEET PER MINUTE			H.M.	HOLLOW METAL	(N)	NEW	SPEC.	SPECIFICATION	T.P.	TOILET PAPER
ARCH.	APPROXIMATE	C.I.	CAST IRON	FDTN.	FOUNDATION	HVAC	HEATING VENTILATION and	NO.	NON	STD.	STANDARD	T.P.D.	TOILET PAPER DISPENSER
ASPH.	ARCHITECTURAL	C.J.	CONCRETE JOINT	F.F.E.	FINISH FLOOR ELEVATION		AIR CONDITIONING	NJ.C.	NUMBER	STL.	STEEL	T.S.	TUBE STEEL
AUTO.	ASPHALT	C.M.U.	CONCRETE MASONRY UNIT	FIN.	FINISH	IN.	INCH		NOT IN CONTRACT	STOR.	STORAGE		
A.N.S.I.	AUTOMATIC			F.F.	FINISH FLOOR	INSUL.	INSULATION	OPG.	OPENING	STRUCT.	STRUCTURAL	UG.	UNDERGROUND
	AMERICAN NATIONAL			FLR.	FLOOR	INT.	INTERIOR	OPP.	OPPOSITE	SUSP.	SUSPENDED	U.B.C.	UNIFORM BUILDING CODE
	STANDARDS INSTITUTE	Ø or DIA.	DIAMETER	FT.	FOOT	JO.	JOINT	O.C.	ON CENTER	SYS.	SYSTEM	U.N.O.	UNLESS NOTED OTHERWISE
		DBL.	DOUBLE	TGT.	FOOTING	JST.	JOIST	O.D.	OVERFLOW DRAIN	S. and S.	STAIN and SEAL		
BRD.	BOARD	DEPT.	DEPARTMENT	F.E.C.	FIRE EXTINGUISHER CABINET					S. and V.	STAIN and VARNISH	VEN.	VENER
BLDG.	BUILDING	DIM.	DIMENSION	F.O.F.	FACE OF FINISH			PERF.	PERFORATED	S.C.	SAW CUT/SOLID CORE	VERT.	VERTICAL
BLK. / BLK'G.	BLOCKING	DISP.	DISPENSER	F.O.M.	FACE OF MASONRY	LAM.	LAMINATED	PWFWD.	PLYWOOD.	S.D.	SOAP DISPENSER	V.C.T.	VINYL COMPOSITION TILE
BM.	BEAM	DN.	DOWN	F.O.S.	FACE OF STUD / SHEATHING	LAV.	LAVATORY	P.B.	PARTICLE BOARD	S.M.	SHOET METAL		
BOT.	BOTTOM			F.V.	FIELD VERIFY			R	PRIORITY LINE/PLATE	S.S.	STAINLESS STEEL	w/	with
B.O.	BY OWNER	DWG.	DRAWING			MANUF./MFR.	MANUFACTURER	P.T.	PRESSURE TREATED	TEMP.	TEMPERED	WD.	WOOD
CAB.	CABINET	DTL.	DETAIL	GALV.	GALVANIZED	MAS.	MASONRY	P.T.D.	PAPER TOWEL DISPENSER	THK.	THICK	WIN.	WINDOW
CER.	CERAMIC	D.S.	DOWNSPOUT	GA.	GAUGE	MAT.	MATERIAL			THK.	THICK	WP.	WATERPROOF
CEN.	CENTER LINE	D.F.	DOUGLAS FIR	G.D.	GUTTER DRAIN	MAX.	MAXIMUM	REIN.	REINFORCED/REINFORCING	WT.	WEIGHT	W.	WIDTH
CLG.	CEILING			GEN.	GENERAL	M.D.O.	MEDIUM DENSITY OVERLAID	REQ.	REQUIRED	T & G	TONGUE and GROOVE	W.	WIDTH
CLR.	CLEAR	(E)	EXISTING	GYP.	GLASS	MECH.	MECHANICAL	REV.	REVERSE	T.C.	TOP OF CURB	W.C.	WATER CLOSET
	COLUMN	ELECT.	EACH	GYP. BRD.	GYPSON BOARD	MEMB.	MEMBRANE	RM.	ROOM	T.C.I.	TILE COUNCIL INSTITUTE	W.F.	WATER FLANGE
		EL/ELEV.	ELEVATION/ELEVATOR	G.L.	GLU-LAM	MEZZ.	MEZZANINE	R.	RADIUS		TROWEL JOINT/TOOL JOINT	W.H.	WATER HEATER
		EQUIP.	EQUIPMENT					R.D.	RAIN DRAIN/ROOF DRAIN			WWI	WEIGHT WATCHERS INTERNATIONAL
								R.O.	ROUGH OPENING				

VICINITY MAP

SCALE: NOT TO SCALE

Tenant Improvements for:
WEIGHT WATCHERS
Hilfiker Square, Salem Oregon
4450 SE COMMERCIAL STREET, SALEM OREGON 97302

PROJECT NO.
12-124

DRAWN BY :
JMP

CHECKED BY
KMG

DATE :
10-02-2012

REVISION :
10.31.2012

PLAN CHECK



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COVER SHEET

& GENERAL INFO.

A0.0

Permit Set 10-02-2012

WEIGHT WATCHERS GENERAL BUILDING & FINISH SPECIFICATIONS

GENERAL NOTES & EXISTING CONDITIONS:

THE FOLLOWING INFORMATION IS PROVIDED AS A GENERAL GUIDE; TENANT SPACE PLANS WILL BE PROVIDED FOR SPECIFIC SCOPE AS IT RELATES TO THE PREMISES AND INFORMATION FOUND IN THE TENANT SPACE PLAN TAKES PRECEDENCE OVER THESE GUIDELINES.

ALL WORK SHOULD BE PERFORMED PER LOCAL, STATE, AND NATIONAL CODES INCLUDING COMPLIANCE WITH ADA REQUIREMENTS. ALL CONSTRUCTION WILL BE COMPLETED SO THAT AN OCCUPANCY PERMIT WILL BE GRANTED WITHOUT LIMITATION OR STIPULATION. ALL WORK WILL BE COMPLETED SO THAT WEIGHT WATCHERS AND ITS AFFILIATES INCLUDING BUT NOT LIMITED TO CASSIDY TURLEY ARE NOT SUBJECT TO LIENS OR IMPOSITIONS PLACED ON THE BUILDING OR PREMISES AS A RESULT OR IN CONJUNCTION WITH THE WORK PERFORMED ON BEHALF OF WEIGHT WATCHERS.

ACCURATE FIELD MEASUREMENTS SHOULD BE TAKEN BEFORE ANY CONSTRUCTION BEGINS. DISCREPANCIES OR CHANGES SHOULD BE REPORTED TO WEIGHT WATCHERS/CASSIDY TURLEY IMMEDIATELY. CHANGES MADE IN THE FIELD OR WITHOUT WEIGHT WATCHERS/CASSIDY TURLEY KNOWLEDGE AND APPROVAL MAY RESULT IN A NON-COMPLIANCE OR NON-ACCEPTANCE OF THE PREMISES.

INTERIOR CONSTRUCTION SPECIFICATIONS

1. DEMOLITION

EXISTING CONDITIONS WILL WARRANT DEMOLITION TO ACHIEVE DESIGN INTENT; TENANT SPACE PLANS MAY OR MAY NOT INCLUDE FULL SCOPE OF DEMOLITION. GENERAL CONTRACTOR (GC) IS RESPONSIBLE FOR REMOVING EXISTING FINISHES IN AREAS THAT ARE TO RECEIVE NEW FINISHES. FLOOR SHOULD BE SMOOTH AND PREPARED FOR NEW GLUE-DOWN FLOORING APPLICATION; WALLS SHOULD BE SMOOTH AND PAINT READY.

LANDLORD WARRANTS THAT PREMISES ARE FREE OF ASBESTOS OR OTHER HAZARDOUS MATERIALS.

2. WALLS/PARTITIONS

REFER TO TENANT SPACE PLANS FOR LOCATION AND LENGTH OF NEW WALLS/PARTITIONS.

AT MINIMUM, ONE PARTITION IS TO BE CONSTRUCTED TO SEPARATE THE STORAGE AREA FROM THE CUSTOMER-USE AREA AS SHOWN. SEE PLANS. THE NEW PARTITION MAY HOUSE ELECTRICAL OUTLETS. HEIGHT OF NEW PARTITION TO UNDERNEATH OF CEILING UNLESS OTHERWISE REQUIRED BY CODE OR NOTED ON TENANT SPACE PLANS.

ALL NEW WALLS WILL BE CONSTRUCTED OF METAL STUDS, EXCEPT WHERE WOOD STUDS ARE ACCEPTABLE IF APPROVED BY LOCAL CODES, AND DRYWALL. ALL WALLS SHALL BE TAPED AND SANDED SMOOTH, PAINTED PER TENANT'S SPACE PLAN. VERIFY AND REPORT CONDITION OF DEMISING WALLS FOR: A) COMPLETION TO DECK ABOVE; B) 3" SOUND-BATT INSULATION INSTALLED BETWEEN STUDS; AND C) ALL PENETRATIONS FILLED AS REQUIRED PER CODE.

3. DOORS & WINDOWS

RE-USE EXISTING DOORS AND FRAMES WHEN POSSIBLE. ANY EXISTING DOORS BEING RE-USED SHALL BE TOUCHED UP AND RE-VARNISHED OR RE-PAINTED AS APPROPRIATE. APPROPRIATE QUANTITY AND SIZE OF DOORS WITH APPLICABLE EXIT HARDWARE MUST MEET STATE, LOCAL, AND ACCESSIBILITY CODES FOR OCCUPANCY AND EGRESS.

NEW INTERIOR DOOR(S) TO BE NO LESS THAN 3 FEET (36 INCHES) WIDE. ALL NEW INTERIOR DOOR(S) SHOULD MATCH EXISTING STYLE. DOOR(S) AND OTHER WOODWORK SHOULD BE STAINED OR PAINTED TO MATCH BUILDING STANDARD, UNLESS OTHERWISE NOTED ON TENANT'S SPACE PLANS. IF NO BUILDING STANDARD IS GIVEN, USE SOLID CORE PAINT GRADE DOORS UNLESS OTHERWISE NOTED ON TENANT'S SPACE PLAN. ALL DOORS TO RESTROOMS AND STORAGE AREAS MUST HAVE CLOSERS. ALL DOOR(S) TO EXTERIOR OR COMMON AREAS MUST HAVE CLOSERS WITH ADA COMPLIANT LATCHSET.

