HILFIKER SQUARE

SHEET REFERENCE

SHEET REFERENCE

SHEET REFERENCE

DETAIL AREA -

SHEET REFERENCE

REFERENCE NUMBER

REFERENCE TITLE

REFERENCE SCALE

ROOM NUMBER

HEIGHT ABOVE

OF REFERENCE

WINDOW STYLE: LETTER DESIGNATIONS

DESIGNATIONS,

SHEET KEY NOTES RE **ELEVATIONS SHEET OF**

SHEET KEYED NOTES, AND MATERIAL FINISHES

SHEET COLOR KEY

FINISH FLOOR

DOOR TYPE

NUMBER

POINT, LINE, OR SURFACE

FINISH FLOOR

XXXX *

X'-X" A.F.F.

REFERENCE

SCALE: XXXX (BSA DETAIL NO.)

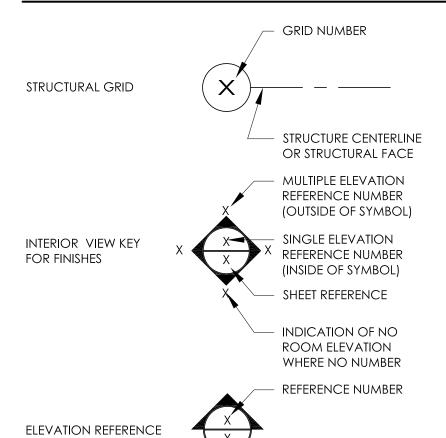
ARCHITECT'S DETAIL REF. NO.

REFERENCE NUMBER

REFERENCE NUMBER

REFERENCE NUMBER

LEGEND



BUILDING SECTION

DETAIL REFERENCE

DETAIL REFERENCE

PLAN, SCHEDULE, DETAIL SECTION, ELEVATION, AND

DIAGRAM REFERENCES

ROOM NUMBER POINT ELEVATION

WINDOW NUMBER

DOOR NUMBER

MATERIAL FINISH

ELEVATION DATUM

POINT, LINE, OR SURFACE OF REFERENCE EMERGENCY EXIT SIGN

X'-X" A.F.F.

REFERENCE

REVISION NUMBER PLAN CHANGE AFTER BID BUILDING NUMBER

GENERAL NOTES

JURISDICTIONAL BUILDING CODES and REGULATIONS.

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS and CONDITIONS ON THE DWGS, and ON THE JOB PRIOR TO EXECUTION OF ANY WORK and SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCY. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS INCURRED 2. ALL MATERIALS and WORKMANSHIP SHALL CONFORM with ALL STATE and LOCAL

3. NEITHER THE OWNER NOR THE ARCHITECT WILL ENFORCE SAFETY MEASURES or REGULA-TIONS. THE CONTRACTOR SHALL DESIGN, INSTALL, and MAINTAIN ALL SAFETY DEVICES and SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE, and FEDERAL SAFETY and HEALTH STANDARDS, LAWS and REGULATIONS. 4. PROVIDE FIRE EXTINGUISHERS with REQUIRED SIGNAGE AS PER BY FIRE DEPART.

MENT FIELD INSPECTOR. DURING CONSTRUCTION, PROVIDE A PORTABLE FIRE EXTINGUISHER with TYPE 2 A, 10 B, C RATING withIN 75 FOOT DISTANCE TO ALL PORTIONS OF THE BUILDING. 5. PLANS FOR ALL FIXED FIRE PROTECTION EQUIPMENT SUCH AS STANDPIPES, SPRINKLER SYSTEMS, and FIRE ALARM SYSTEMS MUST BE SUBMITTED TO and APPROVED BY THE FIRE MARSHALL, BUILDING DEPARTMENT, FIRE SPRINKLER ENGINEER, ARCHITECT, and TENANT

PRIOR TO INSTALLATION OF EQUIPMENT. 6. ALL DIMENSIONS TO FACE OF FINISH UNLESS OTHERWISE NOTED. DIMENSIONS BETWEEN DEMISING WALLS ARE TO CENTERLINE OF PARTITION. CONCRETE/MASONRY DIMENSIONS ARE GIVEN TO FACE OF CONCRETE/MASONRY and/or TO THE EDGE OF CONCRETE SLABS

7. PROVIDE BLOCKING at ALL PLYWOOD and GYPSUM BOARD SHEATHING EDGES and at BUTTED SHEET EDGES. REFER TO STRUCTURAL FOR NAILING INFORMATION.

8. THE CONTRACTOR SHALL CONSULT PLANS OF ALL TRADES FOR ALL OPENINGS and ROUGH-OUTS THROUGH SLABS, WALLS, CEILINGS and ROOFS FOR DUCTS, PIPES, CONDUITS, CABINETS and EQUIPMENT, and SHALL VERIFY SIZE and LOCATION BEFORE PROCEEDING

9. THE CONTRACTOR SHALL VERIFY ALL ROUGH-IN DIMENSIONS and EQUIPMENT, FURNISHED and INSTALLED BY HIMSELF/HERSELF or OTHERS PRIOR TO PROCEEDING with WORK.

10. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL NOTES and SYMBOLS

11. ALL WOOD IN CONTACT with CONCRETE or MASONRY SHALL BE PRESSURE TREATED.

13. DETAILED DRAWINGS and LARGER SCALE DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS. WHERE DISCREPANCIES OCCUR, THEY SHALL BE REPORTED TO ARCHITECT and ENGINEER FOR RESOLUTION AS SOON AS POSSIBLE AFTER DISCOVERY.

14. THIS PROJECT SHALL COMPLY with ALL ADA REQUIREMENTS.

15. ONE SET OF THE APPROVED PLANS BEARING THE STAMPS OF THE JURISDICTION'S BUILDING DIVISION MUST BE MAINTAINED ON THE PROJECT SITE THROUGHOUT ALL PHASES OF CONSTRUCTION and MUST BE MADE AVAILABLE TO BUILDING and FIRE INSPECTORS FOR REFERENCE DURING INSPECTION.

16 THESE DRAWINGS ARE FOR SHELL PERMIT ONLY. ALL TENANT IMPROVEMENT **WORK WILL REQUIRE SEPERATE PERMIT.**

17. ALL SIGN INSTALLATION REQUIRES A SEPARATE PERMIT.

18. ALL MECHANICAL WORK WILL REQUIRE SEPARATE PERMIT

19. FIRE SPRINKLER WATER LINE PERMIT IS REQUIRED

20. NEW OCCUPANCIES and TENANT IMPROVEMENTS with EITHER FIRE SPRINKLER or ALARM SYSTEMS SHALL BE PROVIDED with A KNOX BOX BRAND SECURITY KEY BOX AS A CONDITION OF OCCUPANCY. COORDINATE with LOCAL FIRE MARSHAL.

21. SITE BOUNDARY LINES, BOUNDARY DIMENSIONS and BOUNDARY DECLINATIONS ARE FOR REFERENCE ONLY. ACTUAL SITE CONDITIONS WILL VARY. THE CONTRACTOR SHALL BE DEEMED TO HAVE INSPECTED THE SITE and SATISFIED HIMSELF/HERSELF AS TO ACTUAL GRADES, LEVELS, DIMENSIONS and DECLINATIONS, and THE TRUE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED.

22. ADDRESS NUMBERS SHALL BE POSTED ON THE BUILDING IN A LOCATION THAT IS CLEARLY VISIBLE FROM THE PUBLIC ROAD. ADDRESS NUMBERS SHALL BE ILLUMINATED at NIGHT. ADDRESS NUMBERING SHALL HAVE A MINIMUM HEIGHT AS REQUIRED BY THE LOCAL JURISDICTION. NUMBERS SHALL BE OF A COLOR CONTRASTING with THEIR BACKGROUND. SUITE NUMBERS SHALL BE PROVIDED OVER EVERY EXTERIOR DOOR INTO A SUITE.

DEFERRED SUBMITTALS

PROJECT ARCHITECT or ENGINEER SHALL REVIEW ALL DEFERRED DRAWINGS, PLACE A SHOP DRAWING REVIEWED STAMP ON EACH SHEET, THE CONTRACTOR SHALL SUBMIT THE DOCUMENTS TO THE BUILDING DEPARTMENT FOR THEIR REVIEW and APPROVAL PER IBC 106.3.4.1

CONTRACTOR SHALL PROVIDE TO "SALEM" BUILDING DEPARTMENT, NEW FIRE ALARM MECHANICAL/ELECTRICAL SYSTEM DESIGN PER 'NFPA-FZ' , FOR APPROVAL PRIOR TO

MECHANICAL SYSTEM(S) CONTRACTOR SHALL PROVIDE TO "SALEM" BUILDING DEPARTMENT, ALL NEW MECHANICAL SYSTEM PLANS FOR APPROVAL PRIOR TO INSTALLATION

CONTRACTOR SHALL PROVIDE TO "SALEM" BUILDING DEPARTMENT, ALL NEW ELECTRICAL SYSTEM PLANS FOR APPROVAL PRIOR TO INSTALLATION

CONTRACTOR SHALL PROVIDE TO "SALEM" BUILDING DEPARTMENT, ALL NEW ELECTRICAL SYSTEM PLANS FOR APPROVAL PRIOR TO INSTALLATION

CODE ANALYSIS

PROJECT LOCATION: HILFIKER SQUARE, 4450 SE COMMERCIAL STREET, SALEM OREGON BUILDING CODE: 2010 OREGON STRUCTURAL SPECIALTY CODE (OSSC) 2010 OREGON MECHANICAL SPECIALTY CODE (OMSC) 2011 OREGON PLUMBING SPECIALTY CODE (OPSC) 2011 OREGON ELECTRICAL SPECIALTY CODE (OESC) 2010 OREGON ENERGY EFFICIENCY SPECIALTY CODE (OEESC) 2010 OREGON FIRE CODE (OFC) OCCUPANCY GROUP: CONSTRUCTION TYPE: III-B - FULLY SPRINKLED ZONE CLASSIFICATION: CR (COMMERCIAL RETAIL) 9.000.SE BASIC ALLOWABLE AREA: 27,000 SF INCREASE w/SPRINKLERS (x3): GROSS PROPOSED AREA: 1,916 SF (LEASED SPACE) NUMBER OF STORIES - TABLE 503 (IBC) M = 1 STORYMAXIMUM ALLOWABLE STORIES **ACTUAL NUMBER OF STORIES:** OPENINGS IN WALLS @ PROPERTY LINE ARE CONSIDERED FROM CENTERLINE OF PUBLIC WAY PER IBC 704.3 TENANT OCCUPANCY LOAD TO BE ESTABLISHED WITHIN TENANT IMPROVEMENT DOCUMENTS. TENANT IMPROVEMENT DOCUMENTS TO BE SUBMITTED UNDER SEPARATE CONTRACT. **BUILDING OCCUPANCY CALCULATIONS:** 826 G.S.F. / 30 = 28 823 G.S.F. / 15 = 55 ASSEMBLY

RESTROOMS 137 G.S.F. / 100 = 2 130 G.S.F. / 300 = 1 STORAGE TOTAL 1,916 G.S.F. (CALCULATED AT OCCUPIABLE FLOOR AREA) TOTAL OCCUPANT LOAD = 86

CALCULATIONS:

TOTAL OCCUPANT LOAD = 134 MINIMUM NUMBER OF EXITS REQUIRED (TABLE 1019.1) = 2 REQUIRED EXITS

ACTUAL NUMBER OF EXITS PROVIDED = 2 : OKMINIMUM EXIT WIDTH REQUIRED (TABLE 1005.1) = $(LOAD \times .15) = 21$ " ACTUAL EXIT WIDTH PROVIDED (TABLE 1019.1) = + 6'-0" ∴ OK EXIT TRAVEL DISTANCE W/ SPRINKLERS (TABLE 1016.1): 250 Feet

FIRE CORRIDOR RATING (TABLE 1017.7) NOT REQ'D. NOT REQ'D. REQUIRED SEPARATION (TABLE 508.3.3): RESTROOMS (CHAP. 29 / TABLE 29a): 134 OCC. MIN. REQ'D 2:51-100

PROVIDED: 2 UNISEX DRINKING FOUNTAIN REQUIRED: OCC. "A" REQUIRED TABLE 601 2010 IBC TYPE III-B (**) STRUCTURAL FRAME EXTERIOR BEARING WALLS 2 HRS INTERIOR BEARING WALLS 0 HRS INTERIOR BEARING WALLS 0 HRS NON-BEARING WALLS & PARTITIONS (INTERIOR) 0 HRS FLOOR CONSTRUCTION 0 HRS ROOF CONSTRUCTION

(***) An approved fire sprinkler system in accordance with 903.3.1.1 shall be allowed to be subsituted for 1-hr fire-restance-rated construction, provide such system is not otherwise required by other provisions of the code or used for an an allowable area increase in accordance with Section 506.3 or an allowable height increase in accordance with Section 504.2. The 1-hr substitution for the fire resistance of exterior walls shall not be permitted.

DIRECTORY

OWNER / DEVELOPER

MOUNTAIN WEST INVESTMENT CORPORATION 201 FERRY STREET SE SUITE 200

SALEM, OREGON 97301 PHONE: (503) 581-4654 CONTACT: Jim Tokarski; EMAIL: jim@mwinv.com

ARCHITECT

BENNER STANGE ASSOCIATES ARCHITECTS, P.C. 5200 S.W. MEADOWS RD. SUITE B130 LAKE OSWEGO, OREGON 97035 PHONE: (503) 670-0234

FAX: (503) 670-0235 CONTACT: KEVIN GODWIN E-MAIL: Kgodwin@bsaarch.com

BUILDING PLAN REVIEW

CITY OF SALEM 555 LIBERTY ST. SE, ROOM 320 SALEM, OREGON 97301 PHONE: (503) 588-6256 FAX: (503) 588-6115

HILFIKER ROAD

ARCHITECTURAL

COVER SHEET / SITE PLAN

SPECIFICATIONS (by WEIGHT WATCHERS)

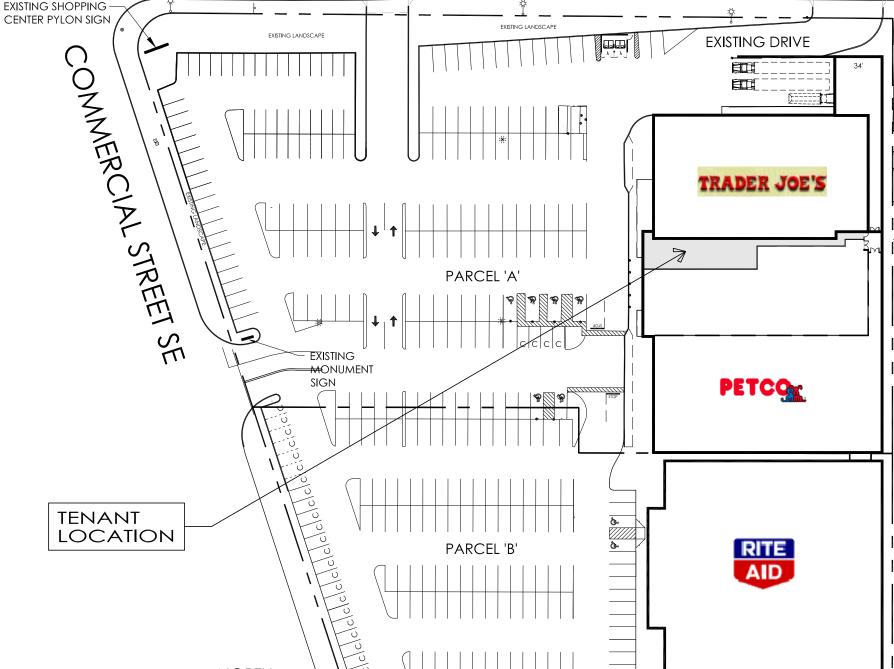
DETAILS and DOOR SCHEDULE

SHEET INDEX

SALEM, OREGON

PLANS and SCHEDULES

EXIT EGRESS PLAN



ABBREVIATIONS

ANCHOR BOLT ACOUST. ACOUSTIC/ACCOUSTICAL **ADJACENT** ABOVE FINISHED FLOOR **AGGREGATE** AGG. ALUM. ALUMINUM ANODIZED ANOD. **APPROX APPROXIMATE ARCHITECTURAL** ARCH. ASPHALT ASPH. AUTOMATIC AUTO. AMERICAN NATIONAL STANDARDS INSTITUTE BRD. BLDG. BUILDING BLOCKING BLK. / BLK'G.

BOTTOM BY OWNER CABINET CERAMIC **CENTER LINE** CEILING CLEAR

COLUMN

B.O.

CONN. CONST. CONT. CORR. C.M.U. Ø or DIA. (D) DEPT.

> EL./ELEV EQUIP.

CUBIC FEET PER MINUTE **CAST IRON CONTROL JOINT** CONCRETE MASONRY UNIT DIAMETER **DEMOLISH** DOUBLE DEPARTMENT DIMENSION DISPENSER DOWN DR. DOOR DWG. DRAWING DETAIL DOWNSPOUT DOUGLAS FIR

EXISTING

EQUIPMENT

ELECTRIC/ELECTRICAL

ELEVATION/ELEVATOR

EACH

CONCRETE

CONDITION

CONNECTION

CONTINUOUS

CORRIDOR

CUBIC

CONSTRUCTION

E.J. **EXPANSION JOINT** E.W. FOUNDATION F.F.E. FINISH FLOOR ELEVATION FLR. **FLOOR** FOOT FTG. FOOTING F.E.C. F.O.F. F.O.S. F.V. GALV. GA.

G.D.

EXIST.

EXT.

EXTING.

EXISTING

EXTERIOR

GLASS

GLU-LAM

GYP. BRD. GYPSUM BOARD

EXPANSION

FINISH FLOOR FIRE EXTINGUISHER CABINET FACE OF FINISH FACE OF MASONRY FACE OF STUD / SHEATHING FIELD VERIFY GALVANIZED GAUGE **GUTTER DRAIN** GENERAL GEN.

EXTINGUISH/EXTINGUISHER

HVAC MANUF./MFR. MAS. MAT. MAX. M.D.O.

MECH.

MEMB.

MEZZ.

HC/HCAP.

HOSE BIBB HOLLOW METAL NOM. **HEATING VENTILATION and** AIR CONDITIONING INSULATION OPG. INTERIOR JOIST LAMINATED LAVATORY MANUFACTURER MASONRY MATERIAL MAXIMUM

HANDICAPPED

HOLLOW CORE

HEADER

HOUR

HEIGHT

HORIZONTAL

MECHANICAL

MEMBRANE

MEZZANINE

OPENING OPP. OPPOSITE O.C. ON CENTER O.D. PERF. **PERFORATED** PLYW'D. PLYWOOD MEDIUM DENSITY OVERLAID REQ. REQUIRED **REVERSE**

MTL.

MANHOLE

MINIMUM

METAL

MODIFY

NOMINAL

NUMBER

MISCELLANEOUS

NOT IN CONTRACT

MASONRY OPENING

OVERFLOW DRAIN PARTICLE BOARD PROPERTY LINE/PLATE PRESSURE TREATED TEMP PAPER TOWEL DISPENSER TYP. REINFORCED/REINFORCING T&G T.C.I. ROOM

SQ. FT. SQUARE FEET SIMILAR SPEC. SPECIFICATION STD. STANDARD STOR. STORAGE STRUCT. STRUCTURAL SUSP. SUSPENDED SYS. SYSTEM S. and S. STAIN and SEAL STAIN and VARNISH SAW CUT/SOLID CORE S.D. SOAP DISPENSER S.M. SHEET METAL S.S. STAINLESS STEEL

SCHEDULE

SHEATHING

SQUARE

SECTION

SITE PLAN

SECT.

SHT'G.

SQ.

TYPICAL TONGUE and GROOVE TOP OF CURB TILE COUNCIL INSTITUTE TROWEL JOINT/TOOL JOINT

U.B.C. UNIFORM BUILDING CODE U.N.O. UNLESS NOTED OTHERWISE VEN. VERT. VERTICAL VINYL COMPOSITION TILE V.C.T. WOOD WIN. WINDOW WATERPROOF WEIGHT WIDTH WATER CLOSET WIDE FLANGE WATER HEATER

T.O.A. TOP OF ASPHALT PARKING

TOP OF DECK

TOP OF PLATE

TOILET PAPER

UNDERGROUND

TUBE STEEL

T.O.M. TOP OF MASONRY

T.P.D.

UG.

TOP OF FRAMING

TOP OF SHEATHING

TOILET PAPER DISPENSER

T.O.C. TOP OF CONCRETE / CURB

PROJECT LOCATION VICINITY

(AS-BUILTS 01/24/2013)

MOUNTAIN WES 201 Ferry Street, SE Suite 200

Salem, OR 97301 (503) 581-4654

0 0

Ore \bigcirc $\overline{\mathbb{Q}}$

PROJECT NO. 12-124 DRAWN BY: CHECKED BY KMG DATE 10-02-2012 REVISION 10.31.2012 PLAN CHECK



BENNER STANGE **ASSOCIATES** ARCHITECTS, INC. 5200 S.W. MEADOWS RD. LAKE OSWEGO, OR 97035 (503) 670-0234 FAX (503) 670-0235

bsa@bsaarch.com COVER SHEET

GENERAL INFO.

A0.0

ALL WORK SHOULD BE PERFORMED PER LOCAL, STATE, AND NATIONAL CODES INCLUDING COMPLIANCE WITH ADA REQUIREMENTS. ALL CONSTRUCTION WILL BE COMPLETED SO THAT AN OCCUPANCY PERMIT WILL BE GRANTED WITHOUT LIMITATION OR STIPULATION. ALL WORK WILL BE COMPLETED SO THAT WEIGHT WATCHERS AND ITS AFFILIATES INCLUDING BUT NOT LIMITED TO CASSIDY TURLEY ARE NOT SUBJECT TO LIENS OR IMPOSITIONS PLACED ON THE BUILDING OR PREMISES AS A RESULT OR IN CONJUNCTION WITH THE WORK PERFORMED ON BEHALF OF WEIGHT WATCHERS

ACCURATE FIELD MEASUREMENTS SHOULD BE TAKEN BEFORE ANY CONSTRUCTION BEGINS. DISCREPANCIES OR CHANGES SHOULD BE REPORTED TO WEIGHT WATCHERS/CASSIDY TURLEY IMMEDIATELY. CHANGES MADE IN THE FIELD OR WITHOUT WEIGHT WATCHERS/CASSIDY TURLEY KNOWLEDGE AND APPROVAL MAY RESULT IN A NON-COMPLIANCE OR NON-ACCEPTANCE OF THE PREMISES.

INTERIOR CONSTRUCTION SPECIFICATIONS

1. DEMOLITION

EXISTING CONDITIONS WILL WARRANT DEMOLITION TO ACHIEVE DESIGN INTENT; TENANT SPACE PLANS MAY OR MAY NOT INCLUDE FULL SCOPE OF DEMOLITION. GENERAL CONTRACTOR (GC) IS RESPONSIBLE FOR REMOVING EXISTING FINISHES IN AREAS THAT ARE TO RECEIVE NEW FINISHES. FLOOR SHOULD BE SMOOTH AND PREPARED FOR NEW GLUE-DOWN FLOORING APPLICATION; WALLS SHOULD BE SMOOTH AND PAINT READY.

LANDLORD WARRANTS THAT PREMISES ARE FREE OF ASBESTOS OR OTHER HAZARDOUS MATERIALS.

2. WALLS/PARTITIONS

REFER TO TENANT SPACE PLANS FOR LOCATION AND LENGTH OF NEW WALLS/PARTITIONS.