SUITE ENTRY DOOR(S) SHALL HAVE EXISTING OPERABLE OR RECEIVE NEW CLOSER(S). ALL DOOR(S) TO HAVE WALL OR FLOOR MOUNTED STOPS, CONSISTENT WITH THE REST OF THE PREMISES. PROVIDE NEW PASSAGE HARDWARE FOR NEW DOOR(S) TO MATCH EXISTING UNLESS OTHERWISE NOTED ON TENANT'S SPACE PLAN.

WHEN NOTED ON TENANT SPACE PLAN FOR INCLUSION IN SCOPE, CONTACT BLIND EXPRESS TO MEASURE FOR SHADES ON INTERIOR WINDOWS; CONTRACTOR TO PROVIDE PLAN TO BLIND EXPRESS TO INDICATE WHICH WINDOWS SHOULD BE INCLUDED IN QUOTE.

BLIND EXPRESS CONTACT: ALBERT YU 770-664-1688 OR AYU@BLINDEXPRESS.NET

SHADE INFORMATION: SHEERWEAVE ROLLER SHADES; FABRIC: SW3000; COLOR: CHOCOLATE.

4. PAINT

ALL EXPOSED SURFACES IN AREAS SHALL BE PAINTED PER TENANT'S SPACE PLAN USING "SHERWIN WILLIAMS" PAINTS AND PRIMERS. WALLS MUST BE PREPPED WITH MINIMUM ONE COAT TINTED PRIMER FOLLOWED BY TWO COATS PAINT ON ALL WALLS RECEIVING NEW PAINT. ALL SURFACE PREPARATION MUST BE DONE IN ACCORDANCE WITH THE MANUFACTURER'S PRODUCT DATA LITERATURE AND LABEL INSTRUCTIONS. FINISH SHOULD BE CLEAN, DRY, SMOOTH AND EVEN IN COLOR, AND FREE OF ANY DIRT OR ADDITIONAL FOREIGN CONTAMINANTS. FOLLOW ALL MANUFACTURERS' RECOMMENDED SURFACE PREPARATION.

SHERWIN WILLIAMS PROMAR 200 ZERO VOC INTERIOR LATEX PRIMER B28W02600, TINTED

SHERWIN WILLIAMS PROMAR 200 ZERO VOC INTERIOR LATEX EG-SHEL B20-2600 SERIES

COLOR: SW 6119 ANTIQUE WHITE

ACCENT COLOR: SW 6508 SECURE BLUE

PAINT WALLS AS PER THE PAINT SCHEDULE AND AS DESIGNATED ON TENANT'S SPACE PLAN. PAINT BRAND NAME AND COLOR SUBSTITUTIONS ARE PROHIBITED UNLESS OTHERWISE NOTED ON TENANT'S SPACE PLAN. PAINT FINISH TO BE EGG-SHELL THROUGHOUT. PAINT COLOR TRANSITIONS SHOULD OCCUR AT INTERIOR CORNERS ONLY UNLESS OTHERWISE NOTED ON TENANT SPACE PLANS.

ASSUME ONE TRIP FOR TOUCH UP PAINT AFTER FLOORING INSTALLATION AND FURNITURE DELIVERY. TOUCH UP PAINT SHOULD BE LEFT IN THE TENANT'S STORAGE AREA, CLEARLY LABELED WITH BOTH COLOR SPOT AND PAINT COLOR NAME ON LID.

5. FLOORING

ALL FLOORING MATERIAL (INCLUDING CARPET, VCT, BASE, AND VINYL) AND INSTALLATION SHOULD BE INCLUDED IN GENERAL CONTRACTOR'S SCOPE OF WORK. MATERIAL MUST MATCH THE EXACT SPECIFICATIONS ON TENANT'S SPACE PLAN. INSTALLATION METHOD FOR CARPET, VINYL, VCT AND VINYL BASE IS DIRECT GLUE. SEE MANUFACTURER'S INSTRUCTIONS FOR POST-INSTALLATION/CLEANING INSTRUCTIONS.

CONCRETE FLOOR TO BE SMOOTH AND CLEAN, READY FOR FLOORING INSTALLATION. ALL FLOORING SHOULD BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.

FLOORING SPECIFICATIONS; NO SUBSTITUTIONS PERMITTED; ORDER ONLY FROM SPECIFIED SOURCE.

CARPET: BIGELOW COMMERCIAL CARPET

[*FLOORING INSTALLER TO DETERMINE MOST EFFICIENT INSTALLATION METHOD]

STYLE - WW NON PATTERNED LOOP CARPET #0907

VINYL: MOHAWK COMMERCIAL HARD SURFACE VINYL PLANK

STYLE - WW VINYL PLANK #1013, ADHESIVE - MOHAWK VINYL ADHESIVE DS100 [INCLUDED IN DELIVERED PRICE], TROWEL SIZE - 1/16 X 1/32 X 1/32 (ATTACHMENT SHIPPED W/ ADHESIVE).

CARPET & VINYL CONTACT: JIM BERARDI

S O S FLOORING SOLUTIONS

CELL 646-831-0697

EMAIL: JBERARDI@SOSFLOORINGSOLUTIONS.COM

FLOORING TRANSITION: (BETWEEN CARPET AND VINYL PLANK)

JOHNSONITE CT-A 92-A (1/4" CARPET TO 1/8" RESILIENT)

COLOR: 92 - BLUE LAGOON

SOURCE LOCALLY

VINYL BASE: (THROUGHOUT)

JOHNSONITE 1/8" X 4" VINYL BASE

COLOR: 92 - BLUE LAGOON

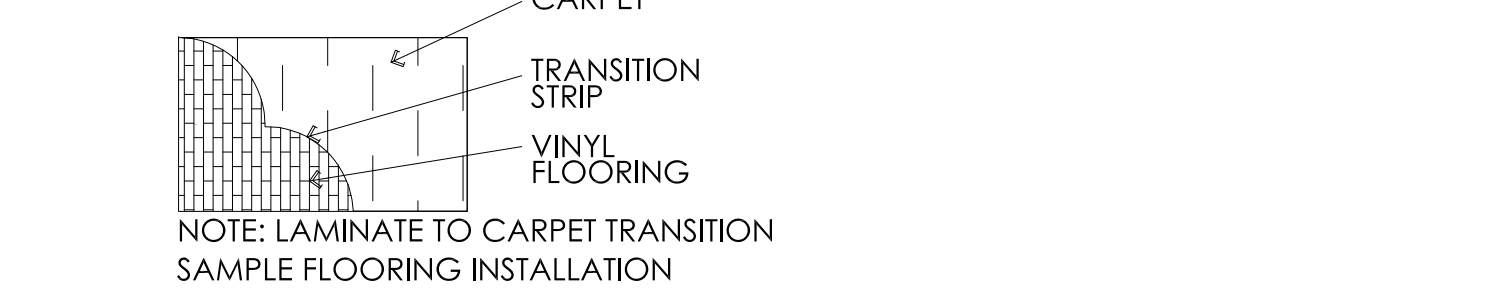
SOURCE LOCALLY

VCT: (FOR RESTROOMS, STORAGE ROOMS, NON-CUSTOMER AREAS, ETC.)

MANNINGTON 12"X12" VINYL COMPOSITION TILE

COLOR - GLACIER

SOURCE LOCALLY



6. HVAC

UNIT(S) MUST BE APPROPRIATELY SIZED FOR THE SIZE OF THE PREMISES AS PER MANUFACTURER'S AND/OR MECHANICAL ENGINEER'S RECOMMENDATIONS FOR CAPACITY AND REGIONAL TEMPERATURE AND HUMIDITY CONSIDERATIONS. LANDLORD TO PROVIDE A MAINTENANCE REPORT BY A CERTIFIED HVAC TECHNICIAN PRIOR TO THE DELIVERY DATE SHOWING AGE OF UNIT, AND VERIFYING IT IS IN GOOD WORKING ORDER.

THERMOSTATS SHOULD BE CHECKED AND OPERATIONAL. CONFIRM AND REPORT PLACEMENT IS PER TENANT'S SPACE PLAN. MANUALS FOR PROGRAMMING AND OPERATION SHOULD BE LEFT FOR THE TENANT'S REFERENCE.

AIR BALANCE AND OUTSIDE AIR INTAKE PER ASHRAE STANDARDS. INSTALL NEW FILTERS POST-CONSTRUCTION, PRIOR TO OCCUPANCY WITH A MERV 11. AIR RETURNS AND DIFFUSERS SHOULD BE WHITE TO MATCH CEILING GRID AND TILE (OR DRYWALL AS APPLICABLE). IF EXISTING, MUST BE FREE FROM DUST, DIRT, RUST OR STAINS, OR SHOULD BE PAINTED TO MATCH WHITE CEILING GRID FOR A LIKE-NEW APPEARANCE.

PROVIDE VENTILATION/EXHAUST TO OUTSIDE AT RESTROOM WHERE NOT EXISTING.

IF UNITS ARE EXISTING: AFTER THE COMPLETION OF CONSTRUCTION BUT PRIOR TO OCCUPANCY, CLEAN THE SYSTEM AND REPLACE FILTERS (MERV 11 OR HIGHER), CHECK FLUIDS AND GASES, AND BALANCE EXISTING SYSTEM TO TAKE INTO ACCOUNT DEMO OR NEW CONSTRUCTION. VERIFY THERMOSTAT IS OPERATIONAL AND ALL ROOMS HAVE ADEQUATE SUPPLY AND RETURN GRILLES FOR COMFORT OF WORKING ENVIRONMENT WITH AIR CIRCULATION.

CONTROLS: ALL CONTROLS FOR WEIGHT WATCHERS PREMISES TO OPERATE ONLY THE DUCT, DIFFUSERS, FTU, VAV OR OTHER RELATED HVAC EQUIPMENT INSIDE THE WEIGHT WATCHERS PREMISES. NO OTHER SUITE, TENANT, CORRIDOR OR UNIT TO BE CONNECTED TO THE "SYSTEM" OR CONTROLS FOR THE WEIGHT WATCHERS PREMISES.

PROGRAMMABLE THERMOSTATS SHOULD BE SET AT A MINIMUM TEMPERATURE OF 68 DEGREES AND A MAXIMUM TEMPERATURE OF 72 DEGREES.

7. PLUMBING/RESTROOM

RESTROOM(S) ARE TO BE ADA-COMPLIANT RESTROOM(S) AS REQUIRED BY CODE. RESTROOM FINISHES WILL ALSO BE DETERMINED BY TENANT'S SPACE PLAN.