AT MINIMUM, ONE PARTITION IS TO BE CONSTRUCTED TO SEPARATE THE STORAGE AREA FROM THE CUSTOMER-USE AREA AS SHOWN, SEE PLANS. THE NEW PARTITION MAY HOUSE ELECTRICAL OUTLETS. HEIGHT OF NEW PARTITION TO UNDERNEATH OF CEILING UNLESS OTHERWISE REQUIRED BY CODE OR NOTED ON TENANT SPACE PLANS.

ALL NEW WALLS WILL BE CONSTRUCTED OF METAL STUDS, EXCEPT WHERE WOOD STUDS ARE ACCEPTABLE IF APPROVED BY LOCAL CODES, AND DRYWALL. ALL WALLS SHALL BE TAPED AND SANDED SMOOTH, PAINTED PER TENANT'S SPACE PLAN. VERIFY AND REPORT CONDITION OF DEMISING WALLS FOR: A) COMPLETION TO DECK ABOVE; B) 3" SOUND-BATT INSULATION INSTALLED BETWEEN STUDS; AND C) ALL PENETRATIONS FILLED AS REQUIRED PER CODE.

3. DOORS & WINDOWS

RE-USE EXISTING DOORS AND FRAMES WHEN POSSIBLE. ANY EXISTING DOORS BEING RE-USED SHALL BE TOUCHED UP AND RE-VARNISHED OR RE-PAINTED AS APPROPRIATE. APPROPRIATE QUANTITY AND SIZE OF DOORS WITH APPLICABLE EXIT HARDWARE MUST MEET STATE, LOCAL, AND ACCESSIBILITY CODES FOR OCCUPANCY AND EGRESS NEW INTERIOR DOOR(S) TO BE NO LESS THAN 3 FEET (36 INCHES) WIDE. ALL NEW INTERIOR DOOR(S) SHOULD MATCH EXISTING STYLE. DOOR(S) AND OTHER WOODWORK SHOULD BE STAINED OR PAINTED TO MATCH BUILDING STANDARD, UNLESS OTHERWISE NOTED ON TENANT'S SPACE PLANS. IF NO BUILDING STANDARD IS GIVEN, USE SOLID CORE PAINT GRADE DOORS UNLESS OTHERWISE NOTED ON TENANT'S SPACE PLAN. ALL DOORS TO RESTROOMS AND STORAGE AREAS MUST HAVE CLOSERS. ALL DOOR(S) TO EXTERIOR OR COMMON AREAS MUST HAVE CLOSERS WITH ADA COMPLIANT LATCHSET.

SUITE ENTRY DOOR(S) SHALL HAVE EXISTING OPERABLE OR RECEIVE NEW CLOSER(S). ALL DOOR(S) TO HAVE WALL OR FLOOR MOUNTED STOPS, CONSISTENT WITH THE REST OF THE PREMISES. PROVIDE NEW PASSAGE HARDWARE FOR NEW DOOR(S) TO MATCH EXISTING UNLESS OTHERWISE NOTED ON TENANT'S SPACE PLAN. WHEN NOTED ON TENANT SPACE PLAN FOR INCLUSION IN SCOPE, CONTACT BLIND EXPRESS TO MEASURE FOR SHADES ON INTERIOR WINDOWS; CONTRACTOR TO PROVIDE PLAN TO BLIND EXPRESS TO INDICATE WHICH WINDOWS SHOULD BE

BLIND EXPRESS CONTACT: ALBERT YU 770-664-1688 OR AYU@BLINDEXPRESS.NET SHADE INFORMATION: SHEERWEAVE ROLLER SHADES; FABRIC: SW3000; COLOR: CHOCOLATE.

4. PAINT

INCLUDED IN QUOTE.

ALL EXPOSED SURFACES IN AREAS SHALL BE PAINTED PER TENANT'S SPACE PLAN USING "SHERWIN WILLIAMS" PAINTS AND PRIMERS. WALLS MUST BE PREPPED WITH MINIMUM ONE COAT TINTED PRIMER FOLLOWED BY TWO COATS PAINT ON ALL WALLS RECEIVING NEW PAINT. ALL SURFACE PREPARATION MUST BE DONE IN ACCORDANCE WITH THE MANUFACTURER'S PRODUCT DATA LITERATURE AND LABEL INSTRUCTIONS. FINISH SHOULD BE CLEAN, DRY, SMOOTH AND EVEN IN COLOR, AND FREE OF ANY DIRT OR ADDITIONAL FOREIGN CONTAMINANTS, FOLLOW ALL MANUFACTURERS' RECOMMENDED SURFACE PREPARATION.

SHERWIN WILLIAMS PROMAR 200 ZERO VOC INTERIOR LATEX PRIMER B28W02600, TINTED

SHERWIN WILLIAMS PROMAR 200 ZERO VOC INTERIOR LATEX EG-SHEL B20-2600 SERIES COLOR: SW 6119 ANTIQUE WHITE ACCENT COLOR: SW 6508 SECURE BLUE

PAINT WALLS AS PER THE PAINT SCHEDULE AND AS DESIGNATED ON TENANT'S SPACE PLAN. PAINT BRAND NAME AND COLOR SUBSTITUTIONS ARE PROHIBITED UNLESS OTHERWISE NOTED ON TENANT'S SPACE PLAN. PAINT FINISH TO BE EGG-SHELL THROUGHOUT. PAINT COLOR TRANSITIONS SHOULD OCCUR AT INTERIOR CORNERS ONLY UNLESS OTHERWISE NOTED ON

ASSUME ONE TRIP FOR TOUCH UP PAINT AFTER FLOORING INSTALLATION AND FURNITURE DELIVERY. TOUCH UP PAINT SHOULD BE LEFT IN THE TENANT'S STORAGE AREA, CLEARLY LABELED WITH BOTH COLOR SPOT AND PAINT COLOR NAME ON LID.

ALL FLOORING MATERIAL (INCLUDING CARPET, VCT, BASE, AND VINYL) AND INSTALLATION SHOULD BE INCLUDED IN GENERAL CONTRACTOR'S SCOPE OF WORK. MATERIAL MUST MATCH THE EXACT SPECIFICATIONS ON TENANT'S SPACE PLAN. INSTALLATION METHOD FOR CARPET, VINYL, VCT AND VINYL BASE IS DIRECT GLUE. SEE MANUFACTURER'S INSTRUCTIONS FOR POST-INSTALLATION/CLEANING INSTRUCTIONS.

CONCRETE FLOOR TO BE SMOOTH AND CLEAN, READY FOR FLOORING INSTALLATION. ALL FLOORING SHOULD BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.

FLOORING SPECIFICATIONS: NO SUBSTITUTIONS PERMITTED; ORDER ONLY FROM SPECIFIED SOURCE.

CARPET: BIGELOW COMMERCIAL CARPET [*FLOORING INSTALLER TO DETERMINE MOST EFFICIENT INSTALLATION METHOD] STYLE - WW NON PATTERNED LOOP CARPET #0907

VINYL: MOHAWK COMMERCIAL HARD SURFACE VINYL PLANK

STYLE - WW VINYL PLANK #1013, ADHESIVE - MOHAWK VINYL ADHESIVE DS100 (INCLUDED IN DELIVERED PRICE)

TROWEL SIZE - 1/16 X 1/32 X 1/32 (ATTACHMENT SHIPPED W/ ADHESIVE).

CARPET & VINYL CONTACT: JIM BERARDI S O S FLOORING SOLUTIONS CELL 646-831-0697 EMAIL: JBERARDI@SOSELOORINGSOLUTIONS.COM

FLOORING TRANSITION: (BETWEEN CARPET AND VINYL PLANK) JOHNSONITE CTA 92-A (1/4" CARPET TO 1/8" RESILIENT) COLOR: 92 - BLUE LAGOON SOURCE LOCALLY

VINYL BASE: (THROUGHOUT)

JOHNSONITE 1/8" X 4" VINYL BASE COLOR: 92 - BLUE LAGOON

SOURCE LOCALLY

VCT: (FOR RESTROOMS, STORAGE ROOMS, NON-CUSTOMER AREAS, ETC.) MANNINGTON 12"X12" VINYL COMPOSITION TILE

COLOR - GLACIER SOURCE LOCALLY CARPET TRANSITION

VINYL FLOORING NOTE: LAMINATE TO CARPET TRANSITION SAMPLE FLOORING INSTALLATION

TEMPERATURE OF 72 DEGREES.

UNIT(S) MUST BE APPROPRIATELY SIZED FOR THE SIZE OF THE PREMISES AS PER MANUFACTURER'S AND/OR MECHANICAL ENGINEER'S RECOMMENDATIONS FOR CAPACITY AND REGIONAL TEMPERATURE AND HUMIDITY CONSIDERATIONS. LANDLORD TO PROVIDE A MAINTENANCE REPORT BY A CERTIFIED HVAC TECHNICIAN PRIOR TO THE DELIVERY DATE SHOWING AGE OF UNIT, AND VERIFYING IT IS IN GOOD WORKING ORDER.

THERMOSTATS SHOULD BE CHECKED AND OPERATIONAL. CONFIRM AND REPORT PLACEMENT IS PER TENANT'S SPACE PLAN. MANUALS FOR PROGRAMMING AND OPERATION SHOULD BE LEFT FOR THE TENANT'S REFERENCE. AIR BALANCE AND OUTSIDE AIR INTAKE PER ASHRAE STANDARDS. INSTALL NEW FILTERS POST-CONSTRUCTION, PRIOR TO OCCUPANCY WITH A MERV 11. AIR RETURNS AND DIFFUSERS SHOULD BE WHITE TO MATCH CEILING GRID AND TILE (OR DRYWALL AS APPLICABLE). IF EXISTING, MUST BE FREE FROM DUST, DIRT, RUST OR STAINS, OR SHOULD BE PAINTED TO MATCH

WHITE CEILING GRID FOR A LIKE-NEW APPEARANCE. PROVIDE VENTILATION/EXHAUST TO OUTSIDE AT RESTROOM WHERE NOT EXISTING.

IF UNITS ARE EXISTING: AFTER THE COMPLETION OF CONSTRUCTION BUT PRIOR TO OCCUPANCY, CLEAN THE SYSTEM AND REPLACE FILTERS (MERV 11 OR HIGHER), CHECK FLUIDS AND GASES, AND BALANCE EXISTING SYSTEM TO TAKE INTO ACCOUNT DEMO OR NEW CONSTRUCTION. VERIFY THERMOSTAT IS OPERATIONAL AND ALL ROOMS HAVE ADEQUATE SUPPLY AND RETURN GRILLES FOR COMFORT OF WORKING ENVIRONMENT WITH AIR CIRCULATION.

CONTROLS: ALL CONTROLS FOR WEIGHT WATCHERS PREMISES TO OPERATE ONLY THE DUCT, DIFFUSERS, FTU, VAV OR OTHER RELATED HVAC EQUIPMENT INSIDE THE WEIGHT WATCHERS PREMISES. NO OTHER SUITE, TENANT, CORRIDOR OR UNIT TO BE CONNECTED TO THE "SYSTEM" OR CONTROLS FOR THE WEIGHT WATCHERS PREMISES. PROGRAMMABLE THERMOSTATS SHOULD BE SET AT A MINIMUM TEMPERATURE OF 68 DEGREES AND A MAXIMUM

7. PLUMBING/RESTROOM

RESTROOM(S) ARE TO BE ADA-COMPLIANT RESTROOM(S) AS REQUIRED BY CODE. RESTROOM FINISHES WILL ALSO BE DETERMINED BY TENANT'S SPACE PLAN.

LAVATORY SINK(S) MUST HAVE HOT AND COLD-WATER SERVICE AND ALL FACILITIES MUST ADHERE TO ANY LOCAL, STATE, OR NATIONAL CODES AND ORDINANCES, INCLUDING BUT NOT LIMITED TO THE MODIFICATION OF AN EXISTING RESTROOM. IF LAVATORY SINK(S) EXIST OUTSIDE OF THE RESTROOM(S) PER TENANT'S SPACE PLAN, MUST ALSO HAVE HOT AND COLD WATER-SERVICE AND COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES.

RESTROOM FIXTURES MUST BE IN GOOD CONDITION (I.E. IN GOOD OPERATION AND FREE OF STAINS, CRACKS OR LEAKS). FIXTURES AND ACCESSORIES IN EACH RESTROOM ARE TO BE COMMERCIAL GRADE AND INCLUDE WASH BASIN, TOILET (IF NEW TOILET, PROVIDE ZURN #Z5560-RH OR APPROVED EQUAL), EXHAUST FAN, C-FOLD HAND TOWEL DISPENSER, TOILET PAPER DISPENSER, MIRROR, AND ADA COMPLIANT GRAB BARS.

ADD WATER/DRINKING FOUNTAIN AND MOP SINK AS REQUIRED BY LOCAL CODE.

INSTALL 18"W X 30"H X 12"D WHITE WALL CABINET AT 5'-0" AFF (TO BOTTOM) ABOVE TOILET. MOUNT WITH 100LB. ANCHORS. SOURCE LOCALLY FROM BIG BOX RETAILER. (IF CABINET IS NOT ALLOWED BY LOCAL CODE, INSTALL ON WALL OF RESTROOM ABOVE TOILET 36" WIDE X 12" DEEP WIRE STAINLESS STEEL SHELF AT 7'-0" AFF; MOUNT IN EXISTING WALL SECURELY USING (MINIMUM) 100LB ANCHORS. PURCHASE LOCALLY FROM BIG BOX RETAIL. POST

NOTIFICATION ON SHELF "FOR PAPER PRODUCTS ONLY.")

8. CEILING

ALL CEILINGS SHOULD BE FREE FROM STAINS AND DIRT; TILES SHOULD BE FREE FROM CHIPS AND BREAKS. ALL TILES SHOULD BE THE SAME COLOR AND STYLE. THE GRID SHOULD BE EVEN, FREE FROM HOLES (OR FILLED), AND SHOULD BE CLEAN, CONSISTENT IN COLOR THROUGHOUT. INSTALLATION OF CEILING GRID AND COMPONENT TO COMPLY WITH ALL LOCAL CODES FOR RENOVATION OR NEW INSTALLATIONS.

INSTALL SEISMIC BRACING AND TIES ABOVE CEILING AS REQUIRED BY LOCAL, STATE OR NATIONAL CODES.

-IF EXISTING: ACOUSTICAL CEILINGS: 2'x2' WHITE LAY-IN TILES INSTALLED THROUGHOUT THE PREMISES.

DRYWALL CEILINGS: SHOULD BE LEVEL, HAVE A SMOOTH TEXTURE, AND SHOULD BE PAINTED WHITE. UNLESS OTHERWISE NOTED ON TENANT SPACE PLANS, TNSTALL WHITE ARMSTRONG DUNE ANGLED TEGULAR ACOUSTIC TILE 1774 2'x2'x5/8". INSTALL AT MINIMUM 10'-0" A.F.F. UNLESS OTHERWISE NOTED ON TENANT SPACE PLAN.

9. ELECTRICAL

ELECTRICAL TO INCLUDE ALL NEW OUTLETS PER TENANT'S SPACE PLAN. ELECTRICIAN SHOULD INCLUDE AT MINIMUM ONE (1) QUAD ISOLATED, DEDICATED GROUND OUTLET AND ONE (1) DUPLEX ISOLATED, DEDICATED GROUND OUTLET AT PHONE BOARD HOUSING PHONE, SWITCH, MODEM AND ROUTER. SEE TENANT'S SPACE PLAN FOR DIMENSIONED LOCATIONS; THESE OUTLETS SHOULD BE DESIGNATED WITH AN ORANGE SOCKET FACE AND FACE PLACE. RESTROOM(S) SHOULD HAVE GFCI OUTLETS LOCATED NEXT TO LAVATORY/SINK.

A QUAD AND DUPLEX OUTLET ARE REQUIRED AT EACH WEIGH & PAY STATION, A QUAD OUTLET IS REQUIRED AT THE ENROLLMENT CART, AND A DUPLEX IS REQUIRED AT THE HANDICAP SCALE. SEE TENANT SPACE PLAN FOR ALL DIMENSIONED OUTLET LOCATIONS.

AT DIMENSIONED LOCATION ON TENANT SPACE PLAN, INSTALL A QUAD OUTLET AND DATA JACK AT THE 'LEADER CREDENZA' (IN THE MEETING ROOM OF THE SPACE) AT 1'-6" AFF AND A DUPLEX OUTLET AT 5'-6" AFF FOR TELEVISION. EXISTING OUTLETS CAN BE USED TO MEET THE REQUIREMENTS FOR GENERAL-PURPOSE OUTLETS IF LOCATED WITHIN 24" OF THE NEW OUTLET ON TENANT'S SPACE PLAN. SOCKET FACES AND FACE PLATES TO BE CONSISTENT COLOR THROUGHOUT (ALMOND ONLY); REPLACE AT EXISTING, RE-USED OUTLETS AS NEEDED TO ACHIEVE CONSISTENCY W/ REQUIRED COLOR. ELECTRICAL CONTRACTOR TO VERIFY EXISTING ELECTRICAL PANEL WILL ACCOMMODATE WEIGHT WATCHERS REQUIREMENTS; SUGGESTED MINIMUM OF 200 AMP PANEL. PANEL MUST BE SIZED APPROPRIATELY TO HANDLE TENANTS HVAC, WATER HEATER, LIGHTS, GENERAL-PURPOSE RECEPTACLES, DEDICATED SIGN CIRCUIT(S), AND OTHER CONNECTED LOAD SHOWN ON TENANT'S SPACE PLAN. ELECTRICAL SYSTEM AND WIRING MUST BE IN GOOD WORKING ORDER AND IN COMPLIANCE WITH LOCAL, STATE OR NATIONAL CODE.

LANDLORD TO PROVIDE SEPARATELY METERED ELECTRIC SERVICE FOR WEIGHT WATCHERS PREMISES ONLY. SERVICE TO INCLUDE SEPARATE ELECTRIC PANEL HANDLING TENANT CONNECTED LOAD ONLY.

DEDICATED SIGN CIRCUIT(S) FOR ILLUMINATED SIGNAGE MUST BE IN PLACE AS FOLLOWS: VERIFY EXISTENCE AND FUNCTIONALITY OF SIGN CIRCUIT ALONG SIGN BAND SERVING ALL APPLICABLE SUBJECT FACE(S). EXISTING CIRCUIT(S) MUST BE LOCATED IN/ON THE SIGN BAND ABOVE THE SUBJECT PREMISES AND WITHIN SIX FEET (6') OF THE CENTERLINE OF THE PREMISES. THE CIRCUIT SHOULD BE DIRECT FEED FROM THE ELECTRICAL PANEL WITHIN THE TENANT'S PREMISES AND BE FED THROUGH A TIME CLOCK. SHOULD THE CIRCUIT NOT EXIST AND/OR BE DEEMED NON-FUNCTIONAL, INSTALL NEW DEDICATED SIGN CIRCUIT, AND JUNCTION BOX TO BE MOUNTED WITHIN THE SIGN BAND NO MORE THAN SIX FEET (6') FROM THE CENTERLINE OF THE SUBJECT PREMISES. INSTALL NEW TIME CLOCK NEAR ELECTRICAL PANEL.

10. LOW VOLTAGE

CONFIRM AND REPORT THAT PREMISES PHONE DEMARCATION (D-MARC) IS LOCATED IN THE STORAGE ROOM AND/OR IN A CLOSET: D-MARC AND PHONE BOARD SHOULD NOT BE VISIBLE OR EASILY ACCESSIBLE TO CUSTOMER AREAS. PREMISES MUST BE BROADBAND, DSL, OR CABLE READY.

AT THE PREMISES D-MARC (UNLESS OTHERWISE NOTED ON TENANT SPACE PLAN), INSTALL MINIMUM 24"X36" FIRE-RATED PLYWOOD PHONE BOARD.

PHONE BOARD:

- a) PULL VOICE LINE (PROVIDED BY PHONE COMPANY) TO WEIGH & PAY STATION AS DIMENSIONED FOR PHONE/FAX (TWO-GANG PLATE WITH ONE (1) RJ-11 JACK FOR VOICE AND ONE (1) RJ-45 JACK FOR DATA AT PHONEBOARD PROVIDED BY OTHERS).
- b) INSTALL A FOUR-GANG RJ-45 PLATE; ALLOCATE ONE JACK EACH PER WORKSTATION, LABEL "CHAMP STATION 1," "CHAMP STATION 2," AND "CHAMP STATION 3;" ONE WILL BE LEFT BLANK. GC TO RUN CAT5E PLENUM RATED CABLE FROM PHONE BOARD TO EACH WORKSTATION IN TENANT PREMISES AND TERMINATE ON WALL WITH AN RJ-45 JACK. SEE TENANT SPACE PLAN FOR DIMENSIONED WORKSTATION LOCATIONS.
- c) INSTALL A TWO-GANG RJ-45 PLATE; ALLOCATE ONE JACK FOR ENROLLMENT CART AND LABEL AS SUCH; ALLOCATE THE OTHER FOR TELEVISION AT LEADER CREDENZA AND LABEL AS "TV". GC TO RUN CATSE PLENUM RATED CABLE FROM PHONE BOARD TO TELEVISION AS DIMENSIONED ON TENANT SPACE PLAN AND TERMINATE IN WALL WITH RJ-45

USE "ALMOND COLORED" FACE PLATE UNLESS OTHERWISE NOTED ON PLANS. TERMINATIONS MUST OCCUR WITHIN TWO (2) FEET OF THE DIMENSIONED POINT. ALL STRUCTURED CABLING TO BE SUPPORTED FROM STRUCTURE USING J-HOOKS. NOTE: ALL LOW VOLTAGE WIRING AND TERMINATIONS ARE TO BE BY GC.

11. LIGHTING

GENERAL LIGHTING:

LAY-IN LIGHT FIXTURES SHOULD BE PLACED NO LESS THAN 1 FIXTURE FOR EVERY 80 SQUARE FEET UNLESS OTHERWISE NOTED ON TENANT'S SPACE PLAN. MINIMUM ONE FIXTURE SHOULD BE WIRED AS NIGHT LIGHT FOR SAFETY. REFER TO TENANT'S SPACE PLAN, REFLECTED CEILING PLAN FOR FIXTURE PLACEMENT

IF EXISTING: VERIFY THAT ALL LENSES AND LAMPS ARE CONSISTENT IN STYLE AND COLOR. LENSES, IF ANY, MUST BE FREE OF -STAINS AND CONSISTENT IN TYPE, STYLE, COLOR, TEXTURE, ETC.

WHEN REPLACING OR ADDING SOME BUT NOT ALL OF THE FIXTURES, INSTALLS FIXTURES TO MATCH EXISTING, ENSURING THAT ALL FIXTURES ARE OF CONSISTENT STYLE. REPLACE LAMPS IN ALL FIXTURES.

-IF ALL NEW: UNLESS OTHERWISE NOTED ON TENANT SPACE PLANS, INSTALL 2'X2' LAY-IN COOPER LIGHTING METALUX -OVATION SERIES - 3500K TEMPERATURE: [MODEL: 2RDI-2BX40RP-120V-EB81-U] : CONTACT E. SAM JONES DISTRIBUTOR BELOW TO ORDER. USE SURFACE MOUNTED FIXTURES (T-8 FLUORESCENT TUBES WITH ELECTRONIC BALLASTS) WITH WHITE TRIM IN DRYWALL CEILINGS ONLY.

TRACK AND SPOT LIGHTS:

GENERAL CONTRACTOR SHOULD INCLUDE PACKAGED/KIT MATERIALS AND INSTALLATION IN SCOPE OF WORK. TRACK LIGHTING AND WINDOW SPOT LIGHTS TO BE INSTALLED PER TENANT'S SPACE PLAN.