LAVATORY SINK(S) MUST HAVE HOT AND COLD-WATER SERVICE AND ALL FACILITIES MUST ADHERE TO ANY LOCAL, STATE, OR NATIONAL CODES AND ORDINANCES, INCLUDING BUT NOT LIMITED TO THE MODIFICATION OF AN EXISTING RESTROOM. IF LAVATORY SINK(S) EXIST OUTSIDE OF THE RESTROOM(S) PER TENANT'S SPACE PLAN, MUST ALSO HAVE HOT AND COLD WATER-SERVICE AND COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES.

RESTROOM FIXTURES MUST BE IN GOOD CONDITION (I.E. IN GOOD OPERATION AND FREE OF STAINS, CRACKS OR LEAKS). FIXTURES AND ACCESSORIES IN EACH RESTROOM ARE TO BE COMMERCIAL GRADE AND INCLUDE WASH BASIN, TOILET (IF NEW TOILET, PROVIDE ZURN #Z5560-RH OR APPROVED EQUAL), EXHAUST FAN, C-FOLD HAND TOWEL DISPENSER, TOILET PAPER DISPENSER, MIRROR, AND ADA COMPLIANT GRAB BARS.

ADD WATER/DRINKING FOUNTAIN AND MOP SINK AS REQUIRED BY LOCAL CODE.

INSTALL 18"W X 30"H X 1/2"D WHITE WALL CABINET AT 5'-0" AFF (TO BOTTOM) ABOVE TOILET. MOUNT WITH 100LB. ANCHORS. SOURCE LOCALLY FROM BIG BOX RETAILER. (IF CABINET IS NOT ALLOWED BY LOCAL CODE, INSTALL ON WALL OF RESTROOM ABOVE TOILET 36" WIDE X 12" DEEP WIRE STAINLESS STEEL SHELF AT 7'-0" AFF; MOUNT IN EXISTING WALL SECURELY USING (MINIMUM) 100LB ANCHORS. PURCHASE LOCALLY FROM BIG BOX RETAIL. POST NOTIFICATION ON SHELF "FOR PAPER PRODUCTS ONLY.")

8. CEILING

ALL CEILINGS SHOULD BE FREE FROM STAINS AND DIRT; TILES SHOULD BE FREE FROM CHIPS AND BREAKS. ALL TILES SHOULD BE THE SAME COLOR AND STYLE. THE GRID SHOULD BE EVEN, FREE FROM HOLES (OR FILLED), AND SHOULD BE CLEAN, CONSISTENT IN COLOR THROUGHOUT. INSTALLATION OF CEILING GRID AND COMPONENT TO COMPLY WITH ALL LOCAL CODES FOR RENOVATION OR NEW INSTALLATIONS.

INSTALL SEISMIC BRACING AND TIES ABOVE CEILING AS REQUIRED BY LOCAL, STATE OR NATIONAL CODES.

IF EXISTING: ACOUSTICAL CEILINGS: 2'x2' WHITE LAY-IN TILES INSTALLED THROUGHOUT THE PREMISES.

DRYWALL CEILINGS: SHOULD BE LEVEL, HAVE A SMOOTH TEXTURE, AND SHOULD BE PAINTED WHITE.

IF NEW: UNLESS OTHERWISE NOTED ON TENANT SPACE PLANS, INSTALL WHITE ARMSTRONG DUNE ANGLED REGULAR ACOUSTIC TILE 1774 2'x2'x5/8". INSTALL AT MINIMUM 10'-0" A.F.F. UNLESS OTHERWISE NOTED ON TENANT SPACE PLAN.

9. ELECTRICAL

ELECTRICAL TO INCLUDE ALL NEW OUTLETS PER TENANT'S SPACE PLAN. ELECTRICIAN SHOULD INCLUDE AT MINIMUM ONE (1) QUAD ISOLATED, DEDICATED GROUND OUTLET AND ONE (1) DUPLEX ISOLATED, DEDICATED GROUND OUTLET AT PHONE BOARD HOUSING PHONE, SWITCH, MODEM AND ROUTER. SEE TENANT'S SPACE PLAN FOR DIMENSIONED LOCATIONS; THESE OUTLETS SHOULD BE DESIGNATED WITH AN ORANGE SOCKET FACE AND FACE PLACE. RESTROOM(S) SHOULD HAVE GFCI OUTLETS LOCATED NEXT TO LAVATORY/SINK.

A QUAD AND DUPLEX OUTLET ARE REQUIRED AT EACH WEIGH & PAY STATION, A QUAD OUTLET IS REQUIRED AT THE ENROLLMENT CART, AND A DUPLEX IS REQUIRED AT THE HANDICAP SCALE. SEE TENANT SPACE PLAN FOR ALL DIMENSIONED OUTLET LOCATIONS.

AT DIMENSIONED LOCATION ON TENANT SPACE PLAN, INSTALL A QUAD OUTLET AND DATA JACK AT THE 'LEADER CREDENZA' (IN THE MEETING ROOM OF THE SPACE) AT 1'-6" AFF AND A DUPLEX OUTLET AT 5'-6" AFF FOR TELEVISION.

EXISTING OUTLETS CAN BE USED TO MEET THE REQUIREMENTS FOR GENERAL-PURPOSE OUTLETS IF LOCATED WITHIN 24" OF THE NEW OUTLET ON TENANT'S SPACE PLAN. SOCKET FACES AND FACE PLATES TO BE CONSISTENT COLOR THROUGHOUT (ALMOND ONLY); REPLACE AT EXISTING, RE-USED OUTLETS AS NEEDED TO ACHIEVE CONSISTENCY W/ REQUIRED COLOR.

ELECTRICAL CONTRACTOR TO VERIFY EXISTING ELECTRICAL PANEL WILL ACCOMMODATE WEIGHT WATCHERS REQUIREMENTS; SUGGESTED MINIMUM OF 200 AMP PANEL. PANEL MUST BE SIZED APPROPRIATELY TO HANDLE TENANTS HVAC, WATER HEATER, LIGHTS, GENERAL-PURPOSE RECEPTACLES, DEDICATED SIGN CIRCUIT(S), AND OTHER CONNECTED LOAD SHOWN ON TENANT'S SPACE PLAN. ELECTRICAL SYSTEM AND WIRING MUST BE IN GOOD WORKING ORDER AND IN COMPLIANCE WITH LOCAL, STATE OR NATIONAL CODE.

LANDLORD TO PROVIDE SEPARATELY METERED ELECTRIC SERVICE FOR WEIGHT WATCHERS PREMISES ONLY. SERVICE TO INCLUDE SEPARATE ELECTRIC PANEL HANDLING TENANT CONNECTED LOAD ONLY.

DEDICATED SIGN CIRCUIT(S) FOR ILLUMINATED SIGNAGE MUST BE IN PLACE AS FOLLOWS: VERIFY EXISTENCE AND FUNCTIONALITY OF SIGN CIRCUIT ALONG SIGN BAND SERVING ALL APPLICABLE SUBJECT FACE(S). EXISTING CIRCUIT(S) MUST BE LOCATED IN/ON THE SIGN BAND ABOVE THE SUBJECT PREMISES AND WITHIN SIX FEET (6') OF THE CENTERLINE OF THE PREMISES. THE CIRCUIT SHOULD BE DIRECT FEED FROM THE ELECTRICAL PANEL WITHIN THE TENANT'S PREMISES AND BE FED THROUGH A TIME CLOCK. SHOULD THE CIRCUIT NOT EXIST AND/OR BE DEEMED NON-FUNCTIONAL, INSTALL NEW DEDICATED SIGN CIRCUIT, AND JUNCTION BOX TO BE MOUNTED WITHIN THE SIGN BAND NO MORE THAN SIX FEET (6') FROM THE CENTERLINE OF THE SUBJECT PREMISES. INSTALL NEW TIME CLOCK NEAR ELECTRICAL PANEL.

10. LOW VOLTAGE

CONFIRM AND REPORT THAT PREMISES PHONE DEMARCATION (D-MARC) IS LOCATED IN THE STORAGE ROOM AND/OR IN A CLOSET; D-MARC AND PHONE BOARD SHOULD NOT BE VISIBLE OR EASILY ACCESSIBLE TO CUSTOMER AREAS. PREMISES MUST BE BROADBAND, DSL, OR CABLE READY.

AT THE PREMISES D-MARC (UNLESS OTHERWISE NOTED ON TENANT SPACE PLAN), INSTALL MINIMUM 24"X36" FIRE-RATED PLYWOOD PHONE BOARD.

PHONE BOARD:

- PULL VOICE LINE (PROVIDED BY PHONE COMPANY) TO WEIGH & PAY STATION AS DIMENSIONED FOR PHONE/FAX (TWO-GANG PLATE WITH ONE (1) RJ-11 JACK FOR VOICE AND ONE (1) RJ-45 JACK FOR DATA AT PHONEBOARD PROVIDED BY OTHERS).
- INSTALL A FOUR-GANG RJ-45 PLATE; ALLOCATE ONE JACK EACH PER WORKSTATION, LABEL "CHAMP STATION 1," "CHAMP STATION 2," AND "CHAMP STATION 3;" ONE WILL BE LEFT BLANK. GC TO RUN CAT5E PLENUM RATED CABLE FROM PHONE BOARD TO EACH WORKSTATION IN TENANT PREMISES AND TERMINATE ON WALL WITH AN RJ-45 JACK. SEE TENANT SPACE PLAN FOR DIMENSIONED WORKSTATION LOCATIONS.
- INSTALL A TWO-GANG RJ-45 PLATE; ALLOCATE ONE JACK FOR ENROLLMENT CART AND LABEL AS SUCH; ALLOCATE THE OTHER FOR TELEVISION AT LEADER CREDENZA AND LABEL AS "TV". GC TO RUN CAT5E PLENUM RATED CABLE FROM PHONE BOARD TO TELEVISION AS DIMENSIONED ON TENANT SPACE PLAN AND TERMINATE IN WALL WITH RJ-45 JACK.

USE "ALMOND COLORED" FACE PLATE UNLESS OTHERWISE NOTED ON PLANS. TERMINATIONS MUST OCCUR WITHIN TWO (2) FEET OF THE DIMENSIONED POINT. ALL STRUCTURED CABLEING TO BE SUPPORTED FROM STRUCTURE USING J-HOOKS.

NOTE: ALL LOW VOLTAGE WIRING AND TERMINATIONS ARE TO BE BY GC.

11. LIGHTING

GENERAL LIGHTING:

LAY-IN LIGHT FIXTURES SHOULD BE PLACED NO LESS THAN 1 FIXTURE FOR EVERY 80 SQUARE FEET UNLESS OTHERWISE NOTED ON TENANT'S SPACE PLAN. MINIMUM ONE FIXTURE SHOULD BE WIRED AS NIGHT LIGHT FOR SAFETY. REFER TO TENANT'S SPACE PLAN, REFLECTED CEILING PLAN FOR FIXTURE PLACEMENT.

IF EXISTING: VERIFY THAT ALL LENSES AND LAMPS ARE CONSISTENT IN STYLE AND COLOR, LENSES, IF ANY, MUST BE FREE OF STAINS AND CONSISTENT IN TYPE, STYLE, COLOR, TEXTURE, ETC.

WHEN REPLACING OR ADDING SOME BUT NOT ALL OF THE FIXTURES, INSTALLS FIXTURES TO MATCH EXISTING, ENSURING THAT ALL FIXTURES ARE OF CONSISTENT STYLE. REPLACE LAMPS IN ALL FIXTURES.

IF ALL NEW: UNLESS OTHERWISE NOTED ON TENANT SPACE PLANS, INSTALL 2'X2' LAY-IN COOPER LIGHTING METALUX O-VATION SERIES 3500K TEMPERATURE, (MODEL: 2RDI-2BX40RP-120V-EB81-U) ; CONTACT E. SAM JONES DISTRIBUTOR BELOW TO ORDER. USE SURFACE MOUNTED FIXTURES (F-8 FLUORESCENT TUBES WITH ELECTRONIC BALLASTS) WITH WHITE TRIM IN DRYWALL CEILINGS ONLY.

TRACK AND SPOT LIGHTS:

GENERAL CONTRACTOR SHOULD INCLUDE PACKAGED/KIT MATERIALS AND INSTALLATION IN SCOPE OF WORK. TRACK LIGHTING AND WINDOW SPOT LIGHTS TO BE INSTALLED PER TENANT'S SPACE PLAN.

TRACK LIGHT KIT:

TRACK LIGHTS TO BE INSTALLED AT CEILING GRID ON FIXED STEMS; LENGTH OF STEMS IS CONTINGENT UPON THE CEILING HEIGHT (GREATER THAN OR EQUAL TO 9'-0" AFF OR LESS THAN OR EQUAL TO 8'-11" AFF).

MONOPOINT SPOT LIGHT KIT:

MONOPOINT SPOT LIGHTS TO BE INSTALLED ON FIXED STEMS. INSTALL IN CENTER OF WINDOW MULLION UNLESS OTHERWISE NOTED ON TENANT SPACE PLANS. PLACE AS CLOSELY TO WINDOW FACE AS POSSIBLE (WITHIN 5" WHENEVER POSSIBLE). LENGTH OF STEMS IS CONTINGENT UPON CEILING HEIGHT (BOTTOM OF LIGHT FIXTURE TO BE INSTALLED BETWEEN 8'-6" AFF AND 7'-6" AFF. CONTACT CASSIDY TURLEY FOR ANY DISCREPANCIES).

TO ORDER COOPER LIGHTING GENERAL LIGHTING, TRACK, AND SPOTLIGHT KITS, CONTACT:

E. SAM JONES DISTRIBUTOR - LINDSEY WILLIAMS, LWILLIAMS@ESAMJONES.COM

PHONE: 404-351-3250 X 226 OR 800-624-9849, FAX: 404-351-4140 OR 800-282-2094

SWITCHING:

A SWITCH PANEL SHOULD OCCUR AT PRIMARY EGRESS DOOR UNLESS OTHERWISE NOTED ON TENANT'S SPACE PLAN WITH SEPARATE SWITCHES FOR 1) GENERAL OVERHEAD LIGHTING (3-WAY SWITCH AT EACH EGRESS DOOR), 2) TRACK LIGHTS, AND 3) WINDOW MONOPOINT SPOT LIGHTS. A SWITCH SHOULD OCCUR IN EACH RESTROOM AND IN EACH ENCLOSED STORAGE ROOM. VERIFY EMERGENCY/EXIT LIGHTING MEETS CODE REQUIREMENTS. MINIMUM ONE FIXTURE SHOULD BE WIRED (UNSWITCHED) AS NIGHT LIGHT FOR SAFETY.

12. FIRE PROTECTION

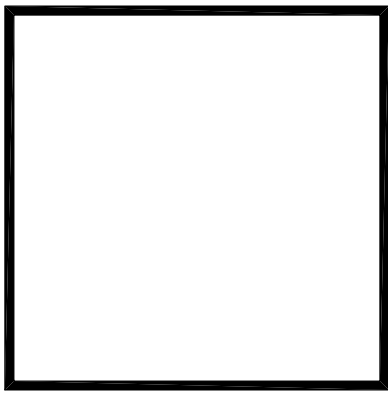
PROVIDE FIRE SUPPRESSION SYSTEM TO ACCOMMODATE NEW PARTITION LAYOUT IN ACCORDANCE WITH ALL STATE AND LOCAL CODES. WORK TO INCLUDE OBTAINING ALL RELATED PERMITS AND INSPECTIONS REQUIRED BY GOVERNING AUTHORITIES. SCOPE OF WORK TO INCLUDE REQUIRED FIRE EXTINGUISHERS.

IF EXISTING: PROVIDE SPRINKLER LAYOUT WITH EXISTING AND ADDITIONAL HEADS AS REQUIRED TO MEET STATE AND LOCAL CODES. HEADS SHOULD BE DROPPED TO ACCOMMODATE NEW PARTITION LAYOUT; VERIFY AND REPORT HEADS ARE POSITIONED IN THE TILE. INCLUDE NECESSARY PERMITS AND INSPECTIONS.

SCOPE INFORMATION:

- LLD TURNING OVER SPACE: TURNKEY
- CEILING GRID: INSTALL NEW PER WWI SPECIFICATIONS @ 10'-0" AFF.
- CEILING TILES: INSTALL NEW PER WWI SPECIFICATIONS.
- LIGHTING: INSTALL NEW PER WWI SPECIFICATIONS (1 FIXTURE/ 80 SF).
- HVAC: INSTALL NEW HVAC SYSTEM PER WWI SPECIFICATIONS (1 TON/ 300 SF)
- FINISHES: ALL NEW FINISHES WITHIN TENANT SPACE.

7. TOILETS: CONFIRM EXISTING FIXTURES ARE ADA COMPLIANT IN RESTROOM 105. RESTROOM 106 PROVIDE (N) TOILET, (R) SINK, (R) GRAB BARS, (R) TOILET PAPER HOLDER, (R) MIRROR AND PROVIDE (N) NAPKIN HOLDER OF 105 & 106).



201 Ferry Street, SE
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(503) 581-4654

WEIGHT WATCHERS #42241
Hilfiker Square, Salem Oregon
4450 SE COMMERCIAL STREET, SALEM OREGON 97302

PROJECT NO.
WW #42241
DATE :
10-01-2012
REVISION :