TRACK LIGHT KIT:

TRACK LIGHTS TO BE INSTALLED AT CEILING GRID ON FIXED STEMS; LENGTH OF STEMS IS CONTINGENT UPON THE CEILING HEIGHT (GREATER THAN OR EQUAL TO 9'-0" AFF OR LESS THAN OR EQUAL TO 8'-11" AFF).

MONOPOINT SPOT LIGHT KIT:

MONOPOINT SPOT LIGHTS TO BE INSTALLED ON FIXED STEMS. INSTALL IN CENTER OF WINDOW MULLION UNLESS OTHERWISE NOTED ON TENANT SPACE PLANS. PLACE AS CLOSELY TO WINDOW FACE AS POSSIBLE (WITHIN 5" WHENEVER POSSIBLE). LENGTH OF STEMS IS CONTIGENT UPON CEILING HEIGHT (BOTTOM OF LIGHT FIXTURE TO BE INSTALLED BETWEEN 8'-6" AFF AND 7'-6" AFF. CONTACT CASSIDY TURLEY FOR ANY DISCREPANCIES).

TO ORDER COOPER LIGHTING GENERAL LIGHTING, TRACK, AND SPOTLIGHT KITS, CONTACT: E. SAM JONES DISTRIBUTOR - LINDSEY WILLIAMS, LWILLIAMS@ESAMJONES.COM PHONE: 404-351-3250 X 226 OR 800-624-9849, FAX: 404-351-4140 OR 800-282-2094

A SWITCH PANEL SHOULD OCCUR AT PRIMARY EGRESS DOOR UNLESS OTHERWISE NOTED ON TENANT'S SPACE PLAN WITH SEPARATE SWITCHES FOR 1) GENERAL OVERHEAD LIGHTING (3-WAY SWITCH AT EACH EGRESS DOOR), 2) TRACK LIGHTS, AND 3) WINDOW MONOPOINT SPOT LIGHTS. A SWITCH SHOULD OCCUR IN EACH RESTROOM AND IN EACH ENCLOSED STORAGE ROOM. VERIFY EMERGENCY/EXIT LIGHTING MEETS CODE REQUIREMENTS. MINIMUM ONE FIXTURE SHOULD BE WIRED (UNSWITCHED) AS NIGHT LIGHT FOR SAFETY.

12. FIRE PROTECTION

PROVIDE FIRE SUPPRESSION SYSTEM TO ACCOMMODATE NEW PARTITION LAYOUT IN ACCORDANCE WITH ALL STATE AND LOCAL CODES. WORK TO INCLUDE OBTAINING ALL RELATED PERMITS AND INSPECTIONS REQUIRED BY GOVERNING AUTHORITIES. SCOPE OF WORK TO INCLUDE REQUIRED FIRE EXTINGUISHERS.

IF EXISTING: PROVIDE SPRINKLER LAYOUT WITH EXISTING AND ADDITIONAL HEADS AS REQUIRED TO MEET STATE AND LOCAL CODES. HEADS SHOULD BE DROPPED TO ACCOMMODATE NEW PARTITION LAYOUT; VERIFY AND REPORT HEADS ARE POSITIONED IN THE TILE. INCLUDE NECESSARY PERMITS AND INSPECTIONS.

SCOPE INFORMATION:

1. LLD TURNING OVER SPACE: TURNKEY

2. CEILING GRID: INSTALL NEW PER WWI SPECIFICATIONS @ 10'-0" AFF.

3. CEILING TILES: INSTALL NEW PER WWI SPECIFICATIONS.

4. LIGHTING: INSTALL NEW PER WWI SPECIFICATIONS (1 FIXTURE/ 80 SF).

5. HVAC: INSTALL NEW HVAC SYSTEM PER WWI SPECIFICATIONS (1 TON/ 300 SF)

6. FINISHES: ALL NEW FINISHES WITHIN TENANT SPACE.

7. TOILETS: CONFIRM EXISTING FIXTURES ARE ADA COMPLIANT IN RESTROOM 105, RESTROOM 106 PROVIDE (N) TOILET, (R) SINK, (R) GRAB BARS, (R) TOILET PAPER HOLDER, (R) MIRROR AND PROVIDE (N) NAPKIN HOLDER at 105 & 106).

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MOUNTAIN WEST

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Salem, OR 97301

(503) 581-4654

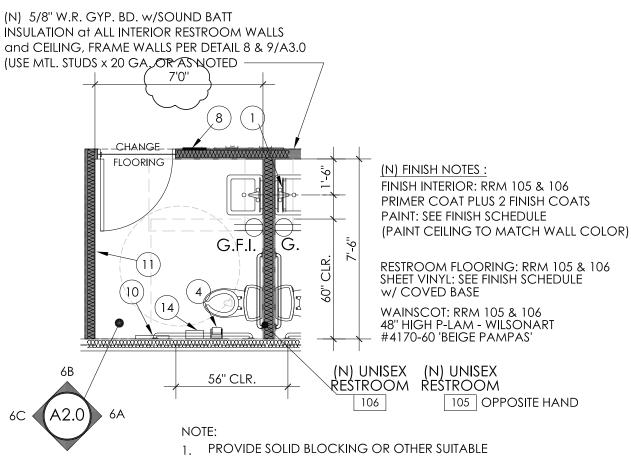
Suite 200

PROJECT NO. WW #42241 DATE:

10-01-2012 **REVISION:**

GENERAL SPECIFICATIONS & SCOPE INFO.

FOR CONTRACTORS REFERENCE ONLY WEIGHT WATCHERS SPECIFICATIONS



BACKING AT LOCATIONS INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING: EDGES WHERE FINISH MATERIALS CHANGE, GRAB BARS, TOILET, PARTITIONS DOORSTOPS, SHELF BRACKETS, HANDRAILS AND ALL MOUNTED EQUIPMENT, INCLUDING TOILET FIXTURE FLUSH CONTROL VALVES SHALL BE LOCATED

- 2. EQUIPMENT FURNISHED BY OWNER. ON THE OPEN SIDE OF THE FIXTURE SPACE
- 3. ALL WALLS AND CEILING SHALL HAVE SOUND BATT INSULATION, TYPICAL.
- 4. OPPOSITE CONDITION OCCURS WHERE RESTROOM ARE A MIRRORED (opposite hand).
- 5. FLUSH HANDLE TO OPEN SIDE OF W.C., REQUIRED by CODE. 6. SEE RESTROOM KEYNOTES FOR ADDITIONAL INFORMATION.

SERIES; COLOR: SW6119 ANTIQUE WHITE (P1)

ACCENT COLOR: SW6508 SECURE BLUE (P2)

NOTE: ALL PARTITIONS TO BE PAINTED P1-SW6119 U.N.O. ON PLAN

CARPET (C1): BIGELOW COMMERCIAL CARPET, STYLE - WW NON

VINYL (VNL1): MOHAWK COMMERCIAL HARD SURFACE VINYL PLANK

JBERARDI@SOSFLOORINGSOLUTIONS.COM

VCT, TRANSITION STRIPS, & WALL BASE TO BE SOURCED LOCALLY

TRANSITION STRIP: JOHNSONITE CTA 92-A, COLOR: BLUE LAGOON

(INSTALLER TO DETERMINE MOST APPROPRIATE STRIP TYPE FOR

VCT: 12"X12" MANNINGTON VINYL TILE, COLOR: GLACIER

REFLECTED CEILING LEGEND

NOTE: SEE WEIGHT WATCHERS PLANS FOR ADDITIONAL

2'x4' FIXTURE

LAY-IN FIXTURE

SEMI-GLOSS FINISH FOR DOORS AND FRAMES

-CUSTOM - WW VINYL PLANK #1013

(INCLUDED IN DELIVERED PRICE)

TRANSITION INSTALLATION INFORMATION*

COLOR: 92 BLUE LAGOON

TRACK LIGHT KIT by OTHERS

LIGHTING INFORMATION

2'x2' FIXTURE

1'x4' FIXTURE

EXHAUST FAN

MONOPOINT SPOT LIGHTS by OTHERS

FLUORESCENT LIGHT by OTHERS

SURFACE MOUNTED

SUPPLY/RETURN GRILLE (HVAC/MECH) by OTHERS

2'x4' CEILING GRID GYP. BRD. CEILING (W.P.)

LAY-IN FIXTURE

SHIPPED W/ ADHESIVE)

-ADHESEIVE - MOHAWK VINYL ADHESIVE DS100

- TROWEL SIZE - 1/6 X 1/16 X 1/32 (ATTACHMENT

CONTACT: JIM BERARDI, S O S FLOORING SOLUTIONS

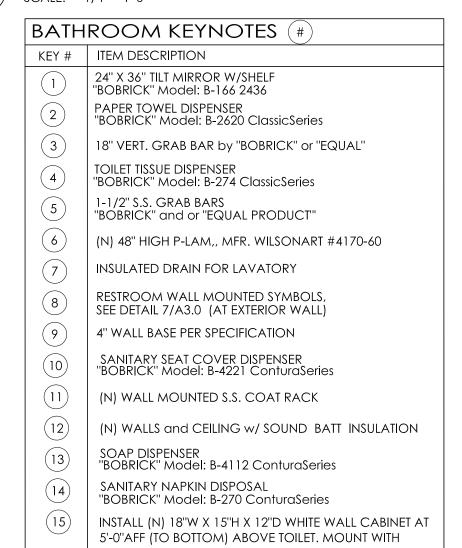
COVE BASE (B1): JOHNSONITE 4" X 1/8" VINYL BASE

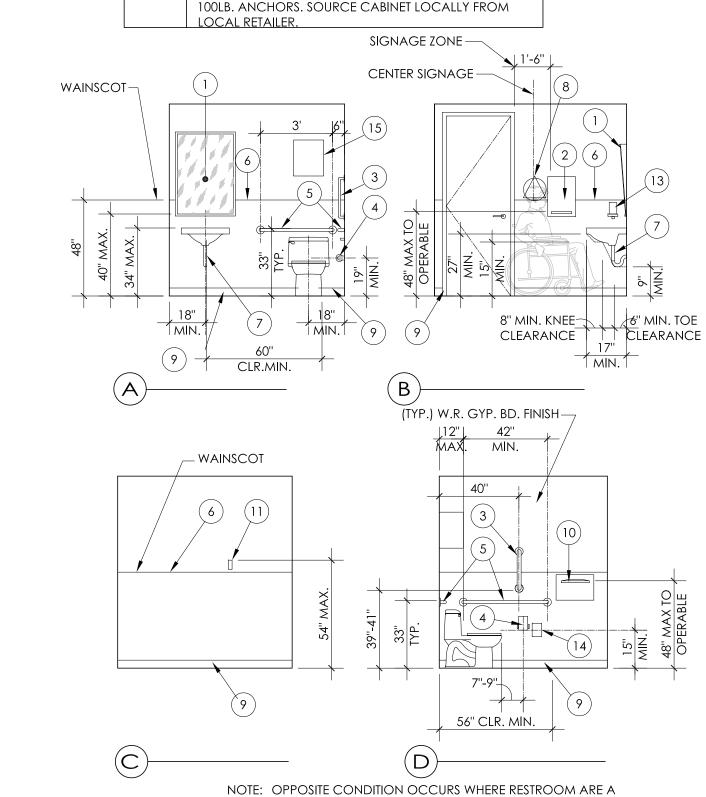
*SEE SAMPLE FLOOR INSTALL SECTIONS ON SHEET A 1.0 FOR

FLOORING INFORMATION:

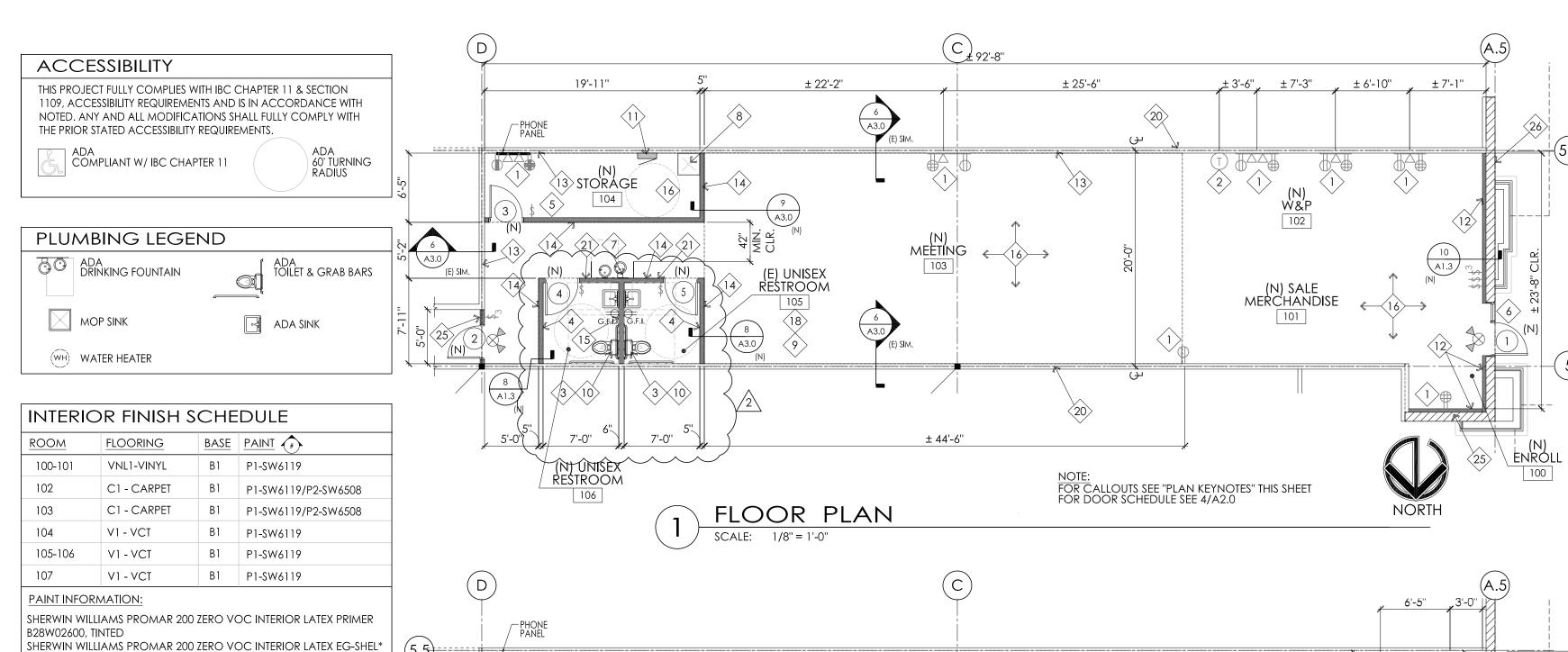
PATTERNED LOOP #0907

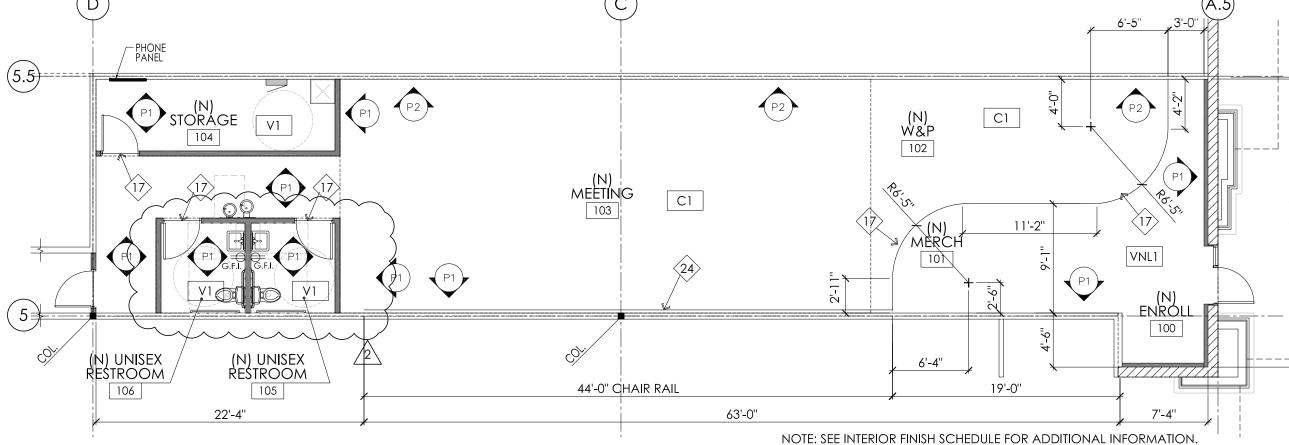
RESTROOM PLAN



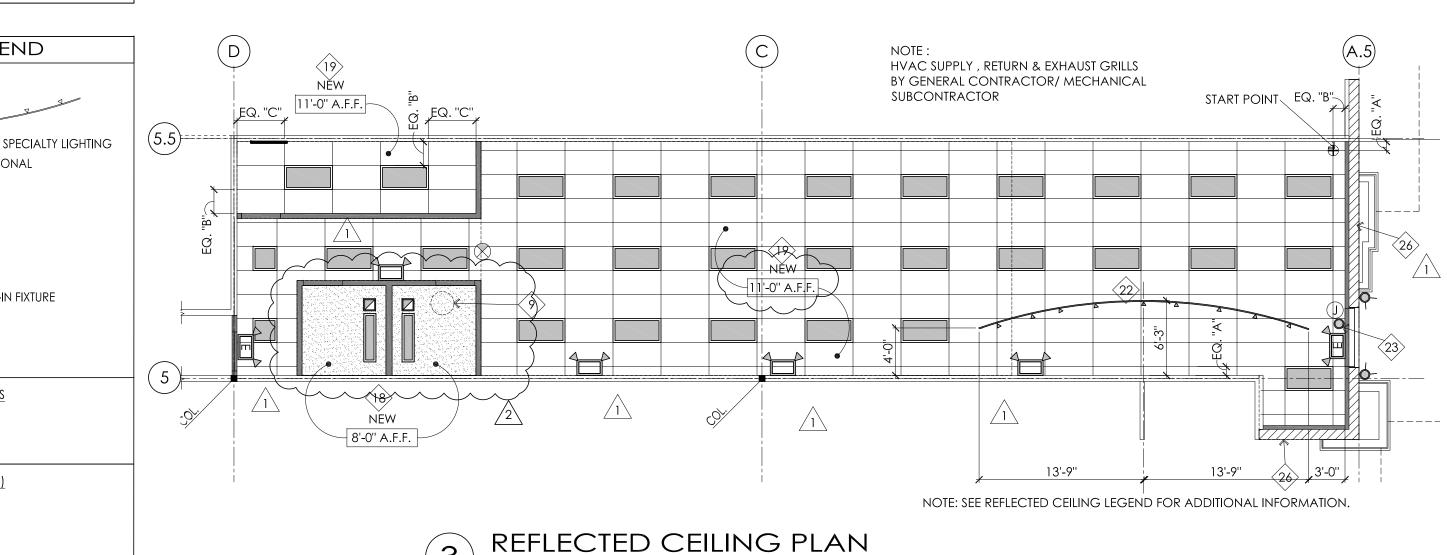


RESTROOM ELEVATIONS





WALL and FINISH FLOOR PLAN



	EXISTING (E) ELOCATED	LOCATION	SIZE			DOOR				FRAME			REMARKS
Э.	(R) NEW (N)		WIDTH	HEIGHT	THICKNESS	HARDWARE TYPE	RATING	MATERIAL	GLASS	FINISH	MATERIAL	FINISH	
1)	(N)	entrance storefront dr.	3'-0''	7'-0''		EXIT	NONE	ALUM.	TEMP.	FACTORY*	ALUM.	FACTORY*	NEW STOREFRONT TYPE (MATCH (E) BUILDINGS FINISHES)
2	(N)	REAR EXIT	3'-0"	7'-0''		NEW PANIC	NONE	STEEL			STEEL	PAINT	NEW DOOR and FRAME (PAINT TO MATCH WALLS) PROVIDE (N) PANIC HARDWARE and (N) CLOSURE
3)	(N)	STORAGE	3'-0"	7'-0''		ACCESS	NONE	S.C.		STAIN	STEEL	PAINT	NEW DOOR and FRAME
	(N)	restroom	3'-0"	7'-0''		ACCESSABLE LOCKING	NONE	S.C.		STAIN	STEEL	PAINT	NEW DOOR, FRAME and CLOSER
	(N)	RESTROOM	3'-0"	7'-0''		ACCESSABLE LOCKING	NONE	S.C.		STAIN	STEEL	PAINT	NEW DOOR, FRAME and CLOSER
		-											

(AS-BUILTS 01/24/2013)

PLAN KEYNOTES

LANDLORD SCOPE OF WORK

OUTLETS, PHONE BOARD and CABLE AS SHOWN PER WEIGHT WATCHERS. INSTALL and MARK DEDICATED OUTLETS PER WWI SPECIFICATIONS. NEW OUTLETS TO ALIGN AS NOTED and

ig(2ig> (n) digital thermostat (white), coordinate per weight watchers plan.

(3) INSTALL (N) 18"W X 15"H X 12"D WHITE WALL CABINET AT 5'-0"AFF (TO BOTTOM) ABOVE TOILET. MOUNT WITH 100LB. ANCHORS. SOURCE CABINET LOCALLY FROM LOCAL RETAILER.

 \langle 4angle provide & install single coat hook on restroom wall at 48" aff. use this spec or SIMILAR: RICHELIEU HARDWARE, MODEL 236NBV - BRUSHED NICKEL - 4-1/2". COORDINATE FINAL LOCATION WITH CT ON-SITE REPRESENTATIVE.

DIMENSIONED, SEE WEIGHT WATCHERS PLAN (CRITICAL TO FURNITURE PLACEMENT) by OTHERS.

 $\langle 5
angle$ provide & install strip with 4 coat hooks in storage room on wall at 48" aff. USE THIS SPEC OR SIMILAR: LIBERTY, MODEL 131584 - 18" BLACK RAIL WITH SATIN HOOKS. COORDINATE FINAL LOCATION WITH WEIGHT WATCHERS SITE REPRESENTATIVE.

 \langle 6 \rangle DEMO EXISTING STOREFRONT AND ADJUST TO ACCOMMODATE A NEW ALUMINUM STOREFRONT DOOR with TEMPERED GLASS (MATCH BUILDINGS FINISHES and HARDWARE), FIELD VERIFY DIMENSIONS with (N) STOREFRONT DOOR. SUBMIT SHOP DRAWINGS FOR APPROVAL.

(N) ACCESSIBLE HI-LO WATER FOUNTAIN W/ 18'x24" DRINKING FOUNTAIN SHEILDS

AS REQUIRED BY CODE. (8) (n) mop sink as required by code.