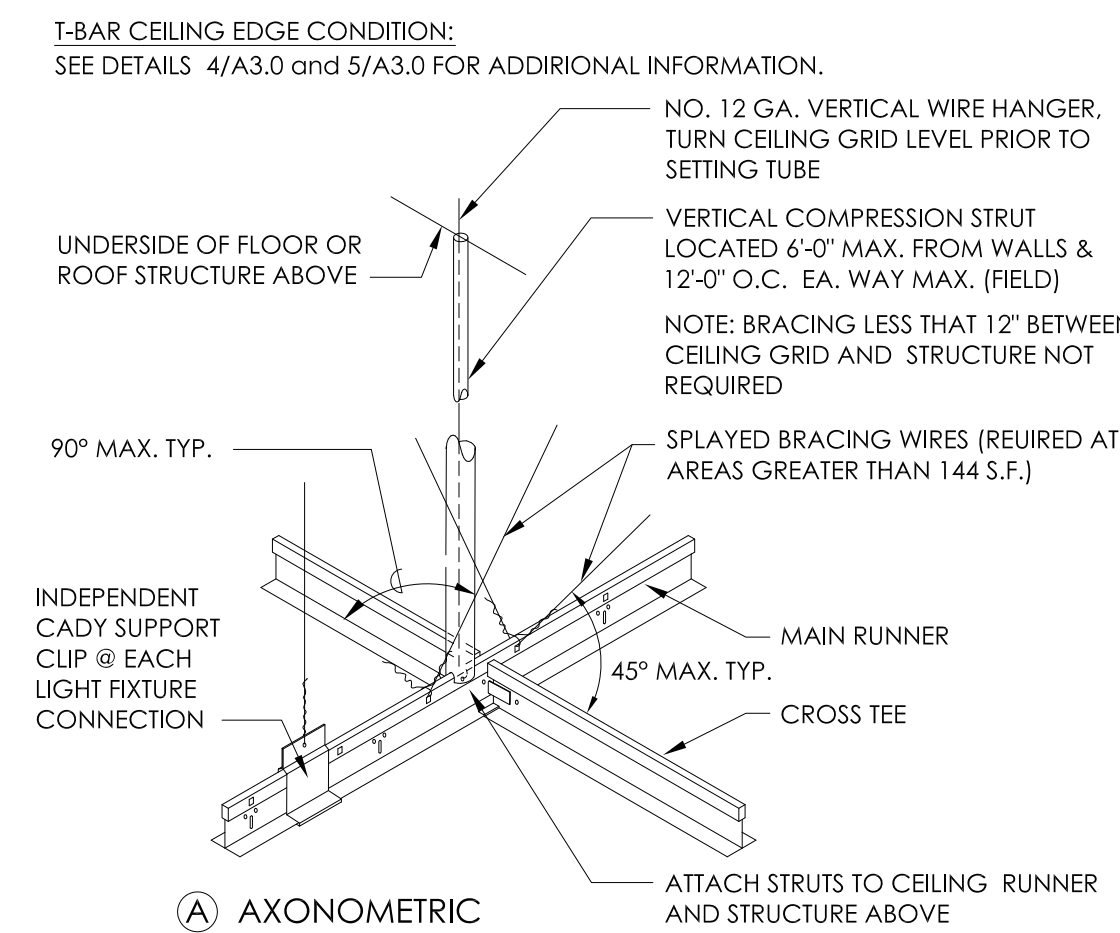
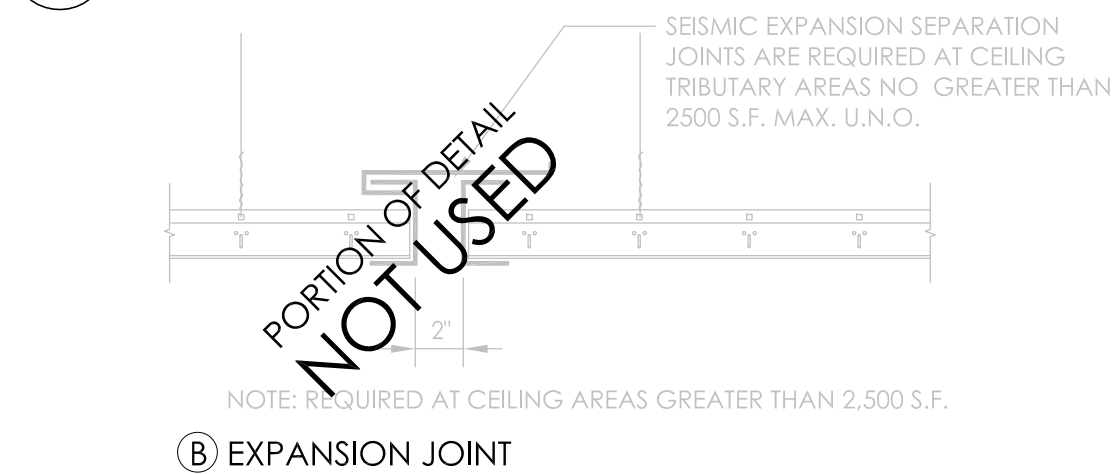
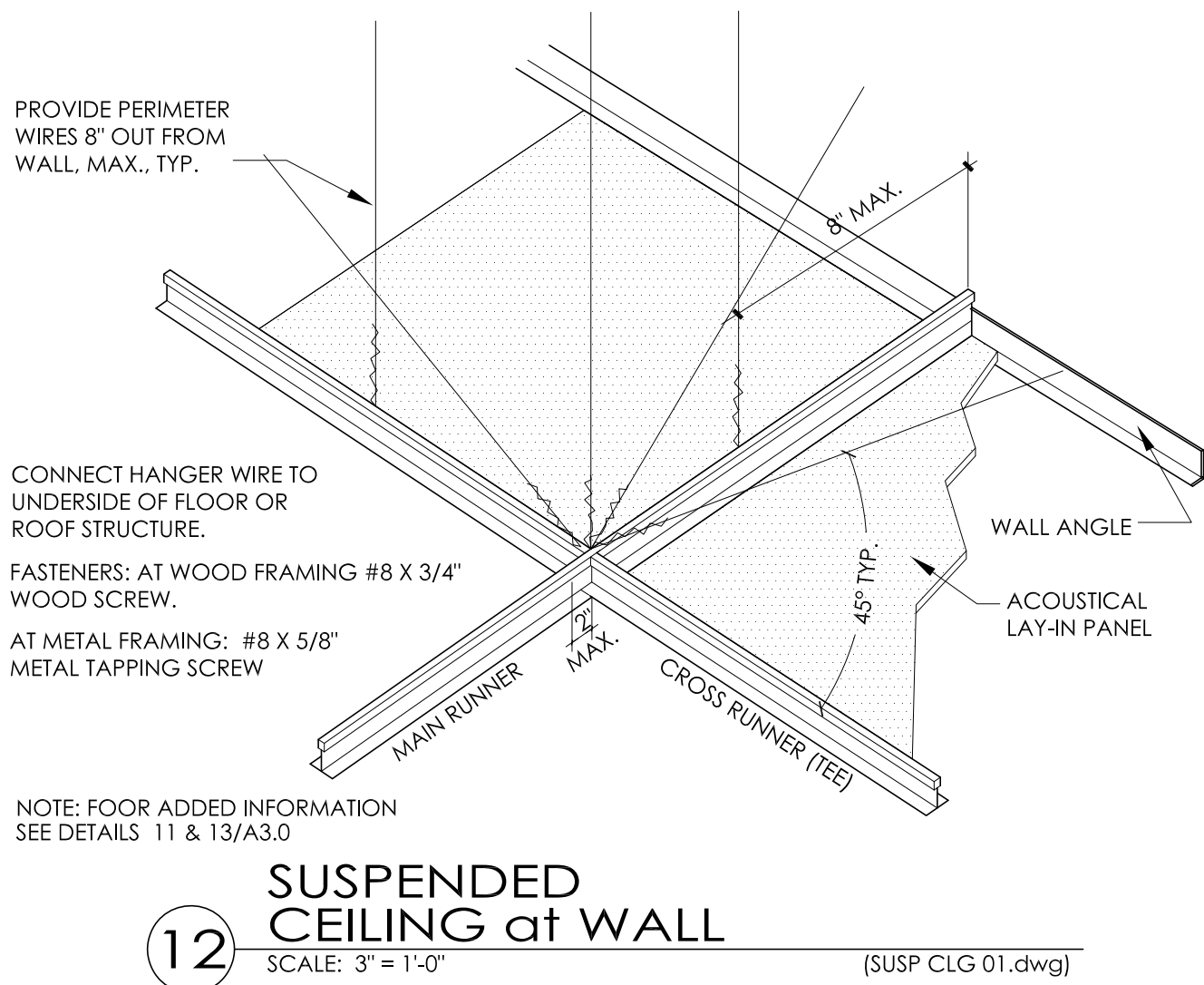
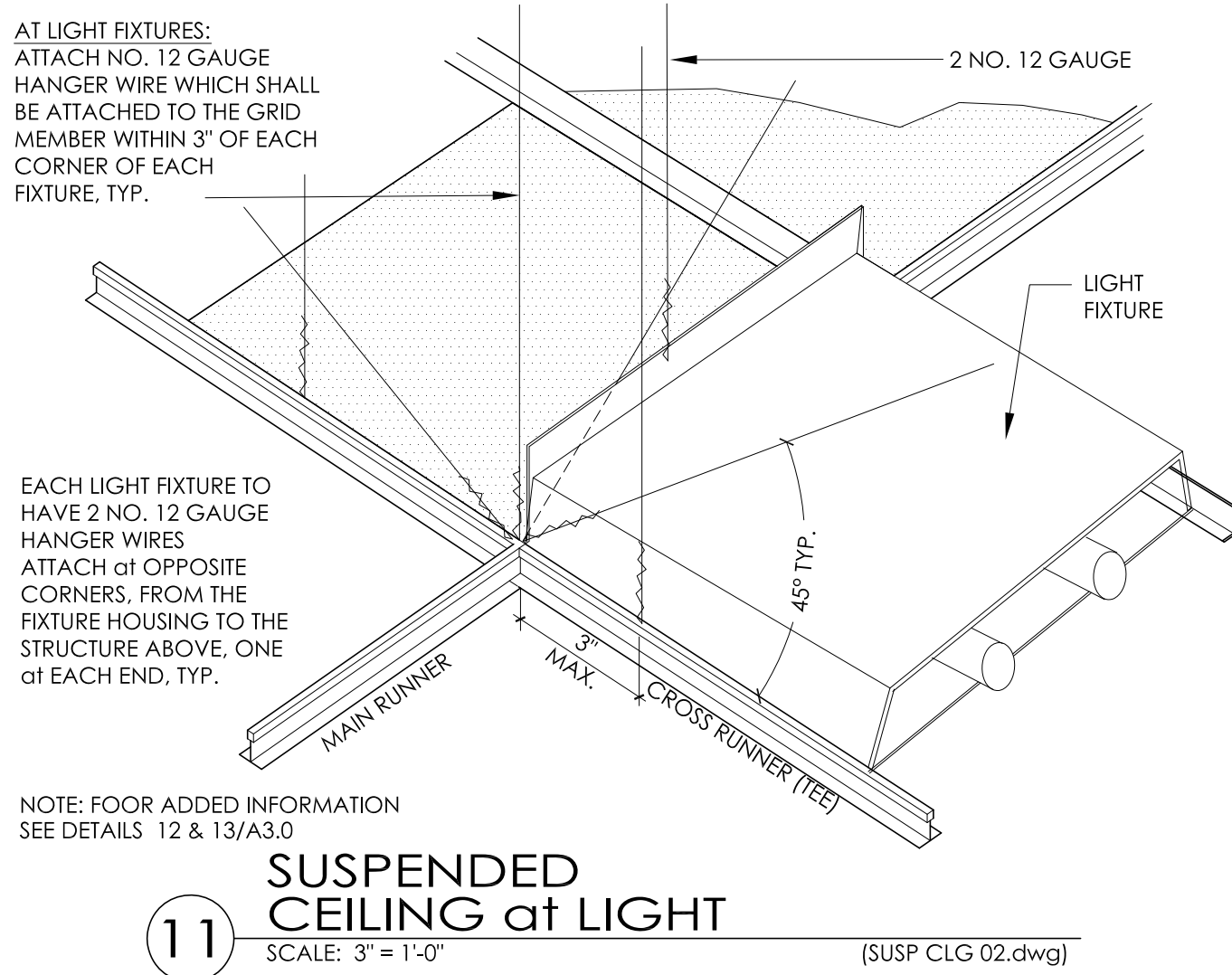
WEIGHT
WATCHERS

GENERAL
SPECIFICATIONS
& SCOPE INFO.

A1.0

(AS-BUILTS 01/24/2013)