 \langle 9 \rangle (1) NEW 15 GALLON WATER HEATER ABOVE CEILING ON $^3\!\!\!/^{\!}$ " EXT.PLY. DECK, SEE 8/A3.0

(10) (N) TOILET W/ FLUSH HANDLE TO OPEN SIDE, PROVIDE GRAB BARS AND SOLID BLOCKING

11> ELECTRIC PANEL LOCATION, COORDINATE W/ WEIGHT WATCHERS PLANS by OTHERS

(12) (N) FURRED WALL W/ BATT INSULATION and %" GYP. BRD. FINISHES, SEE DETAIL 10/A3.0

(13) (E) WALL (6/A3.0 SIM.) w/ NEW FINISHES, SEE 2/A2.0 and INTERIOR FINISH SCHEDULE

 \langle 14angle (N) 3 5/8" @ 24" O.C. w/ $^5\!\!$ 8" GYP. BRD. w/ (N) FINISHES, SEE INTERIOR FINISH SCHEDULE,

USE W.P. GYP. BRD. AT RESTROOM INTERIOR, SEE DETAIL 8/A3.0

 $\langle 15 \rangle$ (N) 6" @ 24" O.C. w/ $5\!\!\!/_8$ " Gyp. Brd. w/ (N) finishes, see interior finish schedule, USE W.P. GYP. BRD. AT RESTROOM INTERIOR, SEE DETAIL 8/A3.0

 $\langle 16
angle$ (N) FINISH FLOORING IN CONTRACT, SEE INTERIOR FINISH SCHEDULE

 $\langle 17
angle$ (n) flooring material change, see 2/a2.0 and interior finish schedule

(18) (N) W.R. GYP. BOARD WALLS and CEILING, SEE DETAIL 5/A2.0 FOR ADDITIONAL INFORMATION

 $\langle 19
angle$ (n) 2 ft. X 4 ft. Suspended Grid Ceiling system & lighting to be modified as shown

COORDINATE W/ WEIGHT WATCHERS LIGHTING LAYOUT, SEE DETAIL 13/A3.0 $\langle 20 \rangle$ (E) Interior Demising Wall, See 6/3.0 (Existing Condition)

(21) (N) RESTROOM ACCESIBLE SIGNAGE, SEE DETAIL 7/3.0

 $\langle 22
angle$ accent lighting kit as dimensioned per weight watchers plans.

(23) PENDANT LIGHT PER WEIGHT WATCHERS PLANS (CENTER IN WINDOW)

 $\langle 24
angle$ (N) INPRO 3" VINYL WALL GUARD at 33" AF.F.: MODEL #500 / COLOR: FEATHER.

(25) (N) INTERIOR DEMISING WALL, SEE 6/3.0 $\langle 26
angle$ existing cmu wall (field verify)

GENERAL NOTES

LANDLORD SCOPE OF WORK

A. ALL ITEMS ARE TO BE COMPLETED PER ARCHITECTS PLANS and as NOTED ON EACH SPACIFIC SHEET, SEE WEIGHT WATCHERS DRAWINGS and SPECIFICATIONS FOR ADDED COORDINATION.

B. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS; IF THERE ARE ANY CHANGES, REVISIONS OR DISCREPANCIES PLEASE CALL THE DESIGNER/PM IMMEDIATELY. NOTE: EXISTING AND NEW PARTITION DIMENSION MAXIMUM TOLERANCE IS 2" UNLESS NOTED AS CLEAR OR HOLD.

C. CONTRACTOR TO PROVIDE and INSTALL EXIT/EMERGENCY LIGHTS and FIRE EXTINGUISHERS AS REQUIRED by LOCAL BUILDING CODES.

E. PATCH, REPAIR & PREP ALL EXISTING PARTITIONS AS REQUIRED FOR NEW FINISHES. REMOVE FRP THROUGHOUT. LAMINATE OR SKIM COAT WALLS AS REQUIRED FOR NEW FINISHES.

REMOVE EXISTING FLOORING AS REQUIRED INCLUDING MASTICK and GLUE REMNANTS. FLOOR TO BE SMOOTH, LEVEL and READY TO ACCEPT NEW FINISHES. G. VERIFY LOCATION OF ALL EXISTING DEMISING PARTITIONS; CONFIRM THAT THEY EXTEND TO

THE DECK & ARE INSULATED; EXTEND & ADD INSULATION AS REQUIRED. INSTALL FIRE CAULKING/BLOCKING AS REQUIRED.

ALL RESTROOM FIXTURES SHALL BE ADA COMPLIANT IN 105 and 106 (TOILET, SINK, GRAB BARS, TOILET PAPER HOLDER, MIRROR AND NAPKIN HOLDER); INSTALL AS REQUIRED.

MODIFY EXISTING SPRINKLER SYSTEM PER NEW PARTITION PLAN AS REQUIRED BY LOCAL FIRE CODE.

REMOVE EXISTING WINDOW BLINDS/SHADES AT ALL WINDOWS (IF EXISTING) PATCH and REPAIR (E) WALLS AS NEEDED.

PLAN LEGEND

LANDLORD SCOPE OF WORK

EXISTING CMU WALL EXISTING WALL NEW FURRED WALL W/ INSULATION

OVER EXISTING CMU - FIELD VERIFY EXISITING CONDITION NEW 2x METAL STUD FULL HEIGHT WALL W/ 5/8" TYPE 'X' SHEET ROCK ON BOTH SIDES - PAINT AS DIRECTED. STOREFRONT SYSTEM

> EMERGENCY 'EXIT' SIGN W/ BATTERY BACKUP JUNCTION BOX at CEILING (VERIFY w/ TENANT FOR ANY INTERIOR HANGING SIGNAGE LOCATIONS)

THERMOSAT - SEE MECHANICAL DWGS. 200 AMP TENANT ELEC. PANEL - TYP

GROUND FAULT INTERRUPTER OUTLET EMERGENCY SPOT LIGHTS WITH BATTERY BACKUP - EXIT SIGN COMBO WHERE DESIGNATED WITH 'E'.

EXTERIOR WALL MOUNTED EGRESS LIGHT

CEILING NOTES

LANDLORD SCOPE OF WORK

AA. INSTALL NEW SUSPENDED CEILING GRID & TILES IN COORDINATION W/ WEIGHT WATCHERS DRAWINGS and SPECIFICATIONS.

BB. CEILING HEIGHTS ARE FROM T.O. FINISH FLOOR TO B.O. FINISH CEILING.

CC. INSTALL ALL REQUIRED EXIT/EMERGENCY LIGHTS PER LOCAL CODES.

DD. LIGHTING and HVAC SUPPLY & RETURN GRILLES UNDER SEPERATE CONTRACT, COORDINATE W/ WWI DRAWINGS and SPECIFICATIONS.

EE. ARCHITECT and GC TO CONFIRM SEISMIC BRACING REQUIREMENTS PER CODE, SEE DETAIL 13/A3.0 FF. CEILING PLAN IS SUGGESTED ONLY; PLACEMENT OF GENERAL LIGHTING FIXTURES AND DIFFUSERS (SUPPLY AND RETURN) TO BE VERIFIED by MECHANICAL and ELECTRICAL ENGINEER AS REQUIRED.

PROJECT NO. 12-124 DRAWN BY: CHECKED BY: DATE 10-02-2012 **REVISION:** 10.31.2012 PLAN CHECK

KMG

RED ARCH

THOMAS F.

OFALLON //

No. 4787

PORTLAND, OR

ANE OF OBEC

AOUNTAIN WES

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Ore

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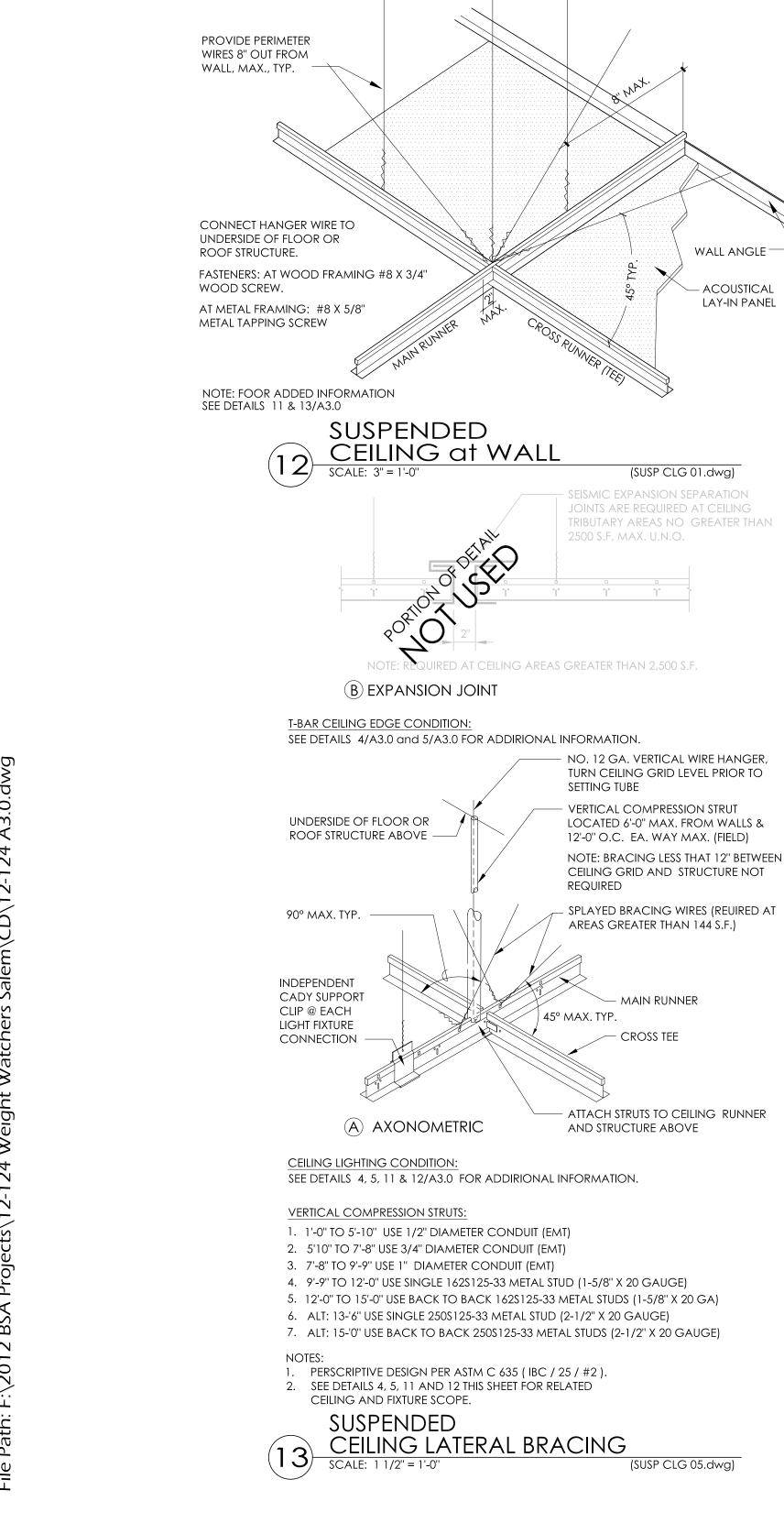
BENNER

ASSOCIATES ARCHITECTS, INC. 5200 S.W. MEADOWS RD. LAKE OSWEGO, OR 97035

(503) 670-0234 FAX (503) 670-0235 FLOOR PLAN/ FINISH FLOOR & REFLECTED

PLANS

NOTE: PLACEMENT ACCENT LIGHTING IS CRITICAL, SEE WEIGHT WATCHERS PLANS. GG. CANOPY SIGNAGE UNDER SEPERATE PERMIT. ANY REPRODUCTION AND/OR MODIFICATION IN ANY FORM OF THIS DOCUMENT IS PROHIBITED WITHOUT THE WRITTEN PERMISSION OF BENNER STANGE ASSOCIATES ARCHITECTS, INC.



AT LIGHT FIXTURES: ATTACH NO. 12 GAUGE

CORNER OF EACH

EACH LIGHT FIXTURE TO

HAVE 2 NO. 12 GAUGE

ATTACH at OPPOSITE

CORNERS, FROM THE

at EACH END, TYP.

FIXTURE HOUSING TO THE

STRUCTURE ABOVE, ONE

SEE DETAILS 12 & 13/A3.0

NOTE: FOOR ADDED INFORMATION

SUSPENDED

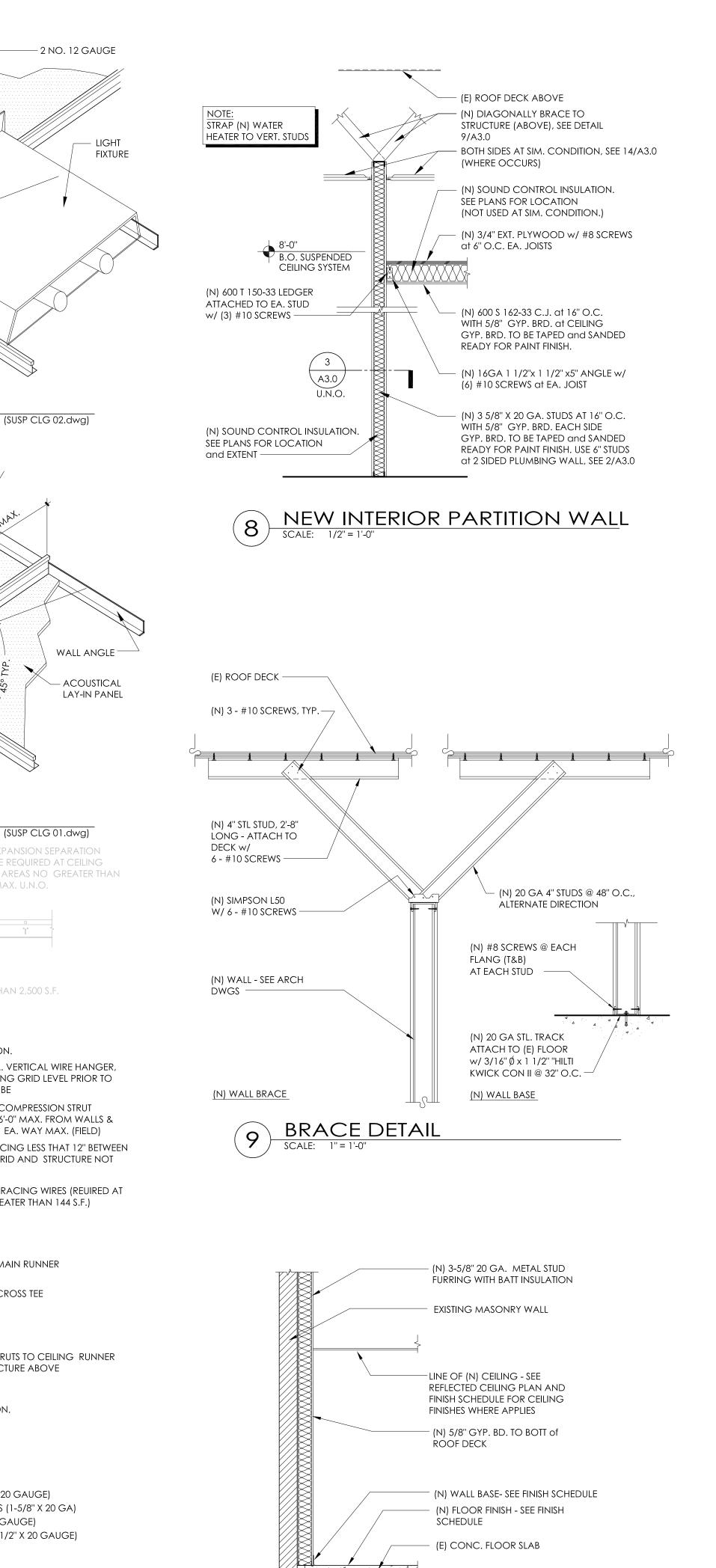
CEILING at LIGHT

HANGER WIRES

FIXTURE, TYP.

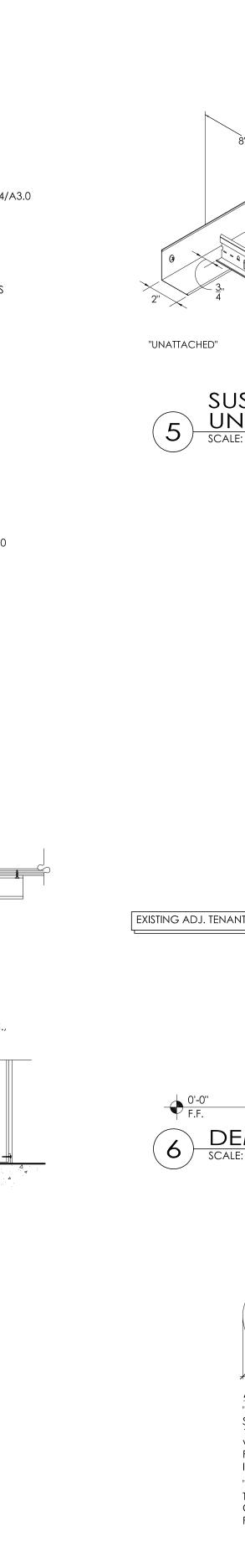
HANGER WIRE WHICH SHALL

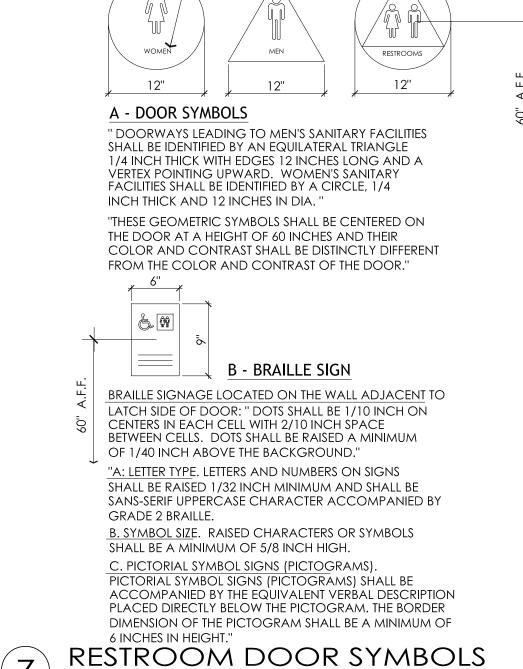
BE ATTACHED TO THE GRID MEMBER WITHIN 3" OF EACH

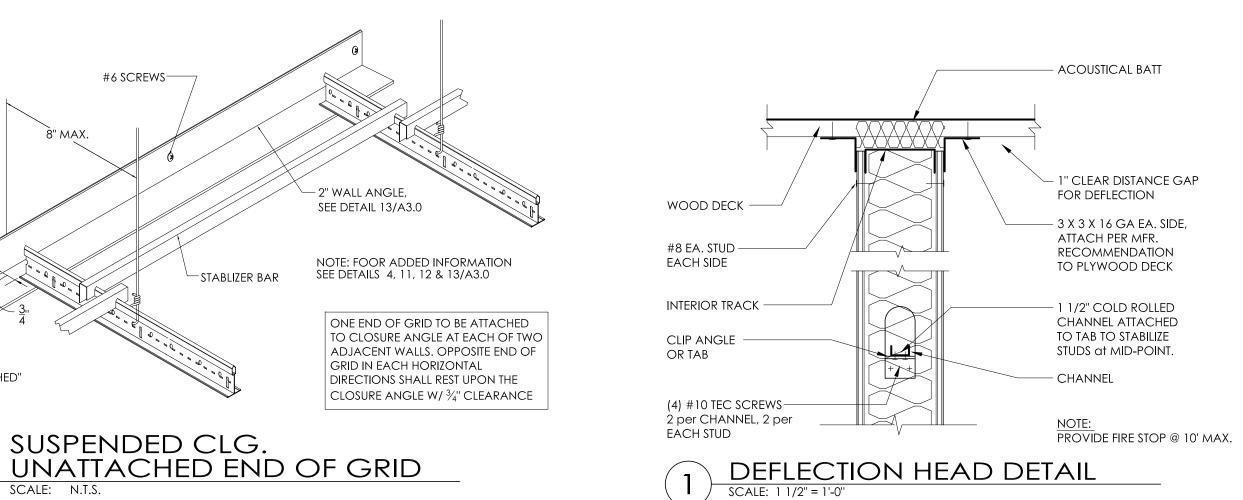


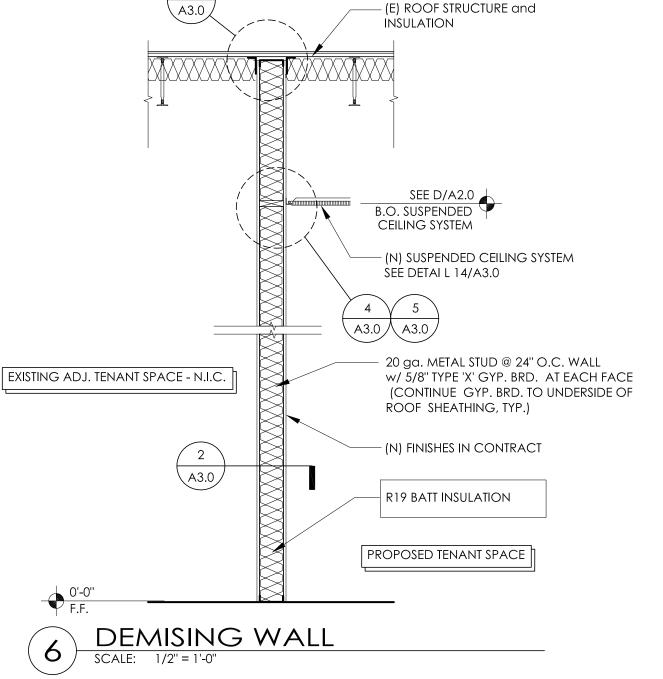
EXTERIOR FURRED WALL

(WALL PARTITION 03.dwg)



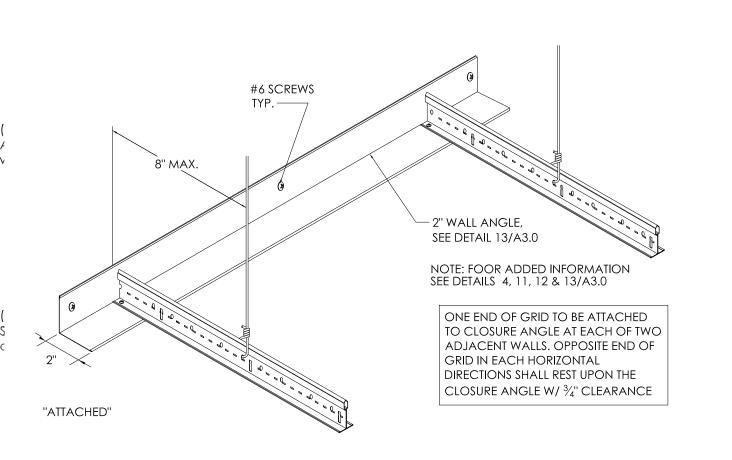














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Oreg PROJECT NO. 12-124

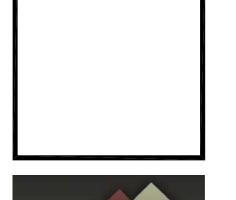
DRAWN BY: JMP CHECKED BY KMG DATE 10-02-2012 **REVISION:**

BENNER STANGE **ASSOCIATES** ARCHITECTS, INC. 5200 S.W. MEADOWS RD. LAKE OSWEGO, OR 97035 (503) 670-0234 FAX (503) 670-0235 bsa@bsaarch.com

FIXTURE PLAN, LEGEND and MISC. **DETAILS**

-EXISTING DEMARCATED EXIT AISLE

—EXISTING EXIT PASSAGE



MOUNTAIN WEST INVESTMENT CORPORATION

201 Ferry Street, SE Suite 200 Salem, OR 97301 (503) 581-4654

WAICHERS
Jare, Salem Oregor
RCIAL STREET, SALEM OREGON 9730

PROJECT NO. 12-124 DRAWN BY :

JMP CHECKED BY : KMG

DATE: 10-02-2012

revision :

BSAA RCHITECTURE & PLANNING

BENNER STANGE ASSOCIATES ARCHITECTS, INC. 5200 S.W. MEADOWS RD. SUITE B-130 LAKE OSWEGO, OR 97035 (503) 670-0234 FAX (503) 670-0235

EGRESS PLAN

A4.0