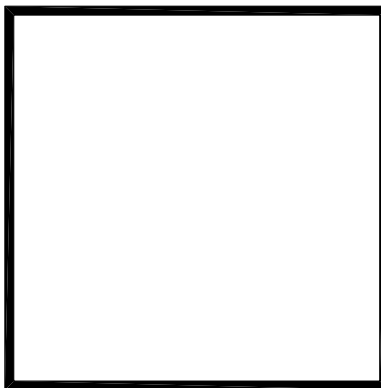
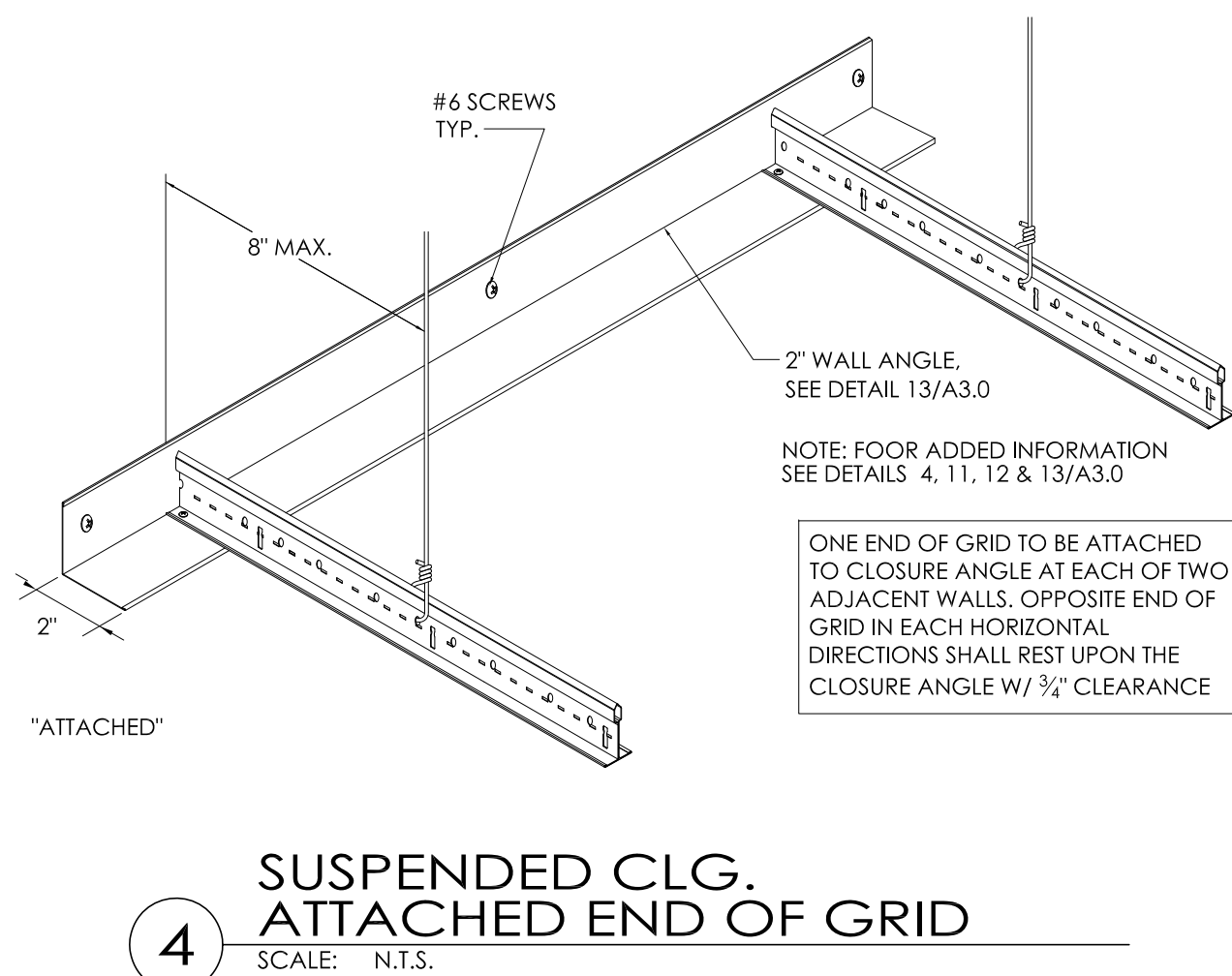
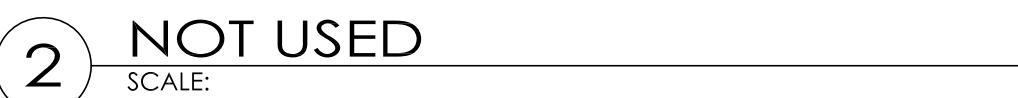
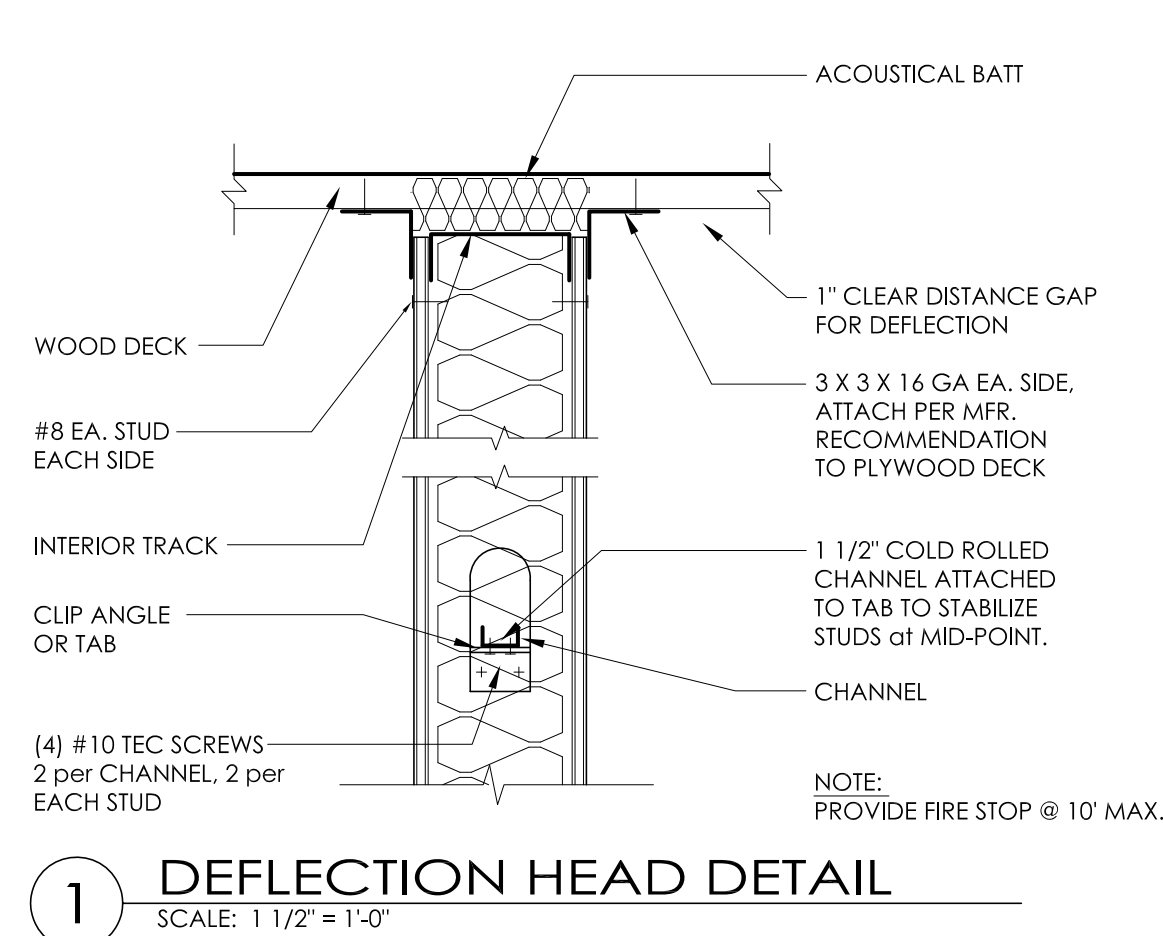
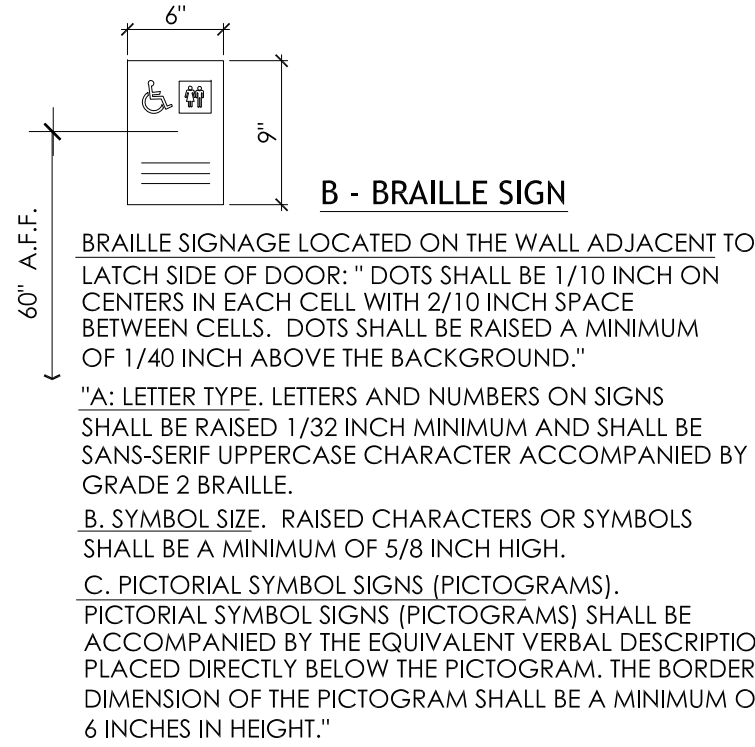
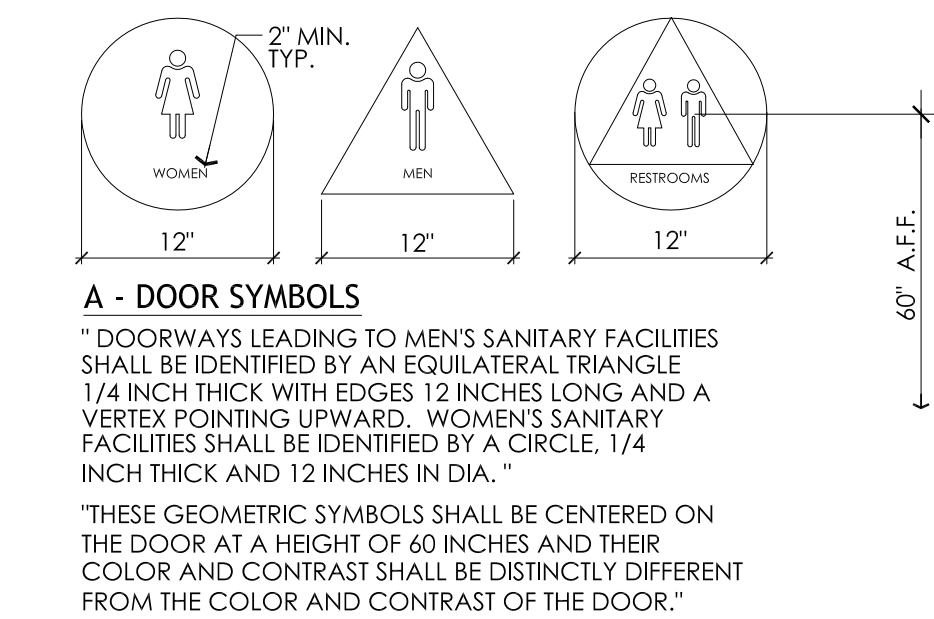
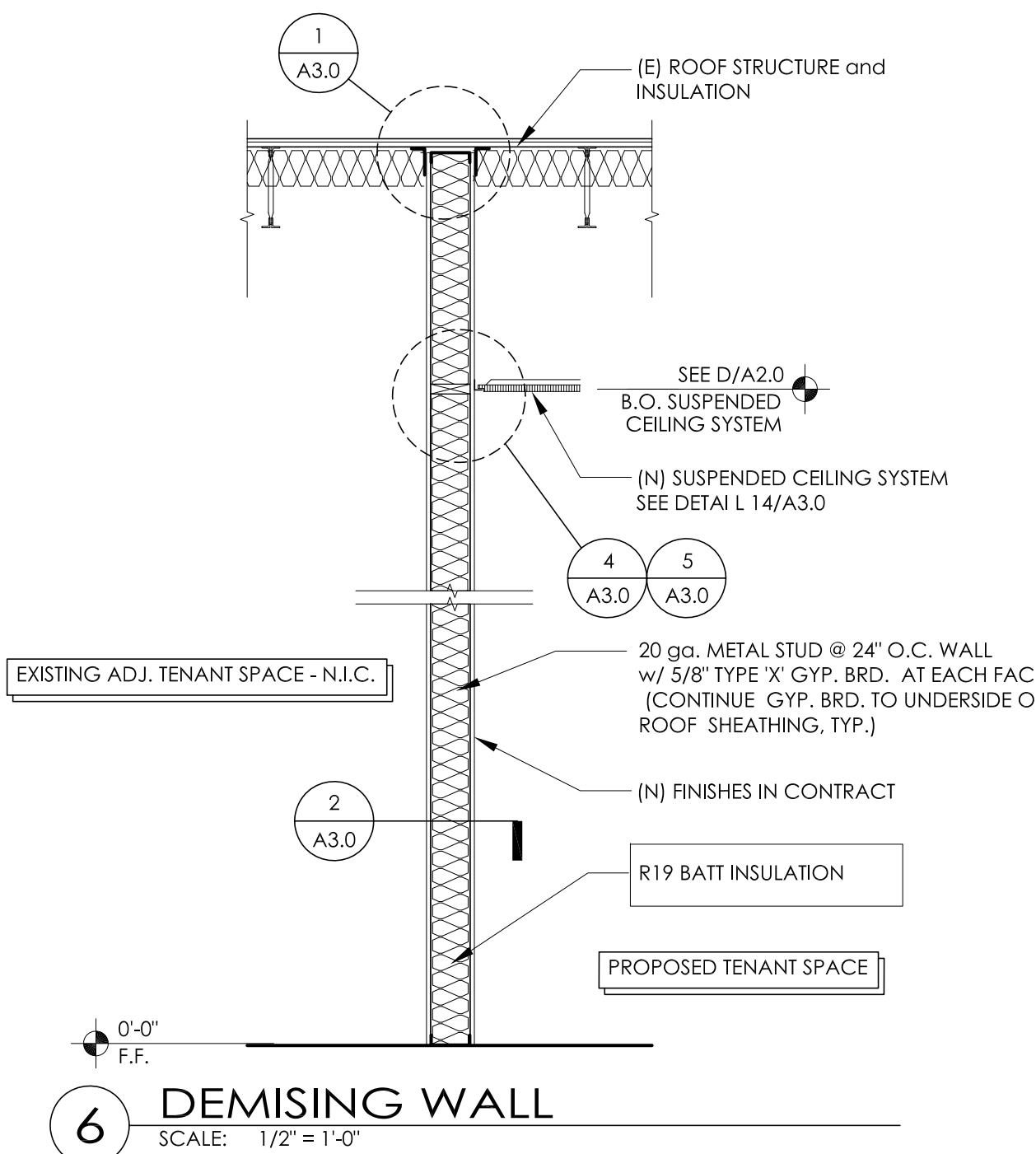
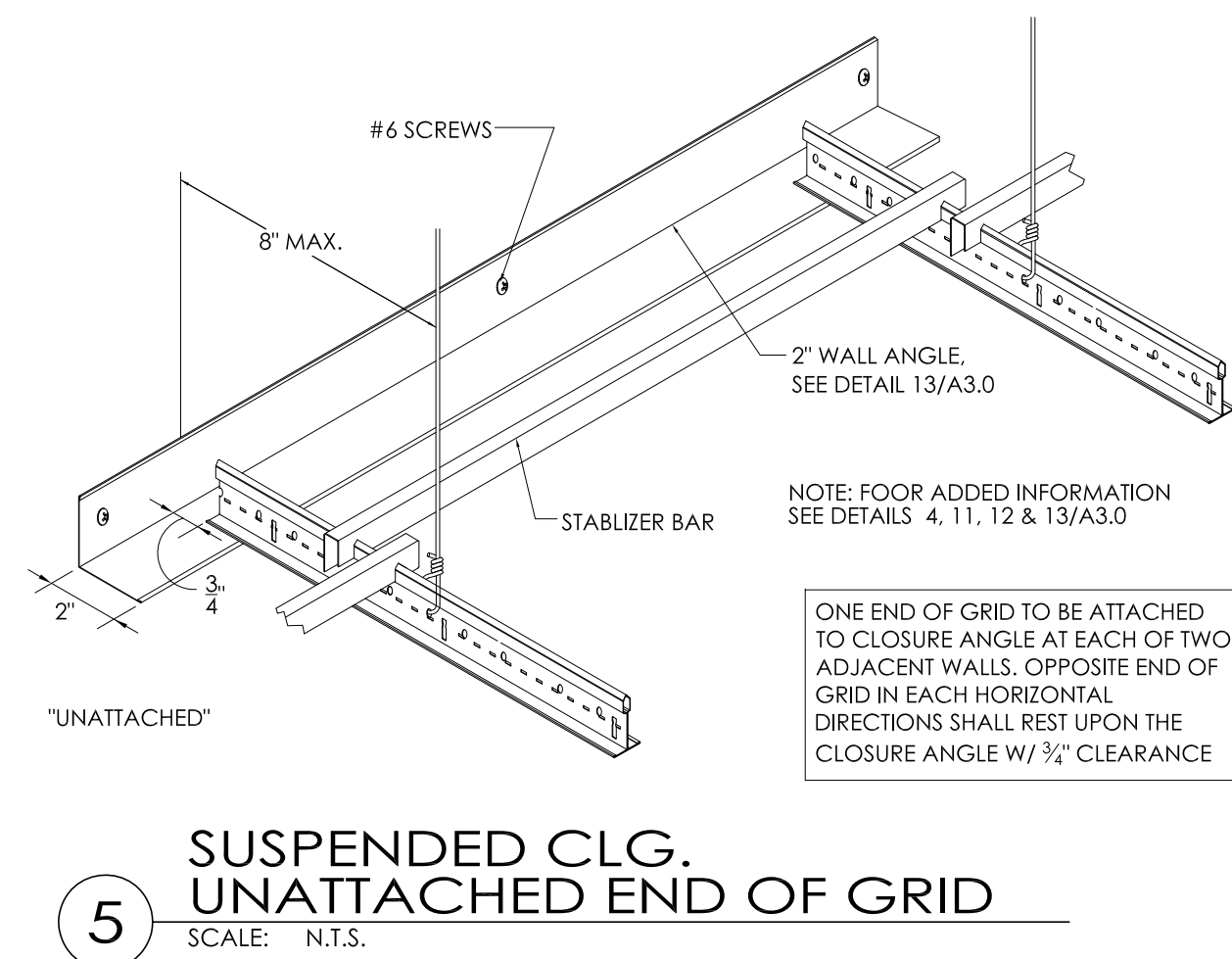
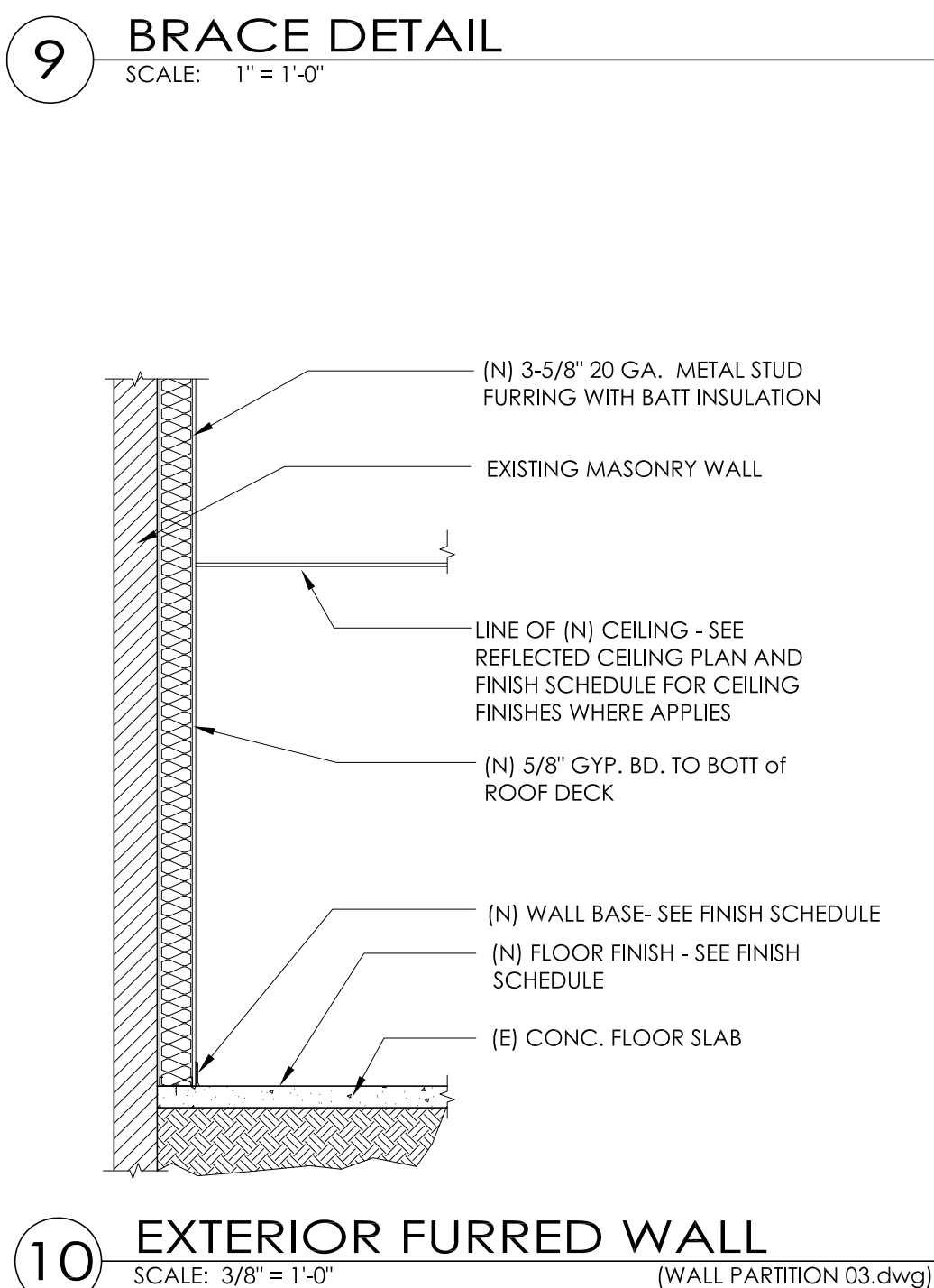
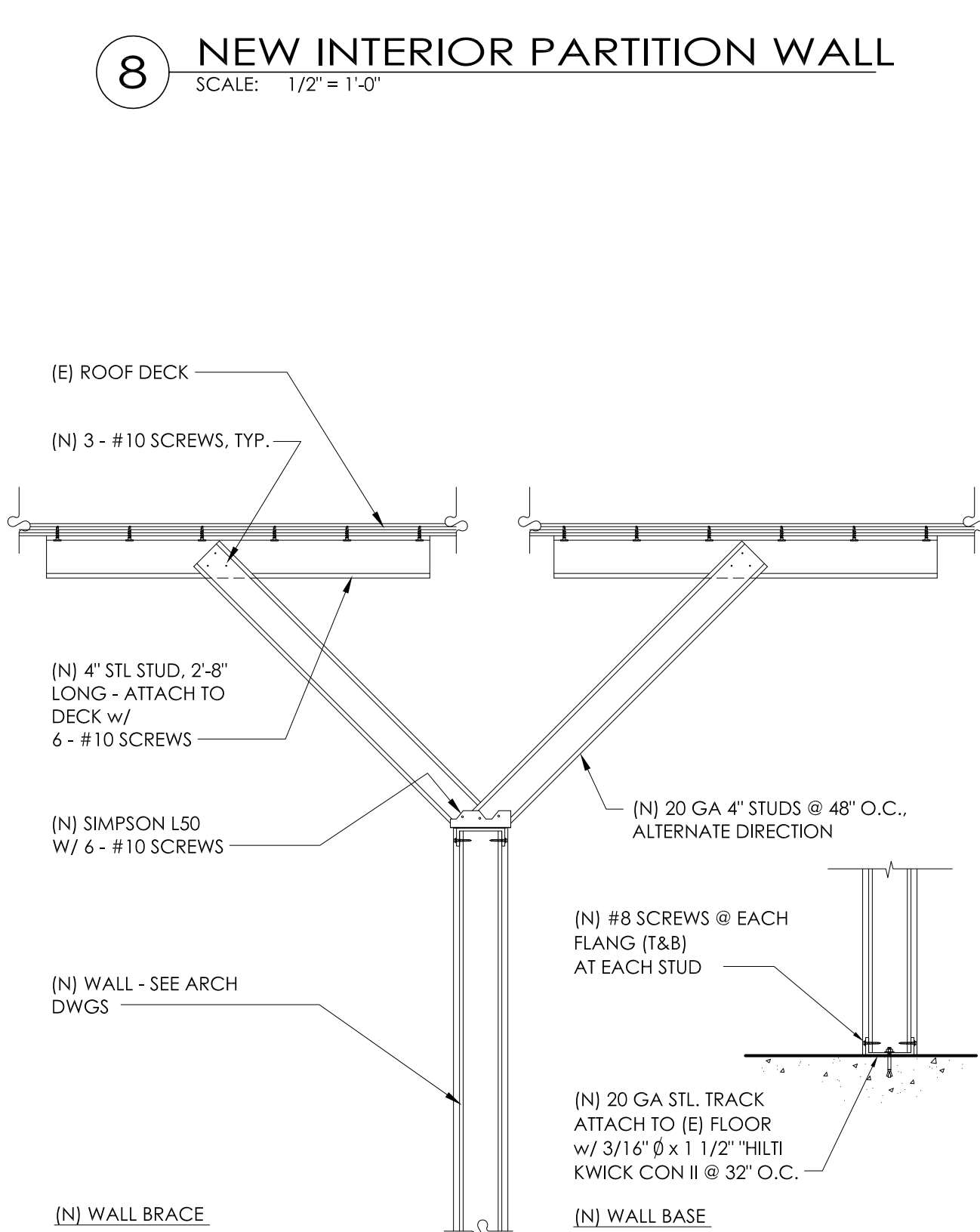
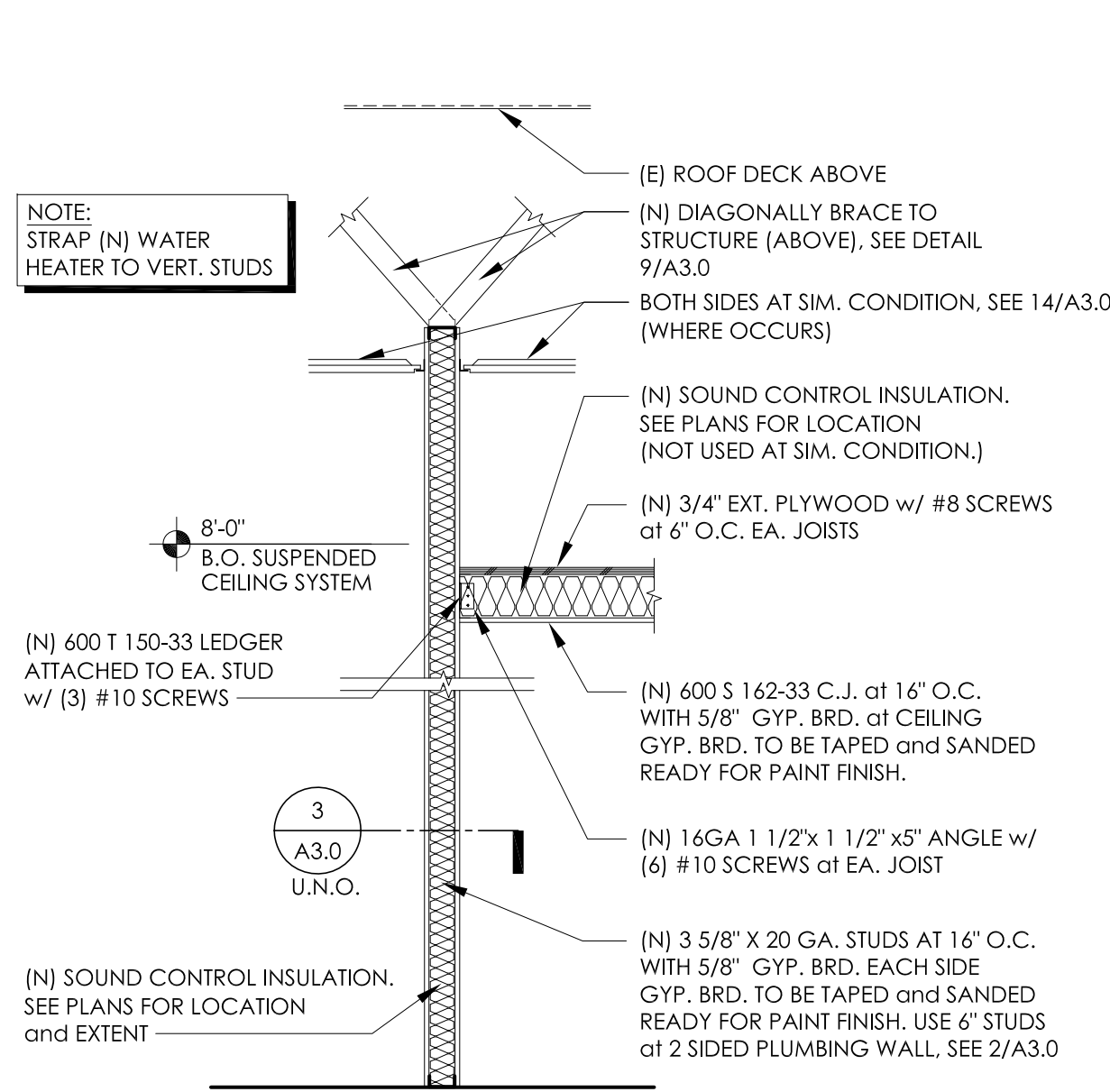
FOR CONTRACTORS REFERENCE ONLY
WEIGHT WATCHERS SPECIFICATIONS



CEILING LIGHTING CONDITION:
SEE DETAILS 4, 5, 11 & 12/A3.0 FOR ADDITIONAL INFORMATION.

- VERTICAL COMPRESSION STRUTS:
- 1'-0" TO 5'-10" USE 1/2" DIAMETER CONDUIT (EMT)
 - 5'-10" TO 7'-8" USE 3/4" DIAMETER CONDUIT (EMT)
 - 7'-8" TO 9'-9" USE 1" DIAMETER CONDUIT (EMT)
 - 9'-9" TO 12'-0" USE SINGLE 1625125-33 METAL STUD (1-5/8" X 20 GAUGE)
 - 12'-0" TO 15'-0" USE BACK TO BACK 1625125-33 METAL STUDS (1-5/8" X 20 GA)
 - ALT: 13'-6" USE SINGLE 2505125-33 METAL STUD (2-1/2" X 20 GAUGE)
 - ALT: 15'-0" USE BACK TO BACK 2505125-33 METAL STUDS (2-1/2" X 20 GAUGE)

- NOTES:
1. PERSCRIPTIVE DESIGN PER ASTM C. 635 (IBC / 25 / #2).
 2. SEE DETAILS 4, 5, 11 AND 12 THIS SHEET FOR RELATED CEILING AND FIXTURE SCOPE.



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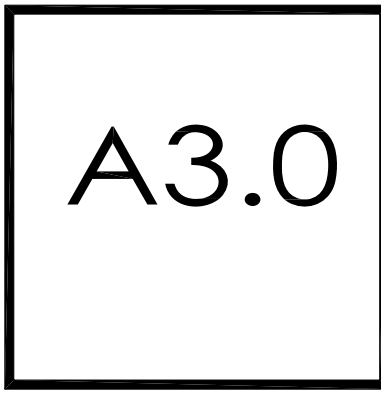
Tenant Improvements for:
WEIGHT WATCHERS
Hilfiker Square, Salem Oregon
4450 SE COMMERCIAL STREET, SALEM OREGON 97302

PROJECT NO. 12-124
DRAWN BY : JMP
CHECKED BY : KMG
DATE : 10-02-2012
REVISION :

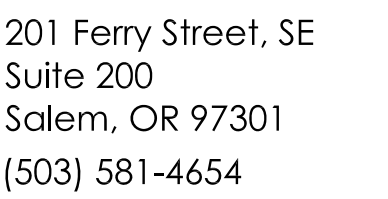


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FIXTURE
PLAN,
LEGEND and
MISC.
DETAILS



(AS-BUILTS 01/24/2013)



PROJECT NO.
12-124
DRAWN BY :
JMP
CHECKED BY :
KMG
DATE :
10-02-2012
REVISION :



A4.0



(AS-BUILTS 01/24/2013